



AGENDA
Jefferson County Planning Commission
Tuesday, December 19, 2017, 7:00 PM

Planning Commission meetings are held in the Old Charles Town Library Meeting Room located at 200 East Washington Street, at the side entrance on Samuel Street in the City of Charles Town.

All Citizens that desire to speak must sign-in prior to the Agenda Item being addressed.

1. Citizen Communications: If you wish to comment, please sign-in to speak for issues that are not on the agenda or items that are not open for public comment. Items not open for public comment will be so noted.
2. Request for postponement.
3. **Public Hearing:** Request by the applicant KE Colonial Hills, LLC to approve the Preliminary Plat for Colonial Hills Phase 3A (File#17-06) in accordance with Sections 24.114 and 24.115 of the Subdivision Regulations. The property is designated as Tax District: Shepherdstown (09); Tax Map: 8; Parcel 10. Zoned: Residential Growth; Size: a 7.92 acre +/- portion of a 27.15 acre parcel.

There is no public comment for the following items.

4. Reports from Legal Counsel and legal advice to the Planning Commission.
 - a) Active Litigation:
 - Shiloh Citizens Association: Report on legal action in Supreme Court, Docket #15-1031.
5. Planners Memo
6. President's Report.
7. Actionable Correspondence.
8. Non-Actionable Correspondence

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Item #3: **Public Hearing:** Request by the applicant KE Colonial Hills, LLC, to approve the Preliminary Plat for Colonial Hills Phase 3A (File#17-06) in accordance with Sections 24.114 and 24.115 of the Subdivision Regulations.

APPLICANT:	KE Colonial Hills, LLC.	
OWNER:	Same as above	
DEVELOPER:	Same as above	
SURVEYOR/ENGINEER:	Gordon	
PROPERTY LOCATION:	East side of Potomac Farms Drive (Alternate WV 45)	
LEGAL DESCRIPTION:	District: Shepherdstown (09); Map: 8; Parcel: 10 Zoning: Residential Growth	
SURROUNDING PROPERTIES:	North: Residential Growth East: Residential Growth	South: Residential Growth West: Residential Growth
LOT AREA:	7.92 acres +/- of a 27.15 acre parcel	
PROPOSED ACTIVITY:	61 Townhouse units, open space, stormwater management areas and construction of associated roads and utilities	

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PRIOR APPROVALS	
Concept Plan (Phase IIIA)	Submittal: 2/17/17 PC Public Workshop/Approval: 04/11/2017
Preliminary Plat	Phase 3A Preliminary Plat submitted: 7/6/17 Final Documentation to be deemed sufficient by staff submitted: 8/30/17 Staff approval of Preliminary Plat plan set: 11/1/17 Planning Commission “completeness review” approval: 11/14/17

Introduction and Purpose

Phase 3A of the Colonial Hills subdivision is located east of Potomac Farms Road (Alternate WV 45) and is not yet developed. The Final Plat for Phase III of Colonial Hills, including 35 single family lots, was approved November 14, 2006 and bonded and recorded. Two of the 35 lots were planned for future commercial and one was planned for future apartment development, later amended to allow townhouses, pending separate site plan approval.

The Phase 3A relates to the development of the lot planned for future apartment or townhouse development as 61 Townhomes. This Phase is required to process as a Major Subdivision under the 2008 Subdivision Regulations, as amended, which includes processing a Major Subdivision Concept Plan, a Preliminary Plat, and a Final Plat. The Concept Plan for this development was approved by the Planning Commission in April, 2017 which authorized the applicant to move forward with the Preliminary Plat.

Preliminary Plat Approval Process

The applicant has submitted the Preliminary Plat for Colonial Hills Phase 3A for review and approval. In accordance with Section 24.113 of the Subdivision Regulations, the Planning Commission deemed the Preliminary Plat application complete on November 14, 2017. In accordance with Section 24.114 of the Subdivision Regulations, the Planning Commission scheduled this Public Hearing for December 19, 2017, within 45 days of accepting the application as complete. This hearing has been advertised as required in the Subdivision Regulations.

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The Subdivision Regulations require the review of the submitted application and plat and plans by the Department of Engineering, Planning and Zoning as well as the WVDOH and the relevant Public Service Agency, in this case the Corporation of Shepherdstown. The Department is required to determine whether the density, use, and plan meet the requirements of the Zoning Ordinance and any other zoning issues and/or variances that can be identified at the Preliminary Plat submission. The Department is also required to provide a written opinion as to whether the Preliminary Plat meets the site planning criteria specified in Articles 21 and 22 of the Subdivision Regulations and whether the Concept Plan was fulfilled. Engineering, Planning and Zoning Staff have completed their review of the Preliminary Plat in accordance with these Articles and the requirements of Appendix A, Section 1.3 and stamped the plat as approved by staff on November 1, 2017. This staff report serves as the “written opinion” that the Preliminary Plat conforms to all Zoning and Subdivision Regulation requirements and fulfills the Concept Plan direction. No conditions are recommended by staff.

The WV Division of Highways (DOH) approved an additional 6 townhouse sites to the existing entrance permit on 02/21/17. The WVDOH also approved a request to extend the entrance completion date until January 31, 2018 in a letter dated January 24, 2017.

The Shepherdstown Water and Wastewater Public Service Districts were required to review the preliminary engineering to determine whether water and sewer can adequately be provided for the project and whether the proposal is sufficient to handle other development in the area. Approval from Shepherdstown Water and Wastewater was received on July 14, 2017.

Today’s Public Hearing is to receive public comment on the proposed Preliminary Plat in accordance with the Subdivision Regulations and WV Code 8A.

Preliminary Plat Approval Process

Sec. 24.115 of the Subdivision Regulations requires the Planning Commission to review the recommendations and opinions of the reviewing agencies, the staff’s decision regarding compliance with the Zoning Ordinance, and the testimony of the public and render its decision. It also states that, in making its decision, the Planning Commission shall apply the following excerpted rules:

1. **Zoning.** The Planning Commission cannot deny an application on the basis of zoning if the staff’s decision is that the application complies with the Zoning Ordinance.
2. **Impact Fees.** The preliminary plat application cannot be denied on the grounds of adverse impact on services which benefit from the County’s adopted impact fees (parks and recreation, schools, law enforcement, fire protection, and emergency services).
3. **Roads.** The Planning Commission shall defer to the WVDOH on final requirements and approvals for improvements to the public roads.
4. **Sewer and Water Systems.** All sewer and water systems, whether privately owned or publicly owned shall be permitted only on the recommendation of the relevant Public Service District or private utility. The Planning Commission shall not make a decision contrary to the agency provider recommendation unless there is compelling professional evidence that its recommendation is in error.
5. **Engineering and Landscaping.** The plan being reviewed consists of substantial sediment and erosion control, stormwater management, sewer or water system engineering, landscaping, and site development plan. The preliminary plat application cannot be denied based on engineering considerations that have not been addressed at this stage of the proceedings. The Planning

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Commission and County Engineer may attach conditions to ensure that specific issues are addressed.

6. Open Space. Open space to be provided to satisfy the requirements of the Zoning Ordinance shall be identified on the preliminary plat. Covenants and deed restrictions applicable to such open space to assure its retention shall be submitted and approved.

Approval of the Preliminary Plat may include conditions based on input from the Department of Engineering, Planning and Zoning and relevant agencies that must be met in the preparation of the final plat, final engineering, and final landscaping. Such conditions may include any proffers made by the developer and accepted by the Planning Commission or agency benefiting from the proffer. In no event shall a condition require the developer to reduce the density below the requirements of the Zoning Ordinance or what is shown on the proposal unless the reduction is proffered by the applicant.

Planning Commission Action Required

Sec. 24.115 of the Subdivision Regulations states that, after the close of the public hearing, or at any meeting within 14 days thereafter, the Planning Commission shall do one of the following:

- (1) Approve the application;
- (2) Approve the application with conditions;
- (3) Deny the application; or
- (4) Hold the application for up for 45 days for additional information. If the application is to be held for the additional time, a date certain for re-opening the public hearing must be set by the Planning Commission simultaneously with the vote to hold the Public Hearing. Additional legal advertisement is not required.

It further states that the Planning Commission may approve the plan if it meets the standards of the land use ordinances, deny the plan if it does not meet the standards of the land use ordinances, or approve the plan with conditions to complete any remaining items. In the event that the Preliminary Plat is approved with conditions to complete any remaining items, unless otherwise directed by the Planning Commission, Staff shall have the authority to grant final approval of the Preliminary Plat once the conditions are met. Also, if the Planning Commission conditionally approves the Preliminary Plat, then the applicant shall be required to submit a notarized document expressly and explicitly waiving the 45 day time requirement for the Planning Commission and/or Staff to act. If the applicant is unwilling to provide such document, then the Planning Commission shall proceed in the final consideration of the Preliminary Plat.

Sec. 24.115 of the Subdivision Regulations further states that the approval of the preliminary plat, with or without conditions, allows the applicant to proceed to prepare a final plat, final engineering, and final landscape plan. The approval shall be good for a period of five years, with the provision that any zoning changes that have been advertised for a public hearing prior to the date of approval may be made a condition of approval if adopted prior to submission of final plat including all engineering and landscaping.

GENERAL NOTES:

- 1. THE PROPOSED SITE IMPROVEMENTS FOR 'COLONIAL HILLS PHASE 3A' INCLUDE, BUT ARE NOT LIMITED TO, THE CONSTRUCTION OF 61 TOWNHOME UNITS, ROADS, DRIVE AISLES AND PARKING AREAS WITH ASSOCIATED DRAINAGE STRUCTURES AND PUBLIC UTILITIES. 'COLONIAL HILLS PHASE 3A' IS LOCATED IN THE SHEPHERDSTOWN DISTRICT, JEFFERSON COUNTY, WEST VIRGINIA. THE SUBJECT PROPERTY SHOWN HEREIN IS LOCATED ON TAX MAP 8, PARCEL 10. THE PROPERTY OWNER IS KE COLONIAL, LLC AS RECORDED IN D.B. 989 PG. 175.
2. THE SITE ACREAGE OF PHASE 3A IS 6.64 ACRES.
3. THE TOPOGRAPHIC CONTOUR INTERVAL IS TWO (2) FOOT. TOPOGRAPHIC INFORMATION WAS COMPILED FROM AN AERIAL SURVEY PREPARED BY PHOTOSCIENCE DATED APRIL 1998. HORIZONTAL DATUM IS REFERENCED TO THE WEST VIRGINIA COORDINATE SYSTEM OF 1983, NORTH ZONE. VERTICAL DATUM IS REFERENCED TO NAVD 88.
4. PERIMETER BOUNDARY INFORMATION SHOWN HEREON IS PER A FIELD RUN SURVEY PERFORMED IN APRIL OF 2004 BY ALPHA ASSOCIATES, INC. WITH A BOUNDARY CHECK BY GORDON DATED AUGUST 2008. IT HAS BEEN ESTABLISHED BY A NETWORK OF TRAVERSE CONTROL HAVING A RELATIVE ERROR OF CLOSURE OF 1:7500 OR BETTER.
5. THE SUBJECT PROPERTY IS LOCATED ON F.E.M.A. MAP 54037C0040C DATED DECEMBER 18, 2009. NO PORTION OF THIS PROPERTY IS LOCATED WITHIN THE 100-YEAR FLOODPLAIN AREA (ZONE A). THE PROPERTY IS IN ZONE X.
6. THE CURRENT NATIONAL WETLANDS INVENTORY MAP DOES NOT SHOW WETLANDS/SENSITIVE AREAS ON THE SUBJECT PROPERTY.
7. CHANGES OR REVISIONS IN CONSTRUCTION PLANS AND SPECIFICATIONS SHALL NOT BE MADE UNLESS FIRST APPROVED BY JEFFERSON COUNTY AND/OR OTHER APPROPRIATE AGENCIES.
8. SEE COVER SHEET FOR LEGEND OF SYMBOLS USED HEREIN.

CONSTRUCTION NOTES:

- 1. THE CLIENT AND CONTRACTOR ARE RESPONSIBLE FOR REVIEWING THE PLANS PRIOR TO CONSTRUCTION AND NOTIFYING GORDON OF ANY CIRCUMSTANCES FOUND WITHIN THESE PLANS IN NEED OF VERIFICATION SO THAT APPROPRIATE REVISIONS CAN BE MADE, IF WARRANTED.
2. DEVELOPMENT OF THE SITE INCLUDING CONSTRUCTION AND MATERIALS SHALL BE IN CONFORMANCE WITH CURRENT LOCAL JURISDICTION REQUIREMENTS AND THE WEST VIRGINIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.
3. EROSION AND SEDIMENT CONTROL DEVICES ARE TO BE IN PLACE PRIOR TO ANY CONSTRUCTION. REFER TO EROSION AND SEDIMENT CONTROL PLAN FOR PHASING AND DETAILS.
4. ALL LAND ON OR OFF-SITE WHICH IS DISTURBED BY CONSTRUCTION AND WHICH IS NOT BUILT UPON OR SURFACED SHALL BE ADEQUATELY STABILIZED TO CONTROL EROSION AND SEDIMENTATION.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER AND THE ENGINEER OF ANY CHANGES OR CONDITIONS ATTACHED TO PERMITS REQUIRED FOR CONSTRUCTION.
6. THE CONTRACTOR SHALL PROVIDE ADEQUATE MEANS OF CLEANING TRUCKS AND/OR EQUIPMENT OF MUD AND DEBRIS, PRIOR TO ENTERING STATE RIGHT-OF-WAY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CLEAN STREETS OF MUD AND/OR LAYING DUST AND TO TAKE ALL APPROPRIATE MEASURES NECESSARY TO ENSURE THAT STREETS ARE KEPT IN A CLEAN AND DUST FREE CONDITION AT ALL TIMES.
7. THE CONTRACTOR SHALL VISIT THE SITE AND SHALL VERIFY EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION ACTIVITIES.
8. THE CONTRACTOR SHALL CLEAR THE SITE OF ALL TREES, BUILDINGS, FOUNDATIONS, ETC. WITHIN THE LIMITS OF CONSTRUCTION AND SHALL BE RESPONSIBLE FOR COORDINATING ANY DISCONNECTION AND/OR ABANDONMENT OF EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND ABANDONING ALL EXISTING WELLS AND/OR SEPTIC DRAIN FIELDS AND COORDINATING THEIR ABANDONMENT WITH THE HEALTH DEPARTMENT.
9. CONTRACTOR SHALL CONTACT "MISS UTILITY" AT 1-800-245-4848 A MINIMUM OF SEVENTY-TWO (72) HOURS PRIOR TO ANY EXCAVATION WITHIN PUBLIC RIGHT-OF-WAYS OR WITHIN AREAS SERVED BY UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING THE PRESENCE OF ANY UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
10. GORDON DOES NOT CERTIFY TO THE LOCATION OF OR THE EXISTENCE OF ANY EXISTING UNDERGROUND UTILITIES. ANY UNDERGROUND UTILITIES SHOWN HEREON ARE BASED UPON AVAILABLE RECORDS AND DISCUSSION WITH THE OWNER. THIS DOES NOT CONSTITUTE A GUARANTEE OF THEIR ACTUAL LOCATIONS OR THAT THEY HAVE ALL BEEN SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DIGGING OF TEST HOLES PRIOR TO BEGINNING ANY CONSTRUCTION. THESE TEST HOLES WILL BE MADE TO VERIFY ALL CROSSINGS BETWEEN NEW AND EXISTING FACILITIES AND AT CRITICAL GRADE CHANGES. IF CONDITIONS ARE FOUND IN THE FIELD, WHICH ARE MATERIALLY DIFFERENT FROM THE PLANS, THE CONTRACTOR SHALL NOTIFY WILLIAM H. GORDON ASSOCIATES, INC. SO THAT APPROPRIATE REVISIONS, IF WARRANTED, CAN BE MADE TO THE PLANS.
11. GORDON DOES NOT CERTIFY TO THE SUB-SURFACE CONDITIONS OF THE SITE, THE LOCATION OF UNDERLYING ROCK, OR THE LOCATION OF POTENTIAL SINKHOLES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DIGGING OF TEST HOLES TO VERIFY SUB-SURFACE CONDITIONS PRIOR TO BEGINNING ANY CONSTRUCTION. IF SINKHOLES ARE FOUND IN THE FIELD, REMEDIATION WILL BE REQUIRED AS SPECIFIED BY THE DEP AND/OR A QUALIFIED GEOTECHNICAL ENGINEERING FIRM.
12. CONTROLLED FILLS AND SUB GRADES:
A) CONTROLLED COMPACTION SHALL OCCUR IN ALL FILL SECTIONS FOR PAVEMENT, TRENCHES FOR UTILITIES, AND IN ANY AREA OTHERWISE DESIGNATED ON THE DRAWINGS.
B) CONTROLLED FILLS SHALL BE COMPACTED TO MAXIMUM DENSITY (SEE CONSTRUCTION NOTE 2, SHEET 01) AS DETERMINED BY METHODS AS PER STANDARD PROCTOR AASHTO-199 EXCEPT THE UPPER EIGHT (8) INCHES OF SOILS BELOW THE PAVEMENT SUB BASE STONE, WHICH SHOULD BE COMPACTED TO 100% OF THIS STANDARD AS DIRECTED BY A QUALIFIED GEOTECHNICAL ENGINEER.
C) CONTROLLED FILL SHALL BE COMPACTED IN EIGHT (8) INCH LIFTS (LOOSE THICKNESS) TO THE SPECIFIED DENSITY, BEGINNING FROM THE EXISTING GROUND SURFACE, UNLESS OTHERWISE APPROVED IN WRITING BY A QUALIFIED GEOTECHNICAL ENGINEER.
13. ALL TESTS, STUDIES, ETC., REQUIRED DURING CONSTRUCTION WILL BE CARRIED OUT BY A THIRD PARTY ENGINEERING FIRM.
14. THE APPROVAL OF THESE PLANS SHALL IN NO WAY RELIEVE THE OWNER OF COMPLYING WITH OTHER APPLICABLE LOCAL, STATE AND FEDERAL REQUIREMENTS.
15. CONSTRUCTION BLASTING IS LIMITED BETWEEN THE HOURS OF 8:00 AM TO 5:00 PM OR AS OTHERWISE PERMITTED.
16. ALL PROPOSED ELEVATIONS AS SHOWN HEREIN ARE FINISHED GRADE UNLESS OTHERWISE NOTED.
17. MAINTAIN A MINIMUM VERTICAL CLEARANCE OF ONE (1) FOOT SIX (6) INCHES BETWEEN CROSSING OF ALL UTILITY LINES UNLESS OTHERWISE NOTED.
18. CBR TESTS SHALL BE PERFORMED PRIOR TO DETERMINATION OF FINAL SUBGRADE ELEVATION FOR PAVEMENT AREAS. SOILS TESTS OF SUBGRADE MUST BE SUBMITTED FOR ACTUAL DETERMINATION OF REQUIRED PAVEMENT SECTION THICKNESS PRIOR TO CONSTRUCTION. ALL SUBGRADE TO BE COMPACTED TO MAXIMUM DENSITY (SEE CONSTRUCTION NOTE 2, SHEET 01) AT 2% OF OPTIMUM MOISTURE CONTENT PER AASHTO-199 METHOD C UNLESS OTHERWISE DIRECTED BY AN APPROVED GEOTECHNICAL REPORT.
19. THE CLIENT, CONTRACTOR, AND/OR SURVEYOR SHALL BE RESPONSIBLE FOR NOTIFYING GORDON OF ANY CONDITIONS FOUND IN THE FIELD PRIOR TO STAKEOUT THAT VARY FROM THE APPROVED PLANS OR THAT MAKE CONSTRUCTION IMPOSSIBLE. SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO STAKEOUT AND/OR CONSTRUCTION. ANY OBSERVATIONS REGARDING APPARENT INCONSISTENCIES IN THE PLANS SHALL BE BROUGHT TO GORDON'S ATTENTION FOR VERIFICATION PRIOR TO STAKEOUT.
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE PERFORMANCE OF ITS WORK AND THE WORK OF ITS SUBCONTRACTORS. GORDON SHALL NOT HAVE CONTROL OVER, CHARGE OF, OR RESPONSIBILITY FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
21. BUILDING FOOTPRINTS AS SHOWN ARE APPROXIMATE IN BUILDING SIZE AND DO NOT REPRESENT FINAL ARCHITECTURALS.
22. CHANGES IN THE TOP & BOTTOM OF SLOPES SHALL BE A MINIMUM OF 5' FROM PROPERTY OR RIGHT-OF-WAY LINE.
23. ALL GRADING SHALL PROVIDE PROPER DRAINAGE & DISPOSAL OF STORM WATER WITHOUT PONDING.
24. ALL FILL SHALL BE COMPACTED TO PREVENT EROSION.

CONSTRUCTION NOTES CONT'D:

- 25. GRADING SHALL NOT BE DONE IN SUCH A WAY TO DIVERT WATER ONTO THE PROPERTY OF ANOTHER LAND OWNER.
26. LOTS SHALL BE GRADED TO SECURE PROPER DRAINAGE AWAY FROM BUILDINGS AND TO PREVENT POOLING OR COLLECTION OF STORM WATER
27. EXCAVATION OR FILL SHALL NOT ENDANGER AN ADJOINING PROPERTY.
28. ALL CLEARING, GRADING, DRAINAGE, CONSTRUCTION, AND DEVELOPMENT SHALL BE CONDUCTED IN STRICT ACCORDANCE WITH THE APPROVED PLAN.
29. FIELD VERIFY EXISTING GRADES PRIOR TO CONSTRUCTION.
30. CONTRACTOR TO ENSURE POSITIVE DRAINAGE THROUGHOUT CONSTRUCTION.

SUBDIVISION ORDINANCE SUMMARY:

- 1. PROPERTY CORNERS ARE TO BE SET WITH 5/8" x 30" REBARS WITH I.D. CAPS UNLESS OTHERWISE NOTED.
2. THE DEVELOPMENT IS NOT SUBJECT TO ANY SPECIAL REQUIREMENTS BY THE JEFFERSON COUNTY PLANNING COMMISSION.
3. SITE GRADING: FILL SLOPES SHALL NOT EXCEED 3:1 AND CUT SLOPES SHALL NOT EXCEED 2:1.
4. ALL UTILITY TRANSMISSION LINES (E.G. ELECTRIC, PHONE, CABLE, WATER, SEWER, ETC.) AND SERVICE LINES WITHIN THE SUBDIVISION OR SITE DEVELOPMENT AREA SHALL BE UNDERGROUND.
5. MINIMUM COVER OVER CULVERTS IS 1' UNLESS OTHERWISE SHOWN.
6. AT THIS TIME NO OFF SITE BORROW PITS ARE ANTICIPATED FOR THIS PROJECT.
7. CONTACT JEFFERSON COUNTY E911 COORDINATOR FOR INSTALLATION OF STREET SIGNS. ALL SIGNS SHALL COMPLY WITH COUNTY ADDRESSING REQUIREMENTS.
8. A BUILDING PERMIT WILL BE OBTAINED FOR SIGNAGE AND SHALL BE IN CONFORMANCE WITH ALL EXISTING ORDINANCES IN JEFFERSON COUNTY AND/OR STATE AND FEDERAL LAW.
9. EXISTING RIGHTS-OF-WAY FOR THE COLONIAL HILLS PHASE 3 ROADS AND EASEMENTS FOR UTILITIES ARE SHOWN ON THE PLANS (PB 25 PG 805). THERE IS AN EXISTING WATER EASEMENT WHICH IS TO BE PARTIALLY VACATED AND REDEDICATED AS APPROVED BY THE CORPORATION OF SHEPHERDSTOWN (DB 340 PG 447). THERE IS AN EXISTING STORMWATER MANAGEMENT EASEMENT FOR THE COLONIAL HILLS PHASE 3 POND ON THE ADJOINING PROPERTY TO THE EAST (DB 1184 PG 294).
10. PROPOSED EASEMENTS OR RIGHTS-OF-WAY PROPOSED ARE SHOWN ON THE PLAT
11. THERE ARE NO FUTURE EASEMENTS OR RIGHTS-OF-WAY PROPOSED AT THIS TIME.
12. PROPOSED DEVELOPMENT IS NOT WITHIN 500' OF A STREAM.
13. THERE ARE NO KNOWN CABLE, SEWER OR WATER UTILITIES EXISTING ON SITE OTHER THAN THOSE IDENTIFIED ON EXISTING CONDITIONS AND SITE PLAN.
14. EXISTING TREES ARE TO REMAIN IN THEIR NATURAL CONDITION THROUGHOUT THE PROJECT WHEREVER PRACTICAL.
15. LANDSCAPING BUFFER WILL CONSIST OF VEGETATION. NO OPAQUE SCREEN/FENCE IS PROPOSED. ANY FENCING WITHIN THE BRL OR BUFFER CANNOT EXCEED 6' IN HEIGHT.
16. OPEN SPACE AREAS RESERVED FOR SEMI-PUBLIC USE ARE SHOWN ON THE PLAT. NO RESERVATIONS OF LAND FOR PUBLIC USE ARE PROPOSED.
17. SITE LIGHTING PROVIDED SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE ILLUMINATING ENGINEERING SOCIETY'S "AMERICAN NATIONAL STANDARD FOR ROADWAY LIGHTING". LIGHTING LAYOUT SUBJECT TO CHANGE PER DESIGN BY POWER COMPANY; HOWEVER, MAXIMUM POLE HEIGHT SHALL BE 15' AND MAXIMUM DISTANCE BETWEEN LIGHT UNITS SHALL BE 175'.
18. THERE ARE NO KNOWN OFF-SITE MAN-MADE STRUCTURES LOCATED WITHIN 200' DOWNSTREAM OF ANY DRAINAGE PIPE OR STORMWATER MANAGEMENT FACILITY OUTFALL. THEREFORE, NO OFF-SITE STRUCTURES AND ASSOCIATED TOPOGRAPHY HAS BEEN SHOWN.
19. ALL RESIDENTIAL AND NON-RESIDENTIAL BUILDING LOTS SHALL HAVE A STABILIZED CONSTRUCTION ENTRANCE INSTALLED PRIOR TO BEGINNING CONSTRUCTION ON THE LOT.
20. ALL LOTS SHALL BE SERVED BY INTERIOR SUBDIVISION ROADS.
21. A BLANKET EASEMENT SHALL BE GIVEN TO ALL PUBLIC SERVICE DISTRICTS IN ALL SUBDIVISION RIGHT OF WAYS FOR THE PURPOSE OF CONSTRUCTING WATER AND/OR SEWER LINES & FACILITIES.
22. HILLSIDE REGULATIONS DO NOT APPLY TO THE SUBJECT PROPERTY.
23. THE POTOMAC AND SHENANDOAH RIVER SETBACKS DO NOT APPLY TO THE SUBJECT PROPERTY.
24. A HOMEOWNER'S ASSOCIATION MUST BE ESTABLISHED WITHOUT DELAY AS SOON AS 50% OF THE PROPERTIES ARE SOLD. MEMBERSHIP IN THE ASSOCIATION IS MANDATORY FOR ALL PROPERTY OWNERS WITHIN THE SUBDIVISION. ALL DEVELOPERS SHALL DEDICATE ALL COMMON LAND (SWIM BASIN, ROADS, RIGHTS-OF-WAY, ETC.) TO THE HOMEOWNER'S ASSOCIATION.
25. A COMMON INTEREST OWNERSHIP AGREEMENT MUST BE ESTABLISHED TO PROVIDE FOR THE MAINTENANCE OF COMMONLY-OWNED LAND, INCLUDING, BUT NOT LIMITED TO THE PRIVATE ROAD SYSTEM WITHIN THE SUBDIVISION. THIS COMMON INTEREST OWNERSHIP AGREEMENT MUST BE DEVELOPED IN ACCORDANCE WITH THE UNIFORM COMMON INTEREST OWNERSHIP ACT OF WEST VIRGINIA.
26. ONCE A HOMEOWNER'S ASSOCIATION IS FORMED THEY SHALL PETITION THE COUNTY COMMISSION TO ADOPT A LEASH LAW, IN ALL SUBDIVISIONS WITH MORE THAN TEN (10) LOTS.
27. SERVICE LATERALS TO INDIVIDUAL LOTS OR SITES SHALL BE INSTALLED BEFORE FINISHED ROAD SURFACES ARE CONSTRUCTED.
28. STORM WATER MANAGEMENT FOR THE PROJECT IS PROVIDED IN THE COLONIAL HILLS PHASE 3 (FILE NO. 05-38) STORMWATER POND TO THE SOUTH AND EAST OF THE PROPERTY.
29. PRIVATE WELLS AND/OR PRIVATE SEPTIC SYSTEMS FOR DOMESTIC USE ARE PROHIBITED WHEN CENTRAL WATER AND/OR SANITARY SEWER SERVICE IS AVAILABLE.

STANDARD W.V.D.O.T. NOTES:

- 1. ALL UTILITIES, INCLUDING ALL POLES, ARE TO BE RELOCATED AS NECESSARY AT EITHER THE DEVELOPER OR UTILITY OWNER'S EXPENSE PRIOR TO CONSTRUCTION.
2. THE DEVELOPER IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING ROADS AND UTILITIES WHICH OCCUR AS A RESULT OF PROJECT CONSTRUCTION WITHIN OR CONTIGUOUS TO EXISTING RIGHT-OF-WAY.
3. OPEN CUTTING OF PAVED OR SURFACE TREATED STATE ROADS IS NOT PERMITTED UNLESS APPROVED BY THE WEST VIRGINIA DEPARTMENT OF TRANSPORTATION.
4. THE DEVELOPER IS RESPONSIBLE FOR ALL TRAFFIC CONTROL.
5. A SMOOTH GRADE SHALL BE MAINTAINED FROM THE CENTERLINE OF THE EXISTING ROAD TO THE PROPOSED EDGE OF PAVEMENT TO PRECLUDE THE FORMING OF FALSE GUTTERS AND/OR THE PONDING OF ANY WATER IN THE ROADWAY.
6. OVERLAY OF EXISTING PAVEMENT SHALL BE A MINIMUM OF 1.5". ANY COSTS ASSOCIATED WITH PAVEMENT OVERLAY, OR THE MILLING OF EXISTING PAVEMENT TO OBTAIN REQUIRED DEPTH, SHALL BE THE RESPONSIBILITY OF THE DEVELOPER.
7. DITCHES SHALL BE SEEDED AND MULCHED TO ACHIEVE STABILIZATION. ADDITIONAL DITCH LININGS SHALL BE PROVIDED IF WARRANTED TO ACHIEVE STABILIZATION.
8. TRAFFIC CONTROL SIGNS AND THE MAINTENANCE OF TRAFFIC SHALL COMPLY WITH THE STANDARDS OF THE WEST VIRGINIA DEPARTMENT OF TRANSPORTATION.
9. ALL GUARDRAILS SHALL BE IN ACCORDANCE WITH WDOH STANDARD DETAILS BOOK VOLUME 1. THE GUARDRAIL POST SHALL BE PRESSURE-TREATED.

SANITARY SEWER NOTES:

- 1. INSTALLATION AND MAINTENANCE OF SEWER LINES SHALL BE IN ACCORDANCE WITH THE WV DEPARTMENT OF HEALTH AND CORPORATION OF SHEPHERDSTOWN.
2. ALL SANITARY SEWER TO BE SD-35 PVC UNLESS OTHERWISE SPECIFIED.
3. SERVICE LATERALS TO BE INSTALLED BEFORE PAVING.
4. BASED ON 61 RESIDENTIAL UNITS: 280 GALLONS PER DAY PER RESIDENTIAL UNIT = 17,080 GALLONS PER DAY OR 11.86 GALLONS PER MINUTE. THE RATES WERE DETERMINED FROM THE DEPARTMENT OF HEALTH AND HUMAN RESOURCES SEWER USAGE.

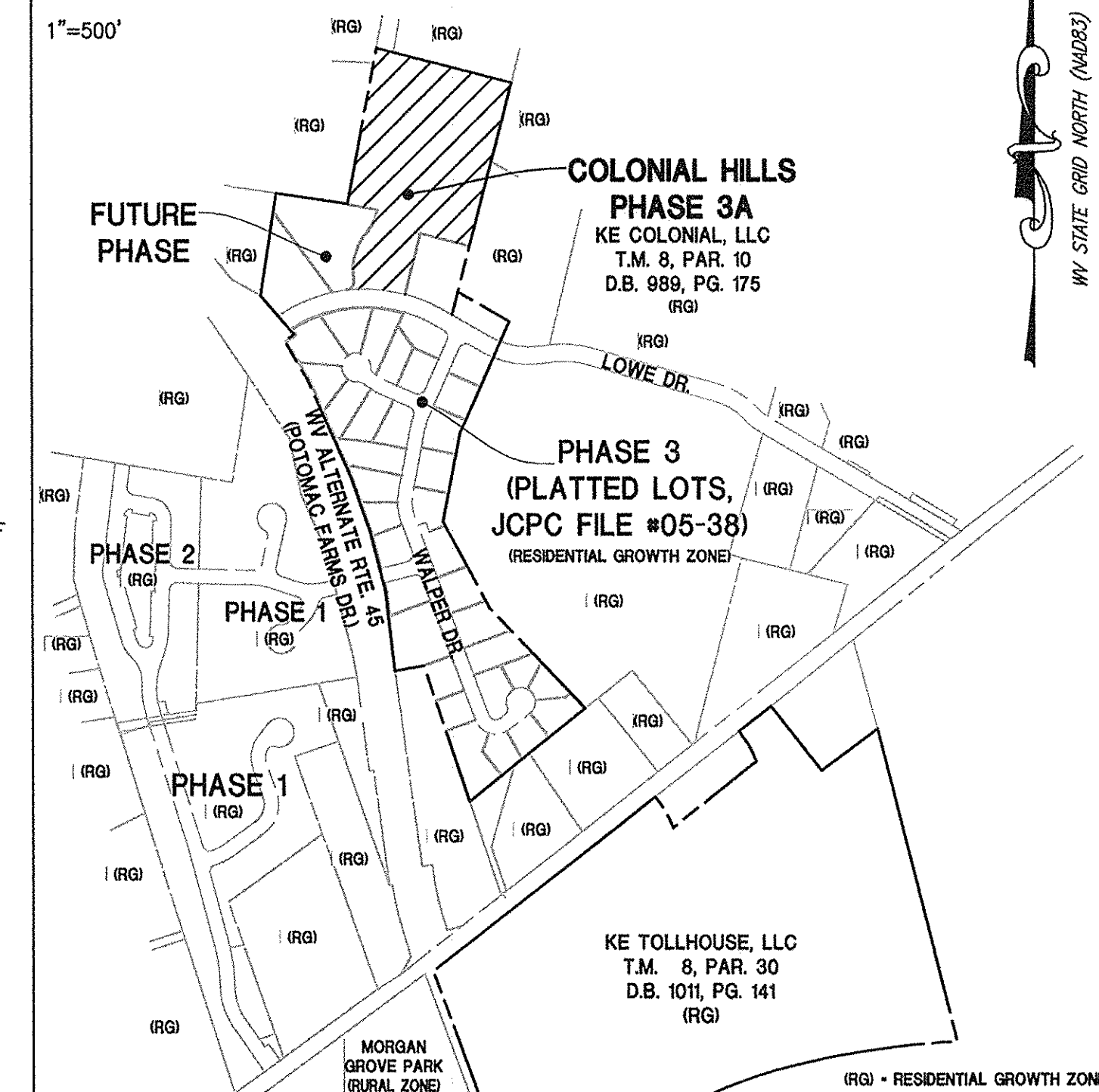
WATER NOTES:

- 1. APPROPRIATE BLANKET EASEMENTS SHALL BE GIVEN TO THE CORPORATION OF SHEPHERDSTOWN FOR THE PURPOSE OF CONSTRUCTING WATER LINES AND FACILITIES.
2. INSTALLATION AND MAINTENANCE OF WATER LINES SHALL BE IN ACCORDANCE WITH THE WV DEPARTMENT OF HEALTH AND CORPORATION OF SHEPHERDSTOWN.
3. COMPLETE WATER LATERALS PRIOR TO FINAL PAVING.
4. WATER LINES TO HAVE A MINIMUM OF 3.5' OF COVER TO GROWN OF PIPE. WATER LINES TO HAVE SEAL OF THE NATIONAL SANITATION FOUNDATION. MECHANICAL JOINTS OR SLIP-ON JOINTS WITH RUBBER GASKETS ARE PREFERRED BY HEALTH DEPARTMENT.
5. PROVIDE CONCRETE THRUST BLOCKING AT ALL WATER LINE INTERSECTIONS AND DIRECTION CHANGES.
6. ALL MAIN LINE WATER PIPE TO BE AWWA C909, DR-18.
7. WATERLINE EASEMENTS ARE TO BE DEDICATED TO THE CORPORATION OF SHEPHERDSTOWN.
8. CONTACT FOR CORPORATION OF SHEPHERDSTOWN WATER: P.O. BOX 248 SHEPHERDSTOWN, WV 25443 (304) 876-3322
CONTACT: FRANK WELCH
9. SPECIFICATIONS AND THREADS ARE TO BE COMPATIBLE WITH COUNTY FIRE DEPARTMENT REQUIREMENTS.
10. BASED ON 61 RESIDENTIAL UNITS: 280 GALLONS PER DAY PER RESIDENTIAL = 17,080 GALLONS PER DAY OR 11.86 GALLONS PER MINUTE. THE RATES WERE DETERMINED FROM THE DEPARTMENT OF HEALTH AND HUMAN RESOURCES WATER USAGE.
11. WATER AND SEWER LINES WILL HAVE A MINIMUM 10' HORIZONTAL SEPARATION AND 1.5' MINIMUM VERTICAL SEPARATION AT CROSSINGS.
12. WATER AND SEWER LINES SHALL BE PLACED IN TRENCHES ON A BEDDING MATERIAL SUITABLE TO PREVENT RUPTURE AS DETERMINED BY THE ENGINEER.

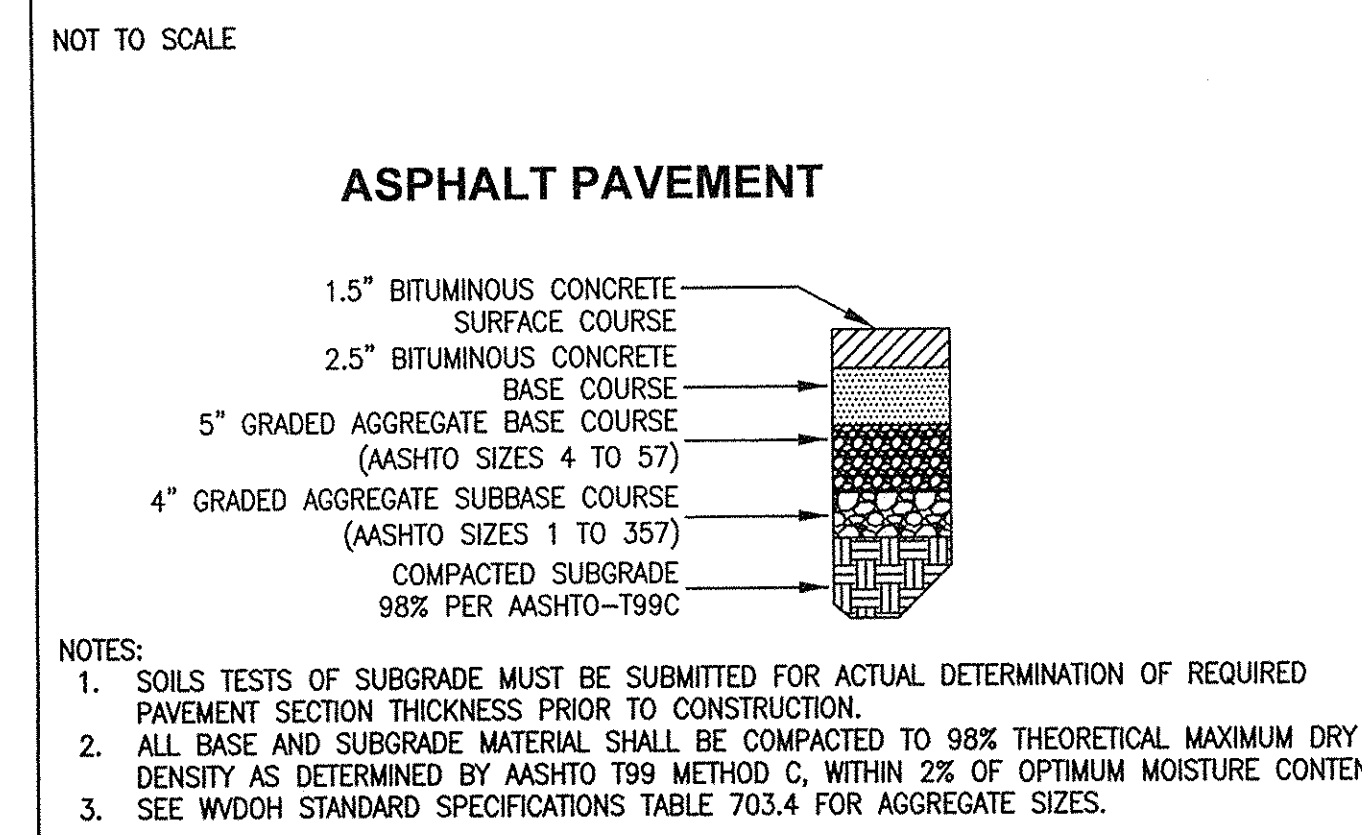
ZONING ORDINANCE SUMMARY:

- 1. ZONING REQUIREMENTS: CURRENT ZONE: RESIDENTIAL GROWTH PROPOSED USE: RESIDENTIAL-TOWNHOMES
2. ENVIRONMENTAL: ENVIRONMENTAL STANDARDS CONTAINED IN SECTION 8.9.A 2 THROUGH 8 OF THE JEFFERSON COUNTY ZONING AND LAND DEVELOPMENT ORDINANCE WILL APPLY.
3. LANDSCAPING: IT WILL BE THE RESPONSIBILITY OF THE LANDOWNER TO REPLACE ANY TREES SHOWN IN THIS SITE PLAN THAT DIE.
4. SITE LIGHTING: SITE LIGHTING IS TO BE PROVIDED PER SUBDIVISION ORDINANCE SUMMARY NOTE 17.
5. RESIDENTIAL LAND AREA = 3.27 ACRES
6. DENSITY: 61 UNITS ÷ 3.27 ACRES = 18.6 UNITS/ACRE
7. TOTAL LAND FOR PARKS REQUIRED: 15.0% OF RESIDENTIAL LAND AREA MUST BE RESERVED FOR PARK AND RECREATIONAL USE REQUIRED = 0.49 ACRES PROVIDED = 0.86 ACRES (TO BE OWNED BY HOA)
8. AREA PER DWELLING UNIT REQUIRED = 3,500 SF PER DWELLING UNIT = 213,500 SF PROVIDED = 280,565 SF ÷ 61 UNITS = 4,599 SF PER DWELLING UNIT
9. USE REQUIREMENTS:
LOT SIZE: 1,400 SF MINIMUM 2,000 SF MINIMUM
BUILDING HEIGHT: 40' (MAX) 40' (MAX)
BUILDING SETBACK: FRONT 25' (MIN) 25' (MIN) SIDE (END UNIT) 12' (MIN) 12' (MIN) STREET SIDE 15' (MIN) 15' (MIN) REAR 20' (MIN) 20' (MIN)
10. PARKING REQUIREMENTS: REQUIRED: 2 SPACES PER DWELLING UNIT + 0.25 PER BEDROOM 61 UNITS * 2 = 122 61 UNITS * 3 BEDROOMS * 0.25 = 46 TOTAL REQUIRED = 168 SPACES
PROPOSED: 50% OF THE GARAGE BAYS + 1 DRIVEWAY SPACE PER UNIT 61 SINGLE GARAGE UNITS * 50% = 30 DRIVEWAY SPACES = 61 ON-STREET PARKING SPACES = 78 TOTAL PROPOSED = 169 SPACES
11. THE MODEL HOME/SALES OFFICE MAY BE LOCATED ON LOT T61 OR LOT T121.

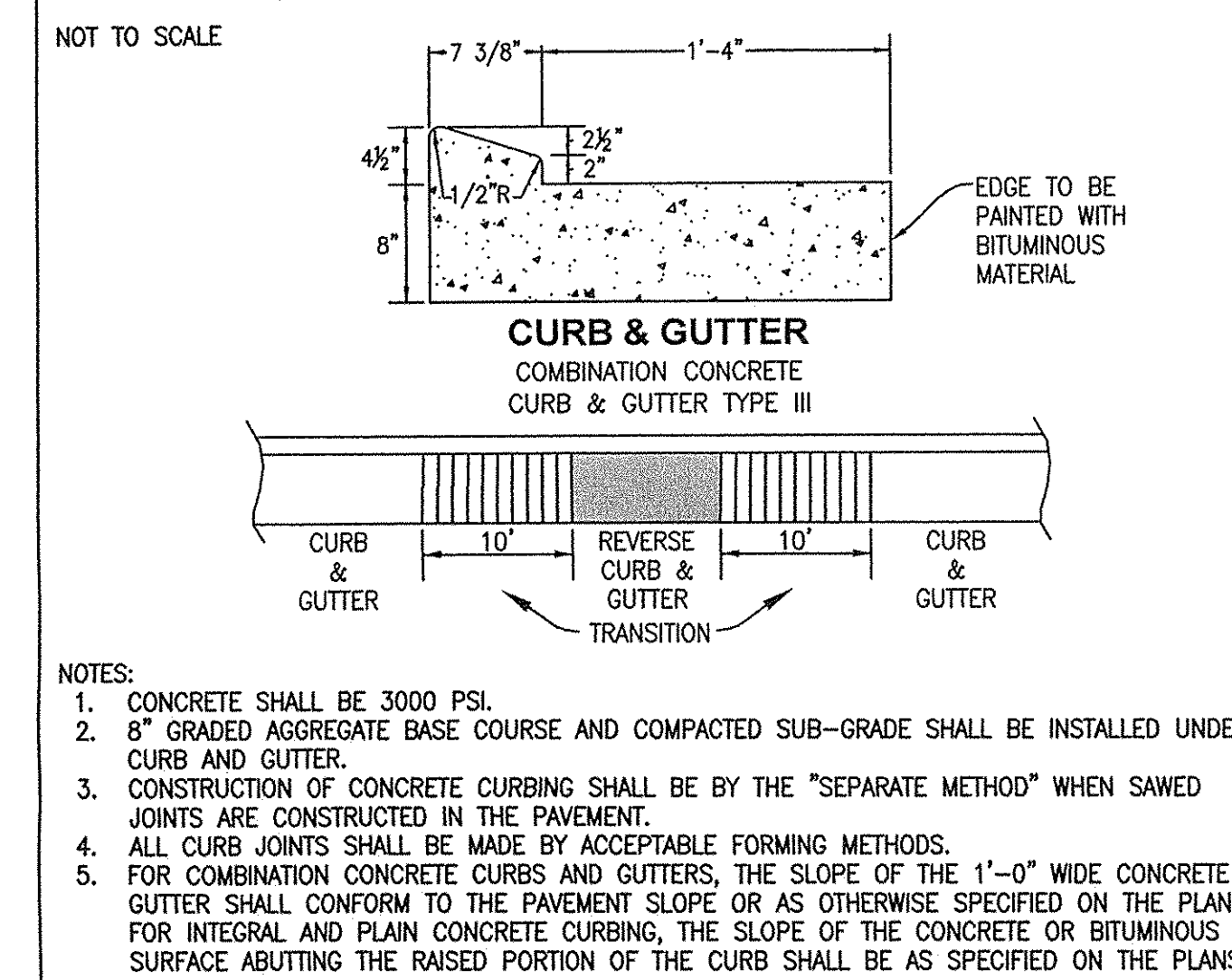
SUBDIVISION SECTION MAP:



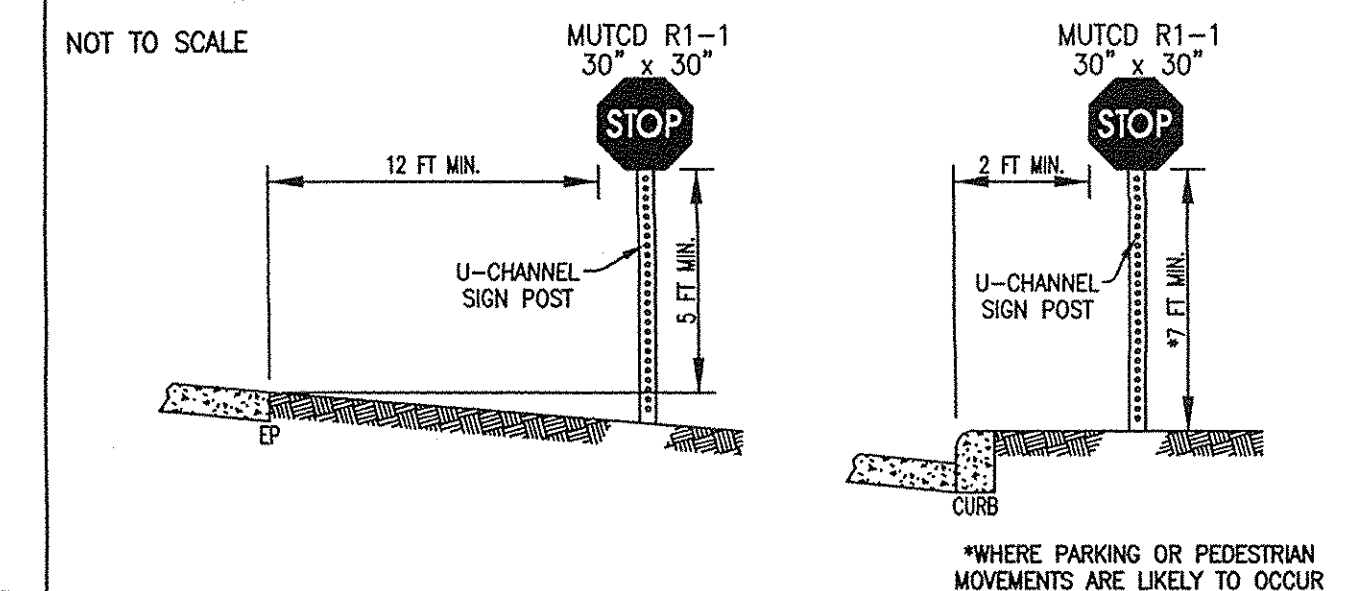
MINIMUM TYPICAL PAVEMENT SECTIONS:



CURB & GUTTER DETAILS:



SIGN DETAIL:



SIDEWALK DETAIL:

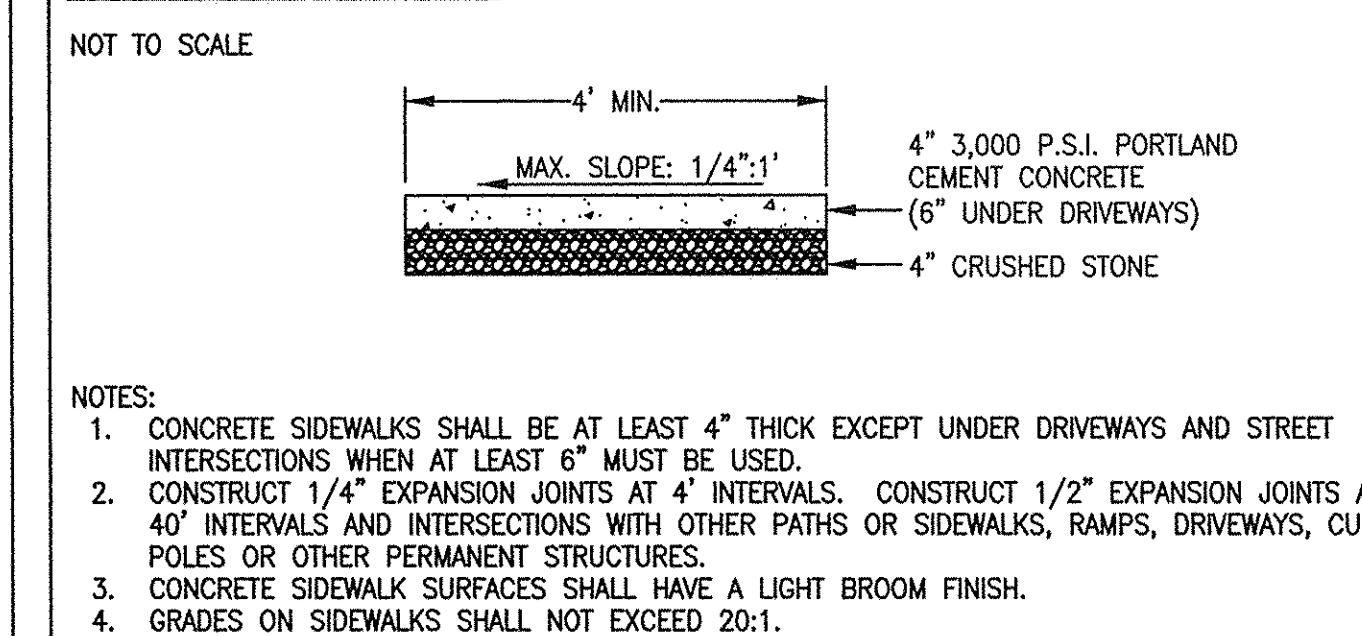
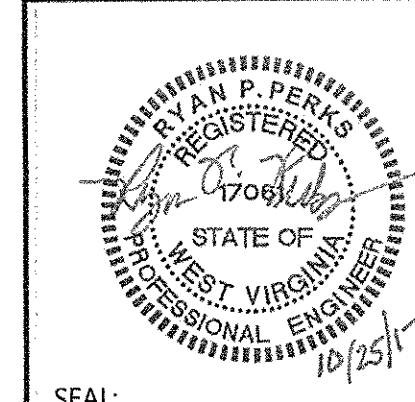


Table with 3 columns: UTILITY, UTILITY COMPANY, TELEPHONE NUMBER. Lists contacts for Water, Sanitary Sewer, Electric, Telephone, Cable, and Other.

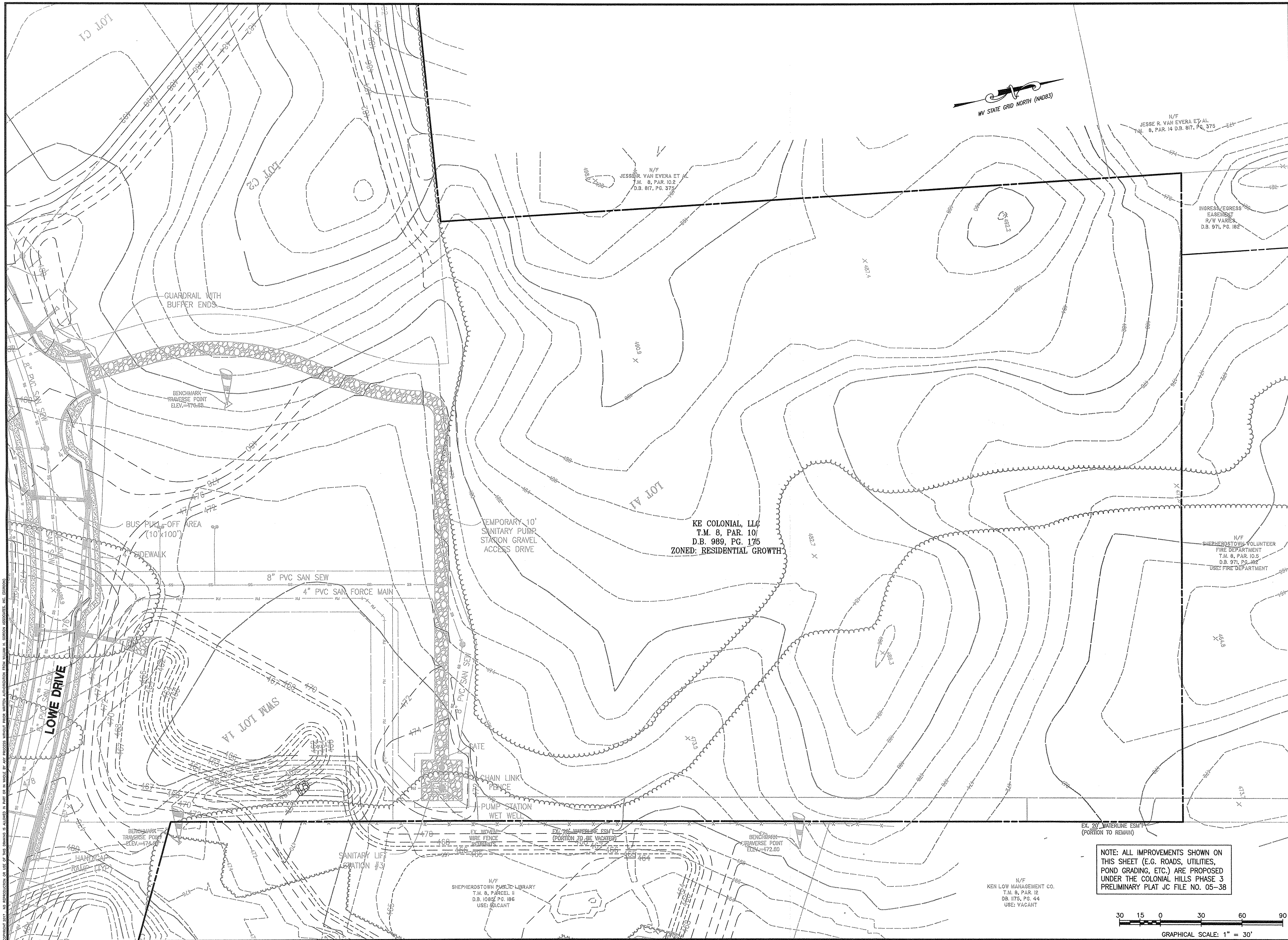
Gordon Engineering & Planning logo and contact information: 301 N. Mildred Street, Suite 1, Charles Town, WV 25414. Phone: 304-725-8456. www.gordonus.com



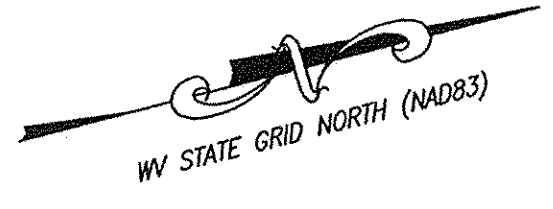
Revisions table with columns for revision number, description, and date. Includes entries for JPCP comments.

General notes and details for Colonial Hills Phase 3A, including tax map information and location in Jefferson County, West Virginia.

Scale and sheet information: SCALE: HORIZ: N/A, VERT: DATE: 2017, JOB: 2436-0202, DRAWN: MAC, CHECK: JPC, CADD: C-GI-002.DWG, NCS: GI-002, SHEET: 02 OF 22



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N/F
JESSE R. VAN EVERA ET AL.
T.M. 8, PAR. 14 D.B. 817, PG. 375

N/F
JESSE R. VAN EVERA ET AL.
T.M. 8, PAR. 10.2
D.B. 817, PG. 375

INGRESS/EGRESS
EASEMENT
R/W VARIES
D.B. 971, PG. 182

KE COLONIAL, LLC
T.M. 8, PAR. 10/
D.B. 989, PG. 175
ZONED: RESIDENTIAL GROWTH

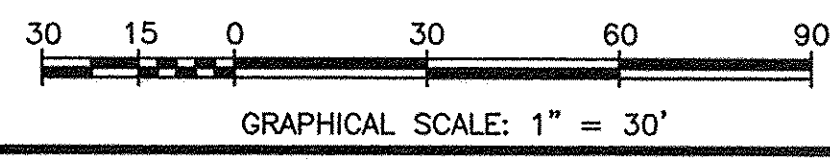
N/F
SHEPHERDSTOWN VOLUNTEER
FIRE DEPARTMENT
T.M. 8, PAR. 10.5
D.B. 971, PG. 182
USE: FIRE DEPARTMENT

N/F
SHEPHERDSTOWN PUBLIC LIBRARY
T.M. 8, PARCEL II
D.B. 1084, PG. 186
USE: VACANT

N/F
KEN LOW MANAGEMENT CO.
T.M. 8, PAR. 12
D.B. 876, PG. 44
USE: VACANT

NOTE: ALL IMPROVEMENTS SHOWN ON
THIS SHEET (E.G. ROADS, UTILITIES,
POND GRADING, ETC.) ARE PROPOSED
UNDER THE COLONIAL HILLS PHASE 3
PRELIMINARY PLAT JC FILE NO. 05-38

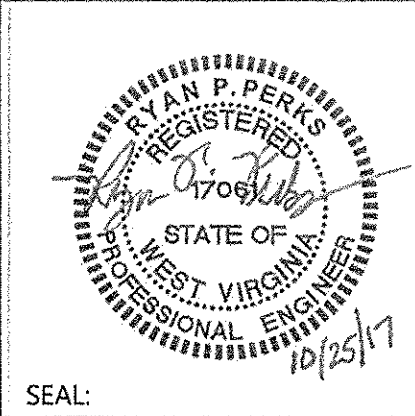
EX. 20' WATERLINE ESM (PORTION TO REMAIN)



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Phone: 304-725-8456
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NO.	REVISIONS

1. JCPC COMMENTS - 7/31/2017

EXISTING CONDITIONS

**COLONIAL HILLS
PHASE 3A**

TAX MAP 8, PARCEL 10, D.B. 989 PG. 175
SHEPHERDSTOWN TAX DISTRICT
JEFFERSON COUNTY, WEST VIRGINIA

SCALE:	HORIZ: 1"=40'
	VERT:
DATE:	JUNE 2017
JOB:	2436-0202
DRAWN:	MAC
CHECK:	JPG
CADD:	C-CD-101.DWG
NCS:	CD-101
SHEET:	03 OF 22

CURVE TABLE					
CURVE #	RADIUS	ARC	DELTA	CHORD LENGTH	TANGENT BEARING
C1	25.00'	37.21'	85°17'08"	33.87'	N40°33'37"E 23.02'
C2	205.00'	146.20'	40°51'44"	143.12'	N18°20'55"E 76.37'
C3	155.00'	76.24'	28°10'51"	75.47'	N24°41'21"E 38.91'
C4	25.00'	36.82'	84°22'35"	33.58'	N44°16'15"W 22.66'
C5	155.00'	3.24'	1°11'52"	3.24'	N1°29'02"W 1.62'
C6	155.00'	20.43'	7°33'00"	20.41'	N2°53'24"E 10.23'
C7	155.00'	20.67'	7°24'59"	20.05'	N10°22'24"E 10.05'
C8	155.00'	32.21'	11°54'28"	32.16'	N20°02'07"E 16.16'
C9	150.39'	10.30'	3°56'33"	10.30'	N28°18'46"E 5.15'
C10	150.39'	22.32'	8°30'15"	22.30'	N34°31'39"E 11.18'
C11	209.61'	18.40'	5°01'43"	18.39'	N36°15'55"E 9.20'
C12	205.00'	30.44'	8°30'31"	30.42'	N29°29'48"E 15.25'
C13	25.00'	34.54'	79°09'16"	31.86'	N64°49'11"E 20.67'
C14	25.00'	39.27'	89°59'55"	35.35'	S59°23'51"W 25.00'
C15	25.00'	39.29'	90°02'54"	35.37'	S30°37'33"E 25.02'
C16	25.00'	40.91'	93°45'04"	36.42'	N57°28'28"E 26.69'
C17	25.00'	37.61'	86°12'07"	34.16'	N32°30'08"W 23.40'
C18	530.00'	105.41'	11°23'41"	105.23'	N80°45'42"W 52.88'

NOTES:

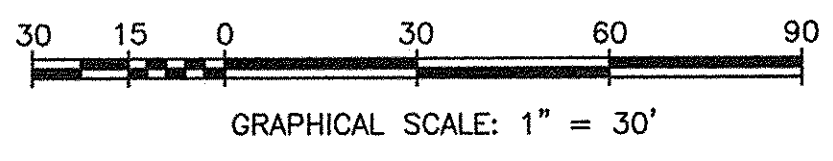
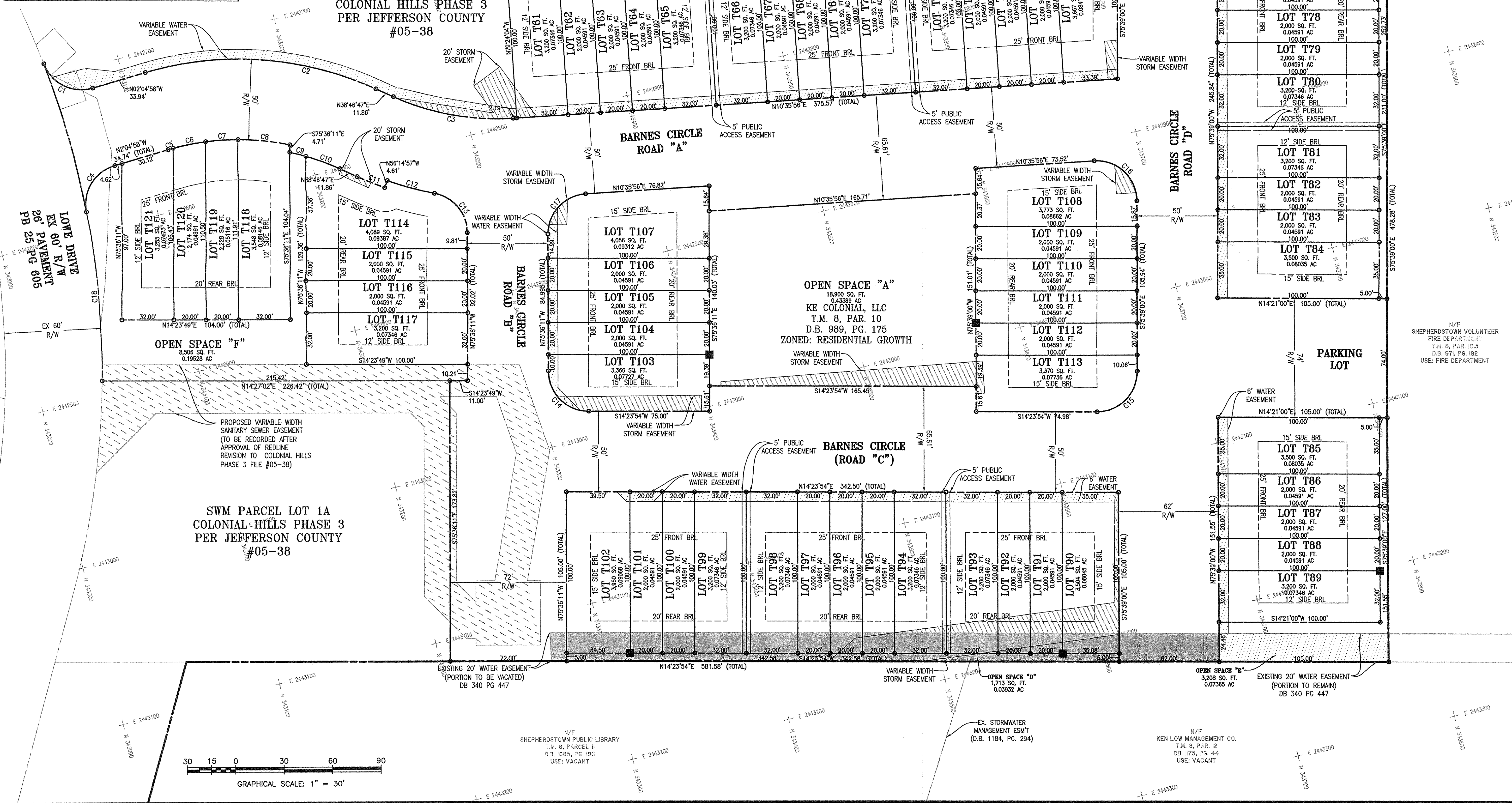
- BEARING AND DISTANCES ARE APPROXIMATE AND MAY CHANGE WITH FINAL PLAT.
- KE COLONIAL, LLC, STILL OWNS THE LOTS CREATED WITH COLONIAL HILLS PHASE 3.

LEGEND:

- IRON PIPE TO BE SET (REBAR)
- EXISTING MONUMENT FOUND
- CONCRETE MONUMENT TO BE SET
- EASEMENT TO BE VACATED
- WATERLINE EASEMENT
- STORM SEWER EASEMENT
- SANITARY SEWER EASEMENT

COLONIAL HILLS PHASE 3A AREA DATA SUMMARY		
61 TOWN HOUSE LOTS	142,375 SQ. FT. OR	3.26833 ACRES
R.O.W. DEDICATION	109,397 SQ. FT. OR	2.51156 ACRES
OPEN SPACE PARCELS	28,793 SQ. FT. OR	0.65627 ACRES
TOTAL SITE AREA	280,565 SQ. FT. OR	6.43616 ACRES

DENSITY:	
AREA PER DWELLING UNIT:	4599.43 SQ. FT.
AVERAGE LOT SIZE:	2,334 SQ. FT.
MINIMUM LOT SIZE PROVIDED:	2,000 SQ. FT.



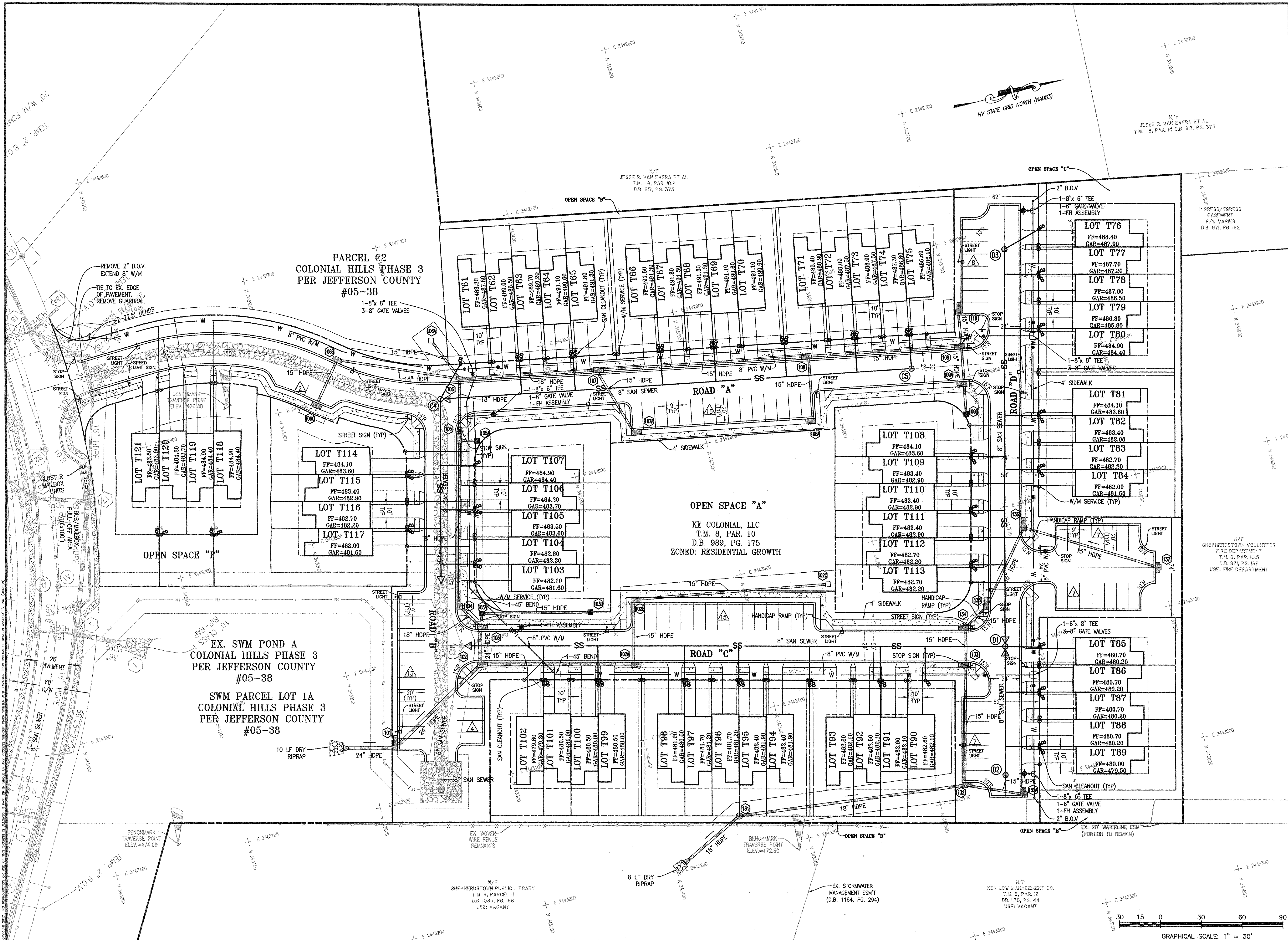
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 Charles Town, WV 25414
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STATE OF WEST VIRGINIA
 REGISTERED PROFESSIONAL ENGINEER
 No. 102517
 SEAL

NO.	REVISIONS
1.	JOPC COMMENTS - 7/31/2017

PRELIMINARY PLAT
COLONIAL HILLS PHASE 3A
 TAX MAP 8, PARCEL 10, D.B. 989 PG. 175
 SHEPHERDSTOWN TAX DISTRICT
 JEFFERSON COUNTY, WEST VIRGINIA

SCALE: HORIZ: 1"=30'
 VERT:
 DATE: JUNE 2017
 JOB: 2436-0202
 DRAWN: MAC CHECK: JPG
 CADD: C-CS-101.DWG
 NCS: CS-101
 SHEET: **04 OF 22**



PARCEL C2
COLONIAL HILLS PHASE 3
 PER JEFFERSON COUNTY
 #05-38

OPEN SPACE "A"
 KE COLONIAL, LLC
 T.M. 8, PAR. 10
 D.B. 989, PG. 175
 ZONED: RESIDENTIAL GROWTH

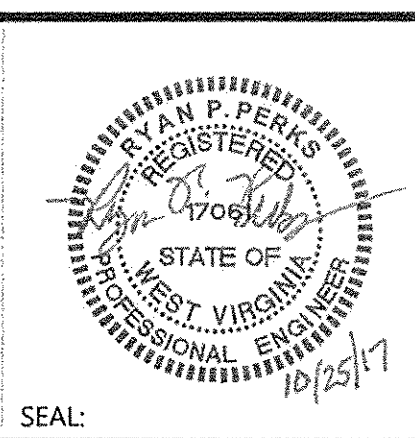
EX. SWM POND A
COLONIAL HILLS PHASE 3
 PER JEFFERSON COUNTY
 #05-38

SWM PARCEL LOT 1A
COLONIAL HILLS PHASE 3
 PER JEFFERSON COUNTY
 #05-38

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REVISIONS

NO.	DESCRIPTION	DATE
1.	CORP OF SHEP COMMENTS - 7/20/2017	
2.	JCFPC COMMENTS - 7/31/2017	
3.	JCFPC COMMENTS - 10/25/2017	

SITE PLAN

**COLONIAL HILLS
 PHASE 3A**

TAX MAP 8, PARCEL 10, D.B. 989 PG. 175
 SHEPHERDSTOWN TAX DISTRICT
 JEFFERSON COUNTY, WEST VIRGINIA

SCALE: HORIZ: 1" = 40'
 VERT:

DATE: JUNE 2017

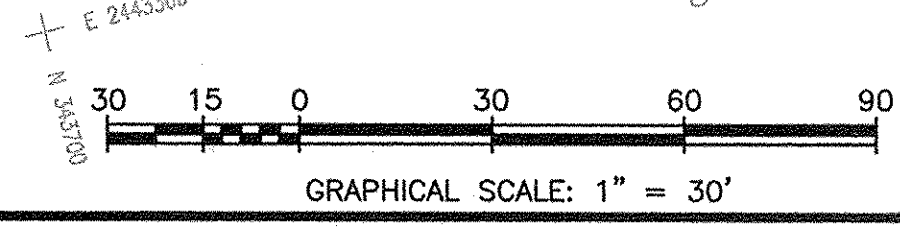
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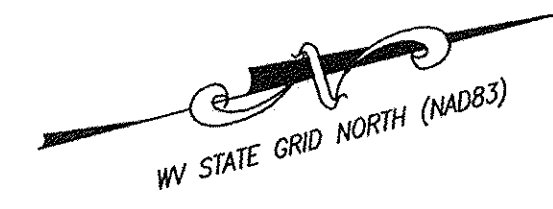
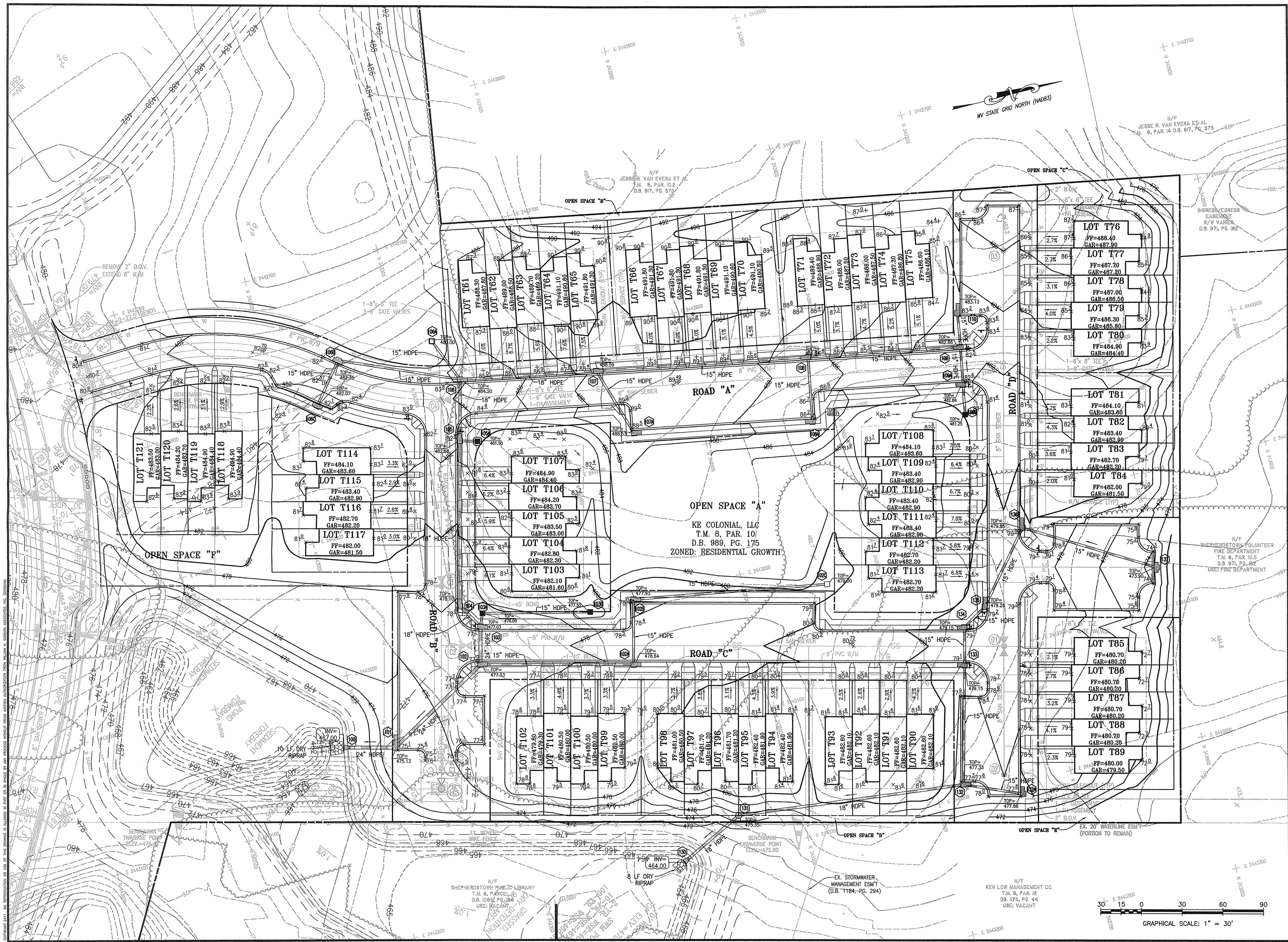
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NCS: CS-102

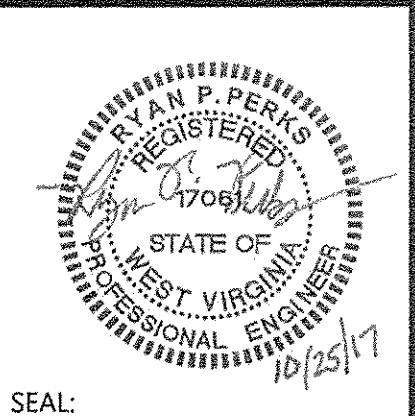
SHEET: **05 OF 22**





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REVISIONS

NO.	DESCRIPTION	DATE
1.	CORP. OF SHEP. COMMENTS - 7/20/2017	
2.	JCCP COMMENTS - 7/31/2017	

GRADING PLAN

**COLONIAL HILLS
 PHASE 3A**

TAX MAP 8, PARCEL 10, D.B. 989 PG. 176
 SHEPHERDSTOWN TAX DISTRICT
 JEFFERSON COUNTY, WEST VIRGINIA

SCALE: HORIZ: 1"=30'
 VERT:

DATE: JUNE 2017

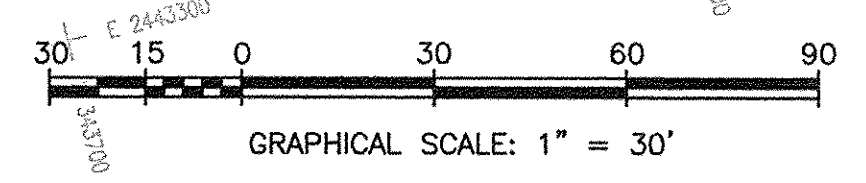
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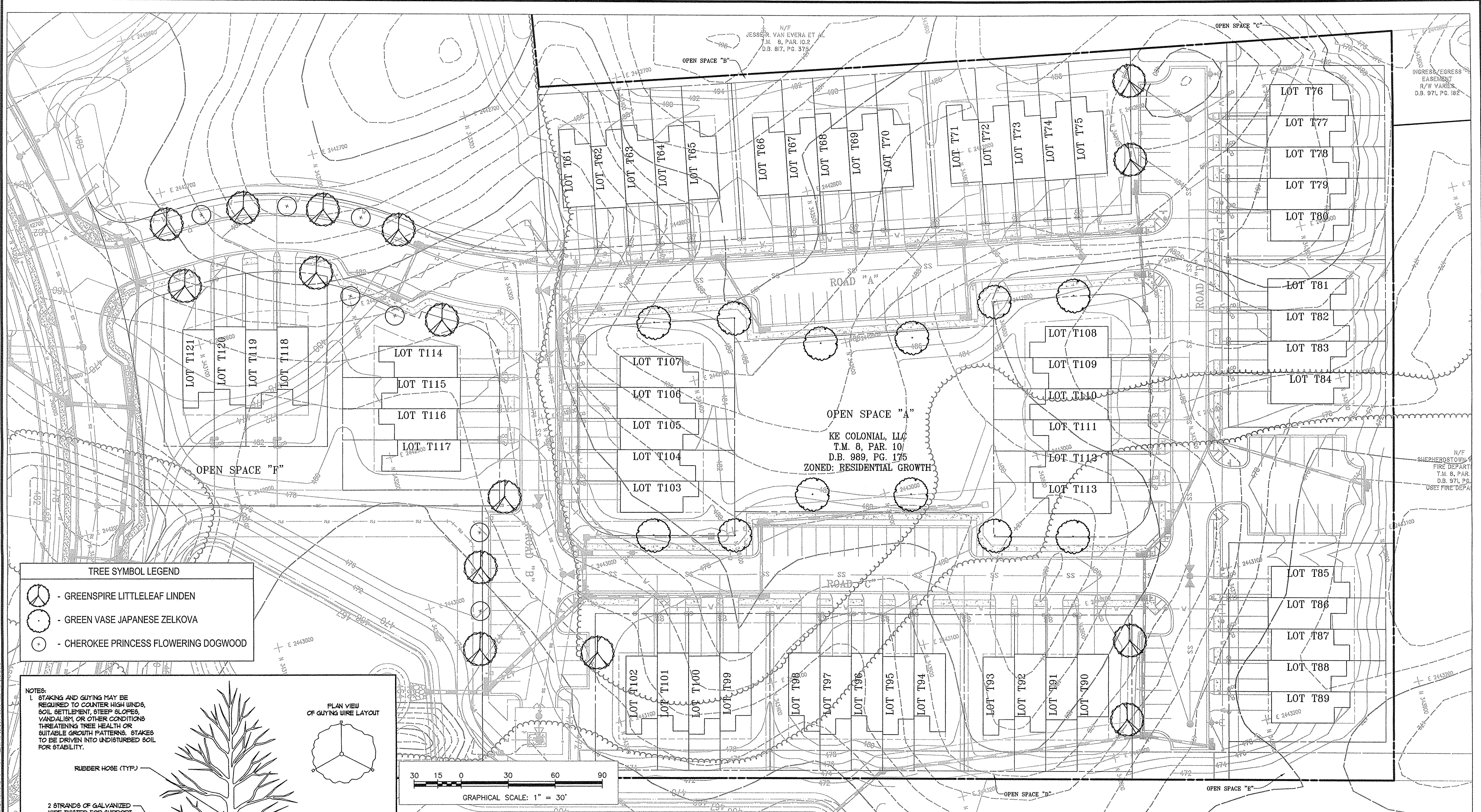
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CADD: C-CG-101.DWG

NCS: CG-101

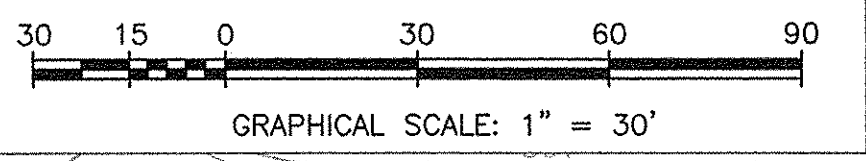
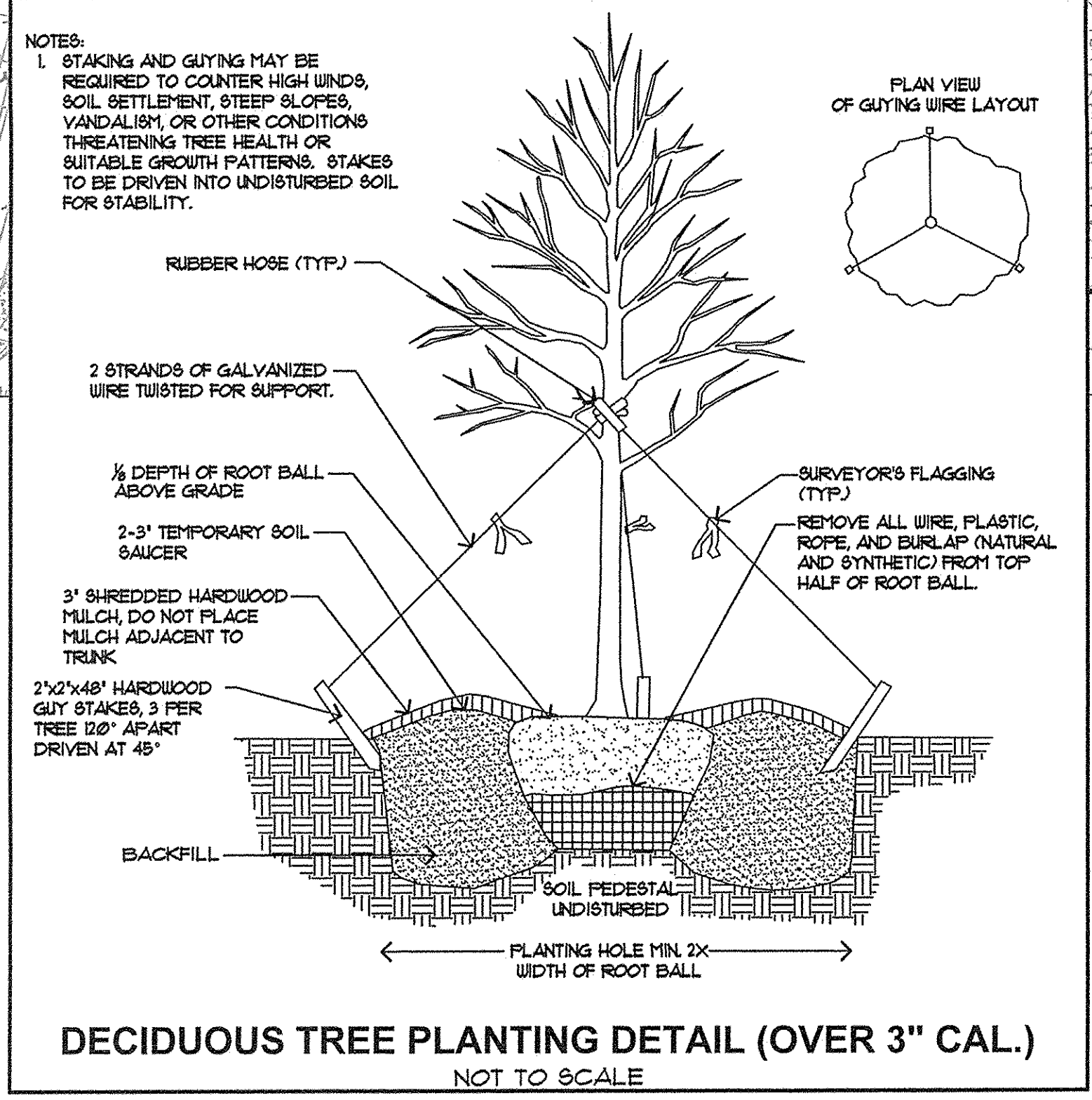
SHEET: **06 OF 22**





TREE SYMBOL LEGEND

- GREENSPIRE LITTLELEAF LINDEN
- GREEN VASE JAPANESE ZELKOVA
- CHEROKEE PRINCESS FLOWERING DOGWOOD



NOTES:

- SPECIES LISTED ARE PRELIMINARY AND MAY CHANGE WITH AVAILABILITY UPON APPROVAL BY THE OWNER OR OWNERS REPRESENTATIVE.
- LANDSCAPING PROVIDED PURSUANT TO SECTION 4.11.1.b. OF THE JEFFERSON COUNTY ZONING & LAND DEVELOPMENT ORDINANCE.
- ALL PERVIOUS AREAS WITHIN THE LIMITS OF CONSTRUCTION THAT ARE NOT SHOWN AS PLANTING BEDS SHALL BE TURF.
- ALL LANDSCAPE MATERIALS SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD OF NURSERY STOCK (ANSI Z60.1). PLANT MATERIALS SHALL BE OF STANDARD QUALITY OR BETTER, TRUE TO NAME AND TYPE OF THEIR SPECIES OR VARIANT.
- ALL WORKMANSHIP AND MATERIALS (INCLUDING PLANTS) TO BE GUARANTEED FOR ONE FULL YEAR FOLLOWING INITIAL ACCEPTANCE OF INSTALLATION BY OWNER.
- THE CONTRACTOR SHALL COMPLY WITH THE LATEST EDITION OF THE LANDSCAPE SPECIFICATION GUIDELINES ADOPTED BY THE LANDSCAPE CONTRACTORS ASSOCIATION FOR PLANTING BED PREPARATION AND SOIL MIX GUIDELINES AND PROCEDURES.
- THE EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE BASED UPON AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING MISS UTILITY TO DETERMINE THE EXACT LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK AND IS RESPONSIBLE FOR ANY DAMAGES WHICH OCCUR BY THEIR FAILURE TO LOCATE OR PRESERVE THESE UNDERGROUND UTILITIES.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY FIELD CONDITIONS PRIOR TO CONSTRUCTION AND TO NOTIFY GORDON IF THE FIELD CONDITIONS ARE NOT IN CONFORMANCE WITH THE APPROVED PLANS.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL TREES ARE NOT PLANTED WITHIN 5' OF ANY UNDERGROUND UTILITY.
- THE CONTRACTOR IS RESPONSIBLE FOR EVALUATING INDIVIDUAL TREES FOR STABILITY AT THE TIME OF PLANTING. BASED ON THIS EVALUATION, TREES SHALL BE STAKED AND GUYED AS NECESSARY TO ENSURE THAT THEY REMAIN IN AN UPRIGHT POSITION. STAKES ARE TO BE REMOVED BY OWNER AFTER ONE GROWING SEASON.
- ALL PLANT MATERIAL TO BE INSPECTED BY OWNER OR OWNERS REPRESENTATIVE PRIOR TO INSTALLATION. PLANTS THAT ARE DAMAGED OR DO NOT CONFORM TO THE REQUIRED SPECIFICATION SHALL BE REJECTED.
- ALL PLANTING BEDS ADJACENT TO TURF SHALL HAVE A 6" SPADE EDGE.
- IF DISCREPANCIES EXIST BETWEEN THE QUANTITIES IN THE PLANT LIST AND QUANTITIES ON THE PLAN, THE PLAN SHALL PREVAIL. IF DISCREPANCIES EXIST BETWEEN PLANT SYMBOL AND NUMBERED QUANTITY, THE NUMBER OF SYMBOLS SHALL PREVAIL.

Plant Schedule

Trees					
Symbol	Quantity	Botanical Name	Common Name	Size	Remarks
TC	15	<i>Tilia cordata</i> 'Greenspire'	Greenspire Littleleaf Linden	1.5" Caliper - 8' Min. Height	Balled & Burlapped
ZS	12	<i>Zelkova serrata</i> 'Green Vase'	Green Vase Japanese Zelkova	1.5" Caliper - 8' Min. Height	Balled & Burlapped
CF	7	<i>Cornus florida</i> 'Cherokee Princess'	Flowering Dogwood	1.0" Caliper - 6' Min. Height	Balled & Burlapped

Landscaping Requirements

Section 4.11.1.b. of the Zoning and Land Development Ordinance*

Regulation	Required	Provided
1 Deciduous Tree for Every 100' of Street Frontage	33	34
Street Frontage: 3,231 / 100' = 32.3 Trees		

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REGISTERED PROFESSIONAL ENGINEER
STATE OF WEST VIRGINIA
10/25/17

SEAL:

REVISIONS

NO.	DESCRIPTION

LANDSCAPE PLANTING PLAN

COLONIAL HILLS PHASE 3A

TAX MAP 8, PARCEL 10, D.B. 989 PG. 176
SHEPHERDSTOWN TAX DISTRICT
JEFFERSON COUNTY, WEST VIRGINIA

SCALE: HORIZ: 1"=30'
VERT:

DATE: JUNE 2017
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DRAWN: MAC CHECK: JPG
CADD: L-LP-101.DWG
NCS: LP-101
SHEET: 22 OF 22

THIS SHEET IS FOR LANDSCAPE PURPOSES ONLY!