

PRELIMINARY PLAN NOTES

- 1 - SEE JEFFERSON COUNTY ZONING MAP FOR ZONING DISTRICTS WITHIN 500' OF THE SUBJECT PROPERTY.
- 2 - A CONCEPT PLAN FOR THIS PROJECT WAS APPROVED FEB. 11, 2020.
- 3- ZONING INFORMATION
- A. THE SUBJECT PROPERTY IS LOCATED IN THE RESIDENTIAL / LIGHT INDUSTRIAL / COMMERCIAL ZONING DISTRICT.
- B. DENSITY CALCULATIONS : 4.0 UNITS / 9.54 AC. = 2.38/AC.
- C. SEE SHEET 3 FOR THE PROPERTY'S "SITE RESOURCES".
- C.1. BOUNDARY AND TOPOGRAPHIC INFORMATION: FROM A SURVEY BY TERRA SOLUTIONS ENGINEERING DATED 10/18/2019. CONTOURS ARE SHOWN AT TWO FOOT INTERVALS. HORIZONTAL DATUM IS WEST VIRGINIA STATE PLANE COORDINATE SYSTEM, VERTICAL DATUM IS NAVD 88.
- C.2. WOODED AREAS ARE SHOWN ON SHEET 3. THE SITE CONTAINS NO WATER COURSES, NO KNOWN AREAS OF ROCK OUTCROPPING OR SINKHOLES EXIST. THERE ARE NO KNOWN HILLSIDES OR QUARRIES LOCATED IN THE AREA OF DEVELOPMENT.
- C.3. NO DEVELOPMENT WILL OCCUR WITHIN 1,000' OF THE SHENANDOAH OR POTOMAC RIVERS AND THEREFORE IS NOT SUBJECT TO THE HILLSIDE REGULATIONS FOUND UNDER SECTION 22.504.A. OF THE JEFFERSON COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
- C.4. FEMA MAP FIRM 54037C0137E EFFECTIVE DATE DEC. 18, 2009 SHOWS NO FEMA MAPPED FLOODPLAIN AREAS ON THE SUBJECT PROPERTY, WHICH IS SHOWN IN ZONE "X", AREAS OF MINIMAL FLOODPLAIN HAZARD.
- D. SEE SHEET 4 FOR ADJACENT PROPERTY INFORMATION.
- PROPOSAL DESCRIPTION : THE SUBJECT PROPERTY IS ZONED RESIDENTIAL / LIGHT INDUSTRIAL / COMMERCIAL. THE PLAN INCLUDES 4 CONCEPTUAL COMMERCIAL LOT AREAS, OPEN SPACE, STORMWATER AREAS AND THE CONSTRUCTION OF ASSOCIATED UTILITIES. SIDEWALKS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF ALL STREETS. NO RESTRICTIVE COVENANTS / CONDITIONS / RESTRICTIONS ARE PROPOSED AT THIS TIME, BUT MAY BE PROVIDED AT THE TIME OF FINAL PLAT.
- TRAFFIC IMPACT DATA:
- A. THE WVDOT ONLINE TRAFFIC COUNTS PROVIDE AVERAGE DAILY TRAFFIC COUNTS FOR THE FOLLOWING LOCATIONS:
- OLD COUNTRY CLUB ROAD AT US 340: 3,321.
 - US 340 2.3 MI EAST OF PATRICK HENRY WAY: 23,147
 - US 340 0.9 MI WEST OF OLD COUNTRY CLUB ROAD: 30,001
- B. TRIP GENERATION BASED ON SECTION 24.110(B)5.B. OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS ARE AS FOLLOWS (OR ITE 10TH EDITION, WHICH ARE MORE CONSERVATIVE) : (See tabulation below.)
- C. THE NEAREST KEY INTERSECTION AS DEFINED IN THE CONCEPT PLAN CHECKLIST IS THE OLD COUNTRY CLUB ROAD / ROUTE 340 INTERCHANGE.
- D. PER ENVISION JEFFERSON 2035, PAGES 98 AND 99, ONE (1) HIGHWAY PROBLEM AREA EXIST WITHIN A DISTANCE OF APPROXIMATELY 1 MILE OF THE PROJECT SITE: #16 - CATTAIL RUN ROAD & MARLOWE ROAD: 90 DEGREE TURN.

A LIST OF ALL ADJOINING PROPERTIES AND OWNERS ADDRESSES ARE INCLUDED AS PART OF THIS SUBMISSION. PROPERTY OWNERS INFORMATION IS PROVIDED PURSUANT TO JEFFERSON COUNTY ASSESSORS RECORDS.

THE PLAN HAS BEEN SUBMITTED CONCURRENTLY FOR REVIEW TO WVDOH.

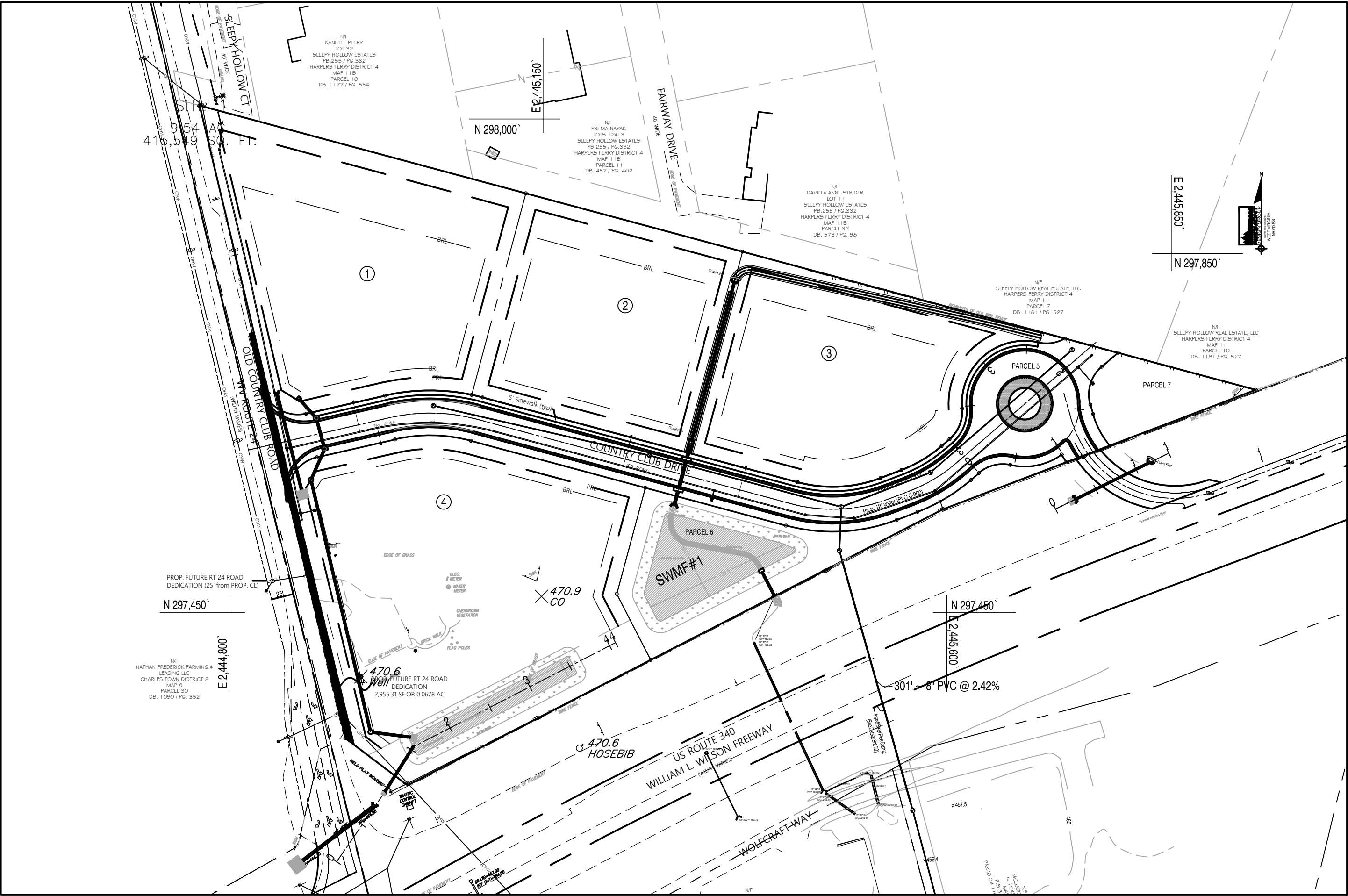
WATER IS TO BE PROVIDED BY JUI (JEFFERSON UTILITIES, INC). SANITARY SEWER SERVICE IS TO BE PROVIDED BY CTUB (CHARLES TOWN UTILITY BOARD). PRELIMINARY DISCUSSIONS WITH CTUB HAVE INDICATED THAT THERE IS ADEQUATE CAPACITY TO SERVE THE PROPOSED DEVELOPMENT. A SEWER SERVICE ADEQUACY LETTER HAS BEEN PROVIDED BY CTUB.

THE EXACT LOCATIONS OF THE WATER AND SEWER CONNECTIONS HAVE BEEN DETERMINED WITHIN THE SITE DESIGN IN CONJUNCTION WITH JUI & CTUB.

- BASE NOTES
1. PROPERTY IS ZONED RESIDENTIAL-LIGHT INDUSTRIAL-COMMERCIAL.
2. PROPERTY COMPRISES APPROXIMATELY 9.540 ACRES PER A PLAT TITLED "PLAT OF SURVEY SHOWING THE "BAUMGARDNER CHARITABLE TRUST PROPERTY" BY APPALACHIAN SURVEYS DATED OCTOBER 3, 2000 AND RECORDED AMONG THE LAND RECORDS OF THE CLERK OF THE CIRCUIT COURT OF JEFFERSON COUNTY, WEST VIRGINIA, TO BC PARTNERS, INC. PARCEL 11, HARPERS FERRY DISTRICT 4, MAP 11, IN PLAT BOOK 18 PAGE 22 ON OCTOBER 12, 2000 , DEED BOOK 941, PAGE 546, RECORD 415,562 SQ.FT OR 9.5400 AC.
3. PROPERTY IS OWNED BY B.C PARTNERS, INC. PER DEED DATED OCTOBER 4, 2000 AND RECORDED AMONG THE AFORESAID LAND RECORDS IN DEED BOOK 941 AT PAGE 546 ON OCTOBER 12, 2000.
4. BASE INFORMATION IS PER PLAT BOOK 18 PAGE 22 AND A TOPOGRAPHIC SURVEY TITLED "PLAT OF SURVEY SHOWING THE "BAUMGARDNER CHARITABLE TRUST PROPERTY" BY APPALACHIAN SURVEYS DATED OCTOBER 3, 2000 AND PROVIDED BY THE OWNER.
5. BOUNDARY AND TOPOGRAPHY FROM A FIELD SURVEY BY TERRA SOLUTIONS ENGINEERING DATED 10/18/2019. HORIZONTAL DATUM IS WEST VIRGINIA STATE PLANE COORDINATE SYSTEM, VERTICAL DATUM IS NAVD 88.

- GENERAL NOTES
1. THIS PRELIMINARY PLAN DEPICTS THE OWNER'S INTENT TO CREATE A MAXIMUM OF 4 LOTS AND A PUBLIC STREET FOR FUTURE COMMERCIAL PAD-USERS. IN ADDITION, THE DEVELOPMENT PROPOSES TWO (2) ACCESS POINTS: ONE RIGHT IN ONLY FROM US RTE 340 AND ONE FULL-ACCESS ONTO OLD COUNTRY CLUB ROAD (WV RT 24).
2. THIS PRELIMINARY PLAN PROPOSES A SHIFT OF THE FRONTAGE ACCESS ROAD FROM THAT SHOWN AS RESERVED ON THE APPROVED SKETCH PLAN TO A LOCATION SIMILAR TO SOMERSET BOULEVARD LOCATED IMMEDIATELY ACROSS ROUTE 340 FROM THE SITE. THIS REVISED LOCATION MAINTAINS THE DESIRED PUBLIC ACCESS ALONG ROUTE 340 WHILE MINIMIZING POTENTIAL CONFLICTS WITH THE EXISTING OLD COUNTRY CLUB ROAD/ROUTE 340 INTERSECTION AND PROVIDES BETTER ACCESS TO THE SITE.
3. PROPERTY IS CURRENTLY SERVED BY A PRIVATE WELL AND BY SEPTIC. THE PROPOSED DEVELOPMENT IS PLANNED TO BE SERVED BY THE EXTENSION OF SEWER SERVICE FROM THE EXISTING CITY OF CHARLES TOWN (CTUB), AND WATER SERVICE VIA THE EXTENSION OF JUI FACILITIES.
4. FINAL PAD USERS AND RESULTING EXACT LOT CONFIGURATIONS WILL BE DETERMINED BASED ON MARKET DEMAND AND WILL BE REVIEWED AND APPROVED THROUGH THE MINOR SITE PLAN PROCESS.

PRELIMINARY PLAT FOR COUNTRY CLUB COMMONS SUBDIVISION JEFFERSON COUNTY, WEST VIRGINIA HARPERS FERRY DISTRICT TAX MAP DISTRICT 4 , MAP 11, PARCEL 11 PLAT BOOK 18 PAGE 22; DEED BOOK 941 PAGE 546



OVERALL PLAN

ZONING INFORMATION

Zoned : Residential/Light Industrial/Commercial (RLIC)
Existing Land Use : Vacant
Proposed Land Use : Residential/Light Industrial/Commercial
Tract Area : 9.54 Ac.

TRAFFIC GENERATION TABULATION

USE	ITE CODE	AREA	GLA	#	ADT Per Unit	ADT	PEAK HR TRIPS
Shopping Center	820	28,500	28.5	-	37.75	1,076	230
Notes: 1. Figures based on ITE 10th Edition, which are more conservative than the Jefferson Count Subdivision Regulations, Article 24, Section 24.119 B.5.b. 2. GLA = (AREA / 1,000). 3. Peak hour factors assumes Saturday peak hour of generator 4. ADT and PHT estimates are preliminary and a detailed Traffic Impact Study can be provided at the Preliminary Plan stage 5. The WVDOT online traffic counts provide average daily traffic counts for the following locations: Old Country Club Road at US 340: 3,321 US 340 2.3 mi east of Patrick Henry Way: 23,147 US 340 0.9 mi west of Old Country Club Road: 30,001							

APPROVED:
JONATHAN SAUNDERS, Jefferson County Engineer

BY _____ DATE _____

ENGINEER
PIEDMONT DESIGN GROUP, LLC
5283 CORPORATE DRIVE, SUITE 300
FREDERICK, MARYLAND 21703
301-695-6614

OWNER/DEVELOPER
BC PARTNERS, INC.
24012 Frederick Road #200
Clarksburg, MD 20871
ATT: Dan Snyder, PE (301) 428-0800

DATE	REVISION DESCRIPTION

TABLE OF MILESTONE INSPECTIONS	Date Inspected	Inspector's Initials
1. Installation of Sediment and Erosion Control Devices <i>Must be inspected prior to any other work.</i>		
2. Completion of Underground Utility Installation <i>Must be inspected prior to being covered.</i>		
3. Completion of Grading for Roads		
4. Completion of Grading for Buildings		
5. Completion of Base Stone Installation & Compaction <i>Must be inspected prior to being covered.</i>		
7. Completion of Final Grading and Seeding		
8. Completion of Final Project Details		

DEVELOPER'S STATEMENT OF ACCEPTANCE

THE DEVELOPER, BY SIGNING THIS PLAT, AGREES TO ABIDE BY ALL CONDITIONS, TERMS AND SPECIFICATIONS PROVIDED HEREON.

JERRY CONNELLY, VP / BC PARTNERS, INC.

DATE

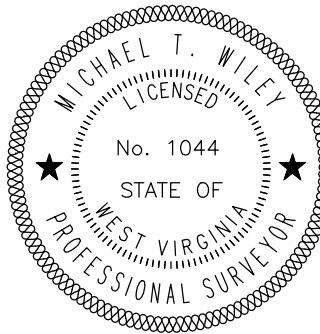
SURVEYOR'S CERTIFICATE

I, MICHAEL T. WILEY, A WEST VIRGINIA PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THAT THE PERIMETER BOUNDARY OF THIS SEALED PLAT IS ACCURATE, COMPLETE AND REASONABLY MEETS OR EXCEEDS MINIMUM ACCEPTABLE SURVEYING STANDARDS AND THOSE STATE AND/OR COUNTY CODE PROVISIONS APPLICABLE ON THIS DATE. THIS SUBDIVISION COMPLIES WITH THE JEFFERSON COUNTY SUBDIVISION REGULATIONS, SECTION 8.1.B.6 FOR CLOSURE WITHIN 1:7500

Michael T. Wiley

DEC. 2, 2021

MICHAEL T. WILEY, P.E., P.S. DATE
WEST VIRGINIA PROFESSIONAL SURVEYOR NO. 1044
ON BEHALF OF OF PIEDMONT DESIGN GROUP, LLC
WEST VIRGINIA CERTIFICATE OF AUTHORIZATION NO. 9-5636



ENGINEER'S CERTIFICATE

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE DEVELOPMENT REVIEW AND ZONING ORDINANCE, SUBDIVISION AND RELATED ORDINANCES OF JEFFERSON COUNTY, WEST VIRGINIA.

Robert F. Barrick

DEC. 2, 2021

ROBERT BARRICK, P.E. DATE
WEST VIRGINIA PROFESSIONAL ENGINEER NO. 022296
ON BEHALF OF PIEDMONT DESIGN GROUP, LLC
WEST VIRGINIA CERTIFICATE OF AUTHORIZATION NO. C02118-00

COVER SHEET

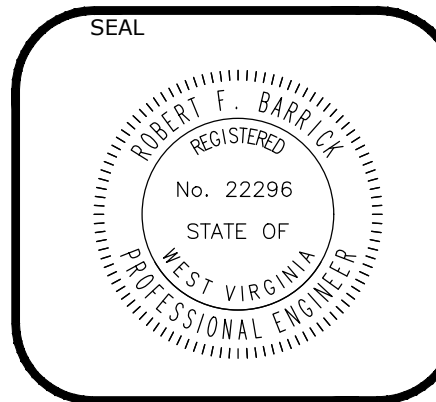
COUNTRY CLUB COMMONS SUBDIVISION PRELIMINARY PLAT

SITUATED NORTH OF US 340 AND WEST OF COUNTRY CLUB ROAD
PROPERTY OF BC PARTNERS, INC.
24012 FREDERICK ROAD #200, CLARKSBURG MD, 20871
D.B. 941 PG. 546
HARPERS FERRY DISTRICT 4, MAP 11, PARCEL 11

Robert F. Barrick

DEC. 2, 2021

ROBERT F. BARRICK, PE DATE
WEST VIRGINIA P.E. #: 22296; EXPIRATION DATE: 12/31/22
FOR PIEDMONT DESIGN GROUP, LLC
WEST VIRGINIA COA.# C04223-00, EXPIRATION DATE: 12/31/23



SCALE AS SHOWN		
DESIGNED BY: PSA	CHECKED BY: RFB	APPROVED BY: MTW
SHEET 1		
DATE Dec. 2, 2021		

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UNDERGROUND UTILITY LINE PROTECTION ACT:

THE EXISTENCE AND LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES AND STRUCTURES BEFORE COMMENCING THE WORK. CALL MISS UTILITY AT 811 AT LEAST 2 BUSINESS DAYS IN ADVANCE OF WORK.

1. THE CONTRACTOR SHALL HAVE THE FOLLOWING:
 - A. A CURRENT WV CONTRACTORS LICENSE.
 - B. A CURRENT WV CONTRACTORS LICENSE TO BE DISPLAYED ON SITE.
 - C. CURRENT APPROVED CONSTRUCTION DOCUMENTS ON SITE.
 - D. ALL APPLICABLE PERMITS SHALL BE DISPLAYED ON SITE.
 - E. THE CONTRACTOR SHALL HAVE AND SHOW PROOF OF INSURANCE TO COVER INJURY, LOSS OF LIFE, AND/OR PROPERTY.

3. CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING PIEDMONT AT 301-695-6614 IN THE EVENT OF ANY APPARENT DISCREPANCIES IN THE PLANS OR IN THE RELATIONSHIPS OF FINISHED GRADES TO EXISTING GRADE PRIOR TO BEGINNING OF WORK.

5. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF TRAFFIC ON ANY EXISTING ROADS AND ALL WORK PERFORMED IN THE PUBLIC ROADWAYS OR THEIR RIGHT-OF-WAY SHALL CONFORM TO TRAFFIC CONTROL AND SAFETY STANDARDS PRESCRIBED BY WEST VIRGINIA DEPARTMENT OF HIGHWAYS (P.O. BOX 99, BURLINGTON, WV 26710).

7. THE CONTRACTOR SHALL HAVE APPROVED CONSTRUCTION DRAWINGS PRIOR TO THE START OF CONSTRUCTION

9. THE CONTRACTOR HAS NO AUTHORITY TO PERMIT THE USE OF ANY PORTION OF SITE BY ANYONE EXCEPT FOR ACTIVITIES DIRECTLY CONNECTED WITH THIS PROJECT.

11. INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. NO EXISTING UNDERGROUND UTILITIES WERE LOCATED ON THIS SITE. IF CLEARANCES ARE LESS THAN SPECIFIED ON THIS PLAN OR LESS THAN 12" WHEN NOT SPECIFIED, CONTACT THE ENGINEER OF RECORD AND/OR THE INSPECTOR AND THE APPROPRIATE UTILITY OWNER BEFORE PROCEEDING WITH CONSTRUCTION.

13. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT ALL LOCAL, STATE AND FEDERAL CONSTRUCTION SAFETY REGULATIONS ARE FOLLOWED DURING THE CONSTRUCTION OF THIS PROJECT.

15. ALL CONSTRUCTION SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT (ADA) WHERE APPLICABLE

1. ALL STORM DRAIN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF THE WEST VIRGINIA DOH SPECIFICATION BOOK.

3. NOTIFY THE PROPER PUBLIC ENTITY 48 HOURS IN ADVANCE OF EXCAVATIONS IN VICINITY OF SEWER AND WATER MAINS UNDER WHICH THE STORM DRAINAGE IS TO BE INSTALLED.

5. PIPE MATERIAL: STORM DRAIN PIPES SHALL BE AS NOTED IN THESE PLANS AND SHALL BE REINFORCED CONCRETE PIPE PER AASHTO M-170, OR ASTM C-76, OR GALVANIZED OR ASPHALT COATED CORRUGATED METAL PIPE (CMP) WITH ANNUAL OR HELICAL CORRUGATIONS PER AASHTO M-36, OR ALUMINIZED TYPE II SPIRAL-RIB CORRUGATED METAL PIPE PER AASHTO M-36, AND M-19 OR HIGH DENSITY POLYETHYLENE (HDPE) CORRUGATED STORM DRAIN PIPE WITH AN INTEGRAL FORMED SMOOTH INTERIOR PER AASHTO M-252 AND M-294 STANDARDS. ALL PIPES SHALL HAVE WATERTIGHT JOINTS.

7. ELEVATIONS SHOWN ARE AT PIPE INVERT UNLESS OTHERWISE NOTED.

9. ALL RIP RAP TO BE UNDER-LAID WITH AN AASHTO M-288-96 CLASS 2 GEOTEXTILE. ALL RIP RAP TO BE DRY UNGROUTED STONE UNLESS OTHERWISE NOTED.

10. GRADE ALL DISTURBED AREAS TO MAINTAIN POSITIVE DRAINAGE.

1. FIELD ADJUSTMENTS SHALL BE MADE AS NECESSARY TO PROVIDE A SMOOTH TRANSITION BOTH VERTICALLY AND HORIZONTALLY FROM EXISTING TO PROPOSED PAVING SECTIONS.

2. GUTTERS AND PAVING SHALL BE INSTALLED IN SUCH A MANNER AS TO INSURE POSITIVE DRAINAGE IN ALL AREAS

3. SUB-GRADE PREPARATION FOR PAVED AREAS:

A. FILL AREAS TO PAVED SHALL HAVE SOIL PLACED IN 8" LIFTS AND COMPACTED TO 95% OF MAXIMUM DENSITY. MAXIMUM DENSITY SHALL BE DETERMINED IN ACCORDANCE WITH MP-7000.0024 PER WYDOT SPECIFICATIONS.

B. AFTER THE SUB-GRADE HAS BEEN FINALLY SHAPED TO THE SPECIFIED CROSS SECTION, IT SHALL BE CAREFULLY AND THOROUGHLY PROOF ROLLED WITH A 20 TON ROLLER OR EQUIVALENT TO DETERMINE SOFT OR UNSUITABLE AREAS PRIOR TO PAVING. SOFT OR UNSUITABLE AREAS SHALL BE REMOVED AND BACK FILLED WITH SUITABLE MATERIAL TO THE REQUIREMENTS OF "A" ABOVE.

C. NO DRAINAGE SHALL BE PLACED ON FROZEN SUB GRADES NOR ON SUB GRADES THAT WILL NOT ADEQUATELY SUPPORT THE PAVEMENT.

D. IF ROCK IS ENCOUNTERED IN THE SUB GRADE, CONTACT THE ENGINEER.

1. RIPRAP SHALL BE A DURABLE STONE, ANGULAR IN SHAPE, GRADED THROUGHOUT THE INDICATED SIZE RANGE AND DUMPED, UNGROUTED, ON A FILTER MEDIUM, SUCH AS POLYFILTER X OR TYPAR, SO AS TO CREATE A MINIMUM OF VOIDS.

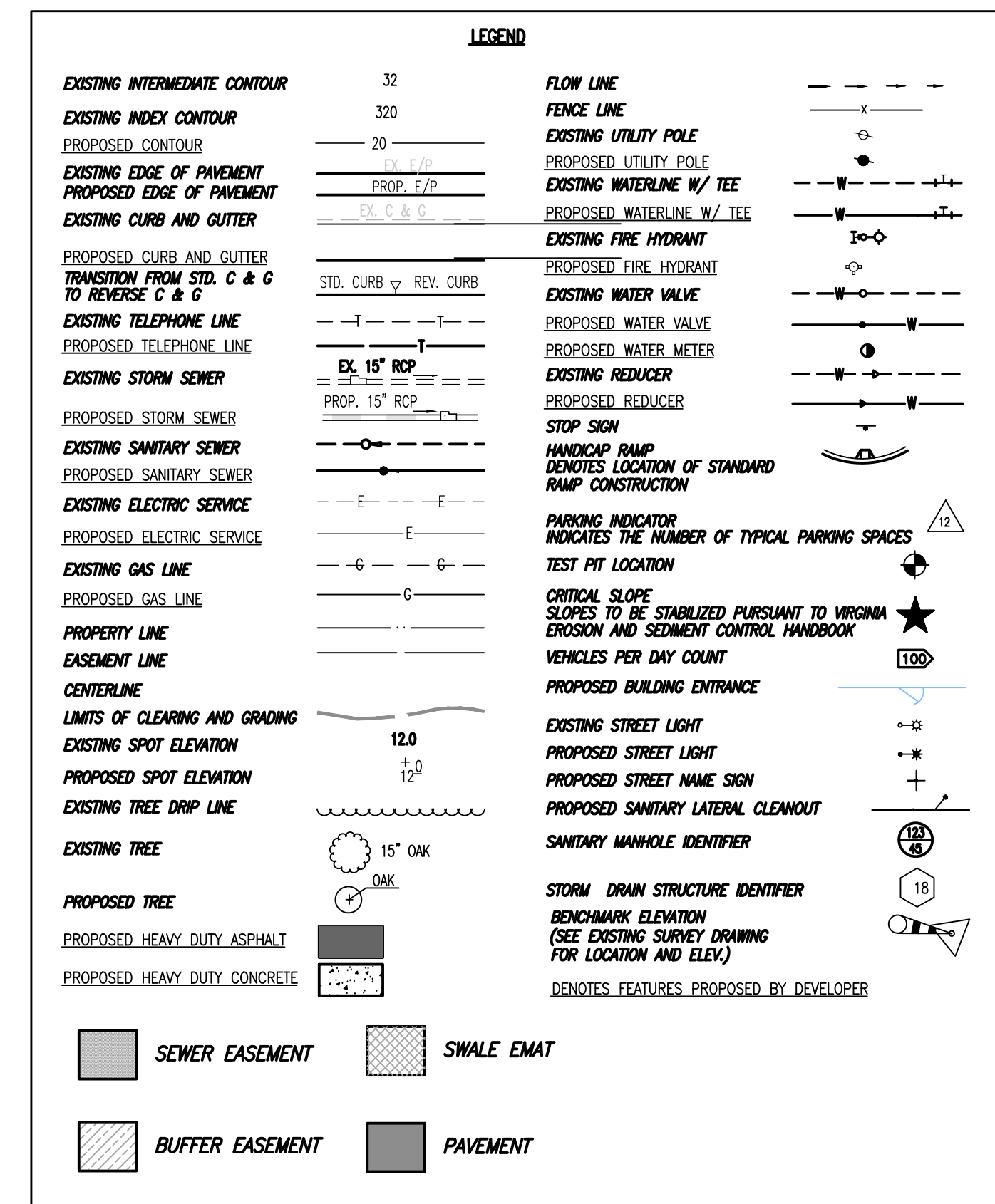
1. TRENCHES REQUIRED FOR WATER AND SEWER LINES MUST BE BACKFILLED WITH MATERIAL SUITABLE TO THE ENGINEER AND COMPACTED TO A UNIFORM RATING OF 95% OF MAXIMUM DRY DENSITY.

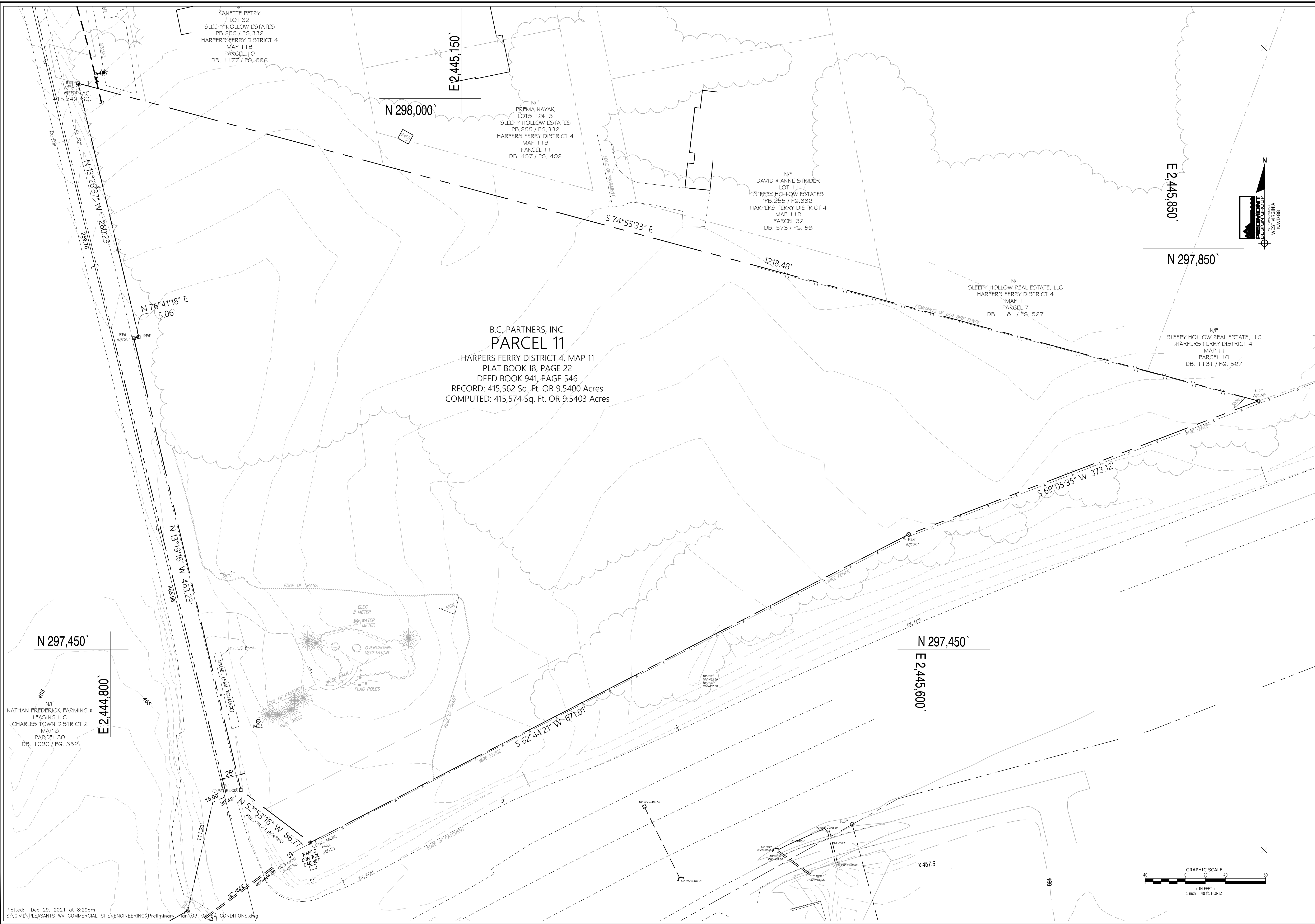
2. WATER AND SEWER LINES TO HAVE A MINIMUM OF 10' HORIZONTAL SEPARATION AND 1.5' VERTICAL SEPARATION AT CROSSINGS.

3. A BLANKET EASEMENT SHALL BE GIVEN TO THE APPROPRIATE UTILITY COMPANIES IN ALL SUBDIVISION RIGHT-OF-WAYS FOR THE PURPOSE OF CONSTRUCTING AND MAINTAINING PUBLIC UTILITIES.

4. WATER AND SEWER SERVICE LATERALS TO BE INSTALLED PRIOR TO FINAL PAVING

5. FIRE HYDRANT SPECIFICATIONS AND CONNECTION THREADS TO CONFORM TO COUNTY FIRE DEPARTMENT REQUIREMENTS.

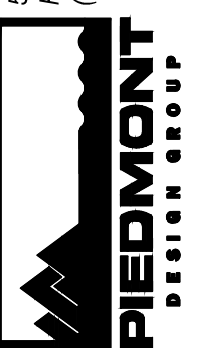




Plotted: Dec 29, 2021 at 8:29am
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REVISIONS

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Piedmont, WV 26103
(301) 656-6614



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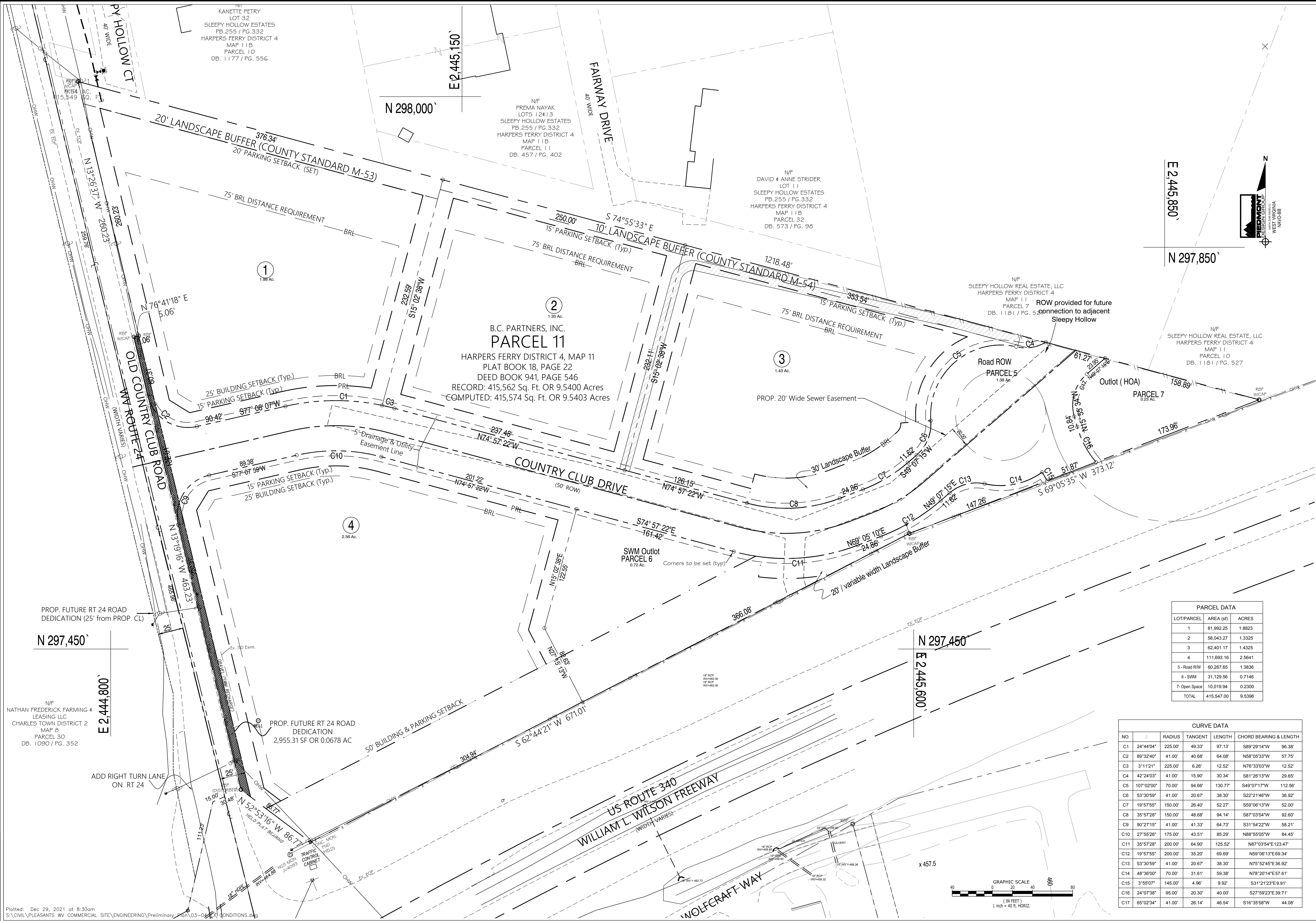
Existing Conditions Country Club Commons Harpers Ferry District Jefferson County, WV

SCALE: 1"=40'

DESIGN: PSA	CHECK:	APPROVED
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SHEET
3

DATE: Dec. 2, 2021



KANETTE PETRY
LOT 32
SLEEPY HOLLOW ESTATES
PB.255 / PG.332
HARPERS FERRY DISTRICT 4
MAP 11B
PARCEL 10
DB. 1177 / PG. 556

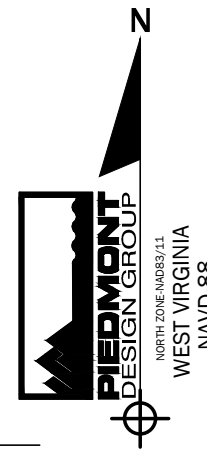
N 298,000'

N/F
PREMA NAYAK
LOTS 12413
SLEEPY HOLLOW ESTATES
PB.255 / PG.332
HARPERS FERRY DISTRICT 4
MAP 11B
PARCEL 11
DB. 457 / PG. 402

N/F
DAVID & ANNE STRIDER
LOT 11
SLEEPY HOLLOW ESTATES
PB.255 / PG.332
HARPERS FERRY DISTRICT 4
MAP 11B
PARCEL 32
DB. 573 / PG. 98

N/F
SLEEPY HOLLOW REAL ESTATE, LLC
HARPERS FERRY DISTRICT 4
MAP 11
PARCEL 7
DB. 1181 / PG. 527

E 2,445,850'
N 297,850'



N/F
SLEEPY HOLLOW REAL ESTATE, LLC
HARPERS FERRY DISTRICT 4
MAP 11
PARCEL 10
DB. 1181 / PG. 527

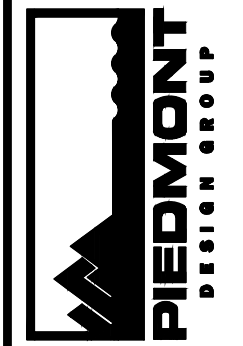
B.C. PARTNERS, INC.
PARCEL 11
HARPERS FERRY DISTRICT 4, MAP 11
PLAT BOOK 18, PAGE 22
DEED BOOK 941, PAGE 546
RECORD: 415,562 Sq. Ft. OR 9.5400 Acres
COMPUTED: 415,574 Sq. Ft. OR 9.5403 Acres

PARCEL DATA			
LOT/	PARCEL	AREA (sq)	ACRES
1	81,992.25	1.8823	
2	58,043.27	1.3325	
3	62,401.17	1.4325	
4	111,693.16	2.5641	
5 - Road R/W	60,267.65	1.3836	
6 - SWM	31,129.58	0.7146	
7 - Open Space	10,019.94	0.2300	
TOTAL	415,547.00	9.5396	

CURVE DATA					
NO.	Δ	RADIUS	TANGENT	LENGTH	CHORD BEARING & LENGTH
C1	24°44'04"	225.00'	49.33'	97.13'	S89°29'14"W 96.38'
C2	89°32'40"	41.00'	40.68'	64.08'	N58°05'33"W 57.75'
C3	3°11'21"	225.00'	6.26'	12.52'	N76°33'03"W 12.52'
C4	42°24'03"	41.00'	15.90'	30.34'	S81°26'13"W 29.65'
C5	107°02'00"	70.00'	94.68'	130.77'	S49°07'17"W 112.58'
C6	53°30'59"	41.00'	20.67'	38.30'	S22°21'46"W 36.92'
C7	19°57'55"	150.00'	26.40'	52.27'	S59°06'13"W 52.00'
C8	35°57'28"	150.00'	48.68'	94.14'	S87°03'54"W 92.60'
C9	90°27'15"	41.00'	41.33'	64.73'	S31°54'22"W 58.21'
C10	27°55'26"	175.00'	43.51'	85.29'	N88°55'05"W 84.45'
C11	35°57'28"	200.00'	64.90'	125.52'	N87°03'54"E 123.47'
C12	19°57'55"	200.00'	35.20'	69.69'	N59°06'13"E 69.34'
C13	53°30'59"	41.00'	20.67'	38.30'	N75°52'45"E 36.92'
C14	48°36'00"	70.00'	31.61'	59.38'	N78°20'14"E 57.61'
C15	3°55'07"	145.00'	4.96'	9.92'	S31°21'23"E 9.91'
C16	24°07'38"	95.00'	20.30'	40.00'	S27°59'23"E 39.71'
C17	65°02'34"	41.00'	26.14'	46.54'	S16°35'58"W 44.08'

REVISIONS

2285 Corporate Drive, Suite 300
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Subdivision Plat Country Club Commons Harpers Ferry District Jefferson County, WV

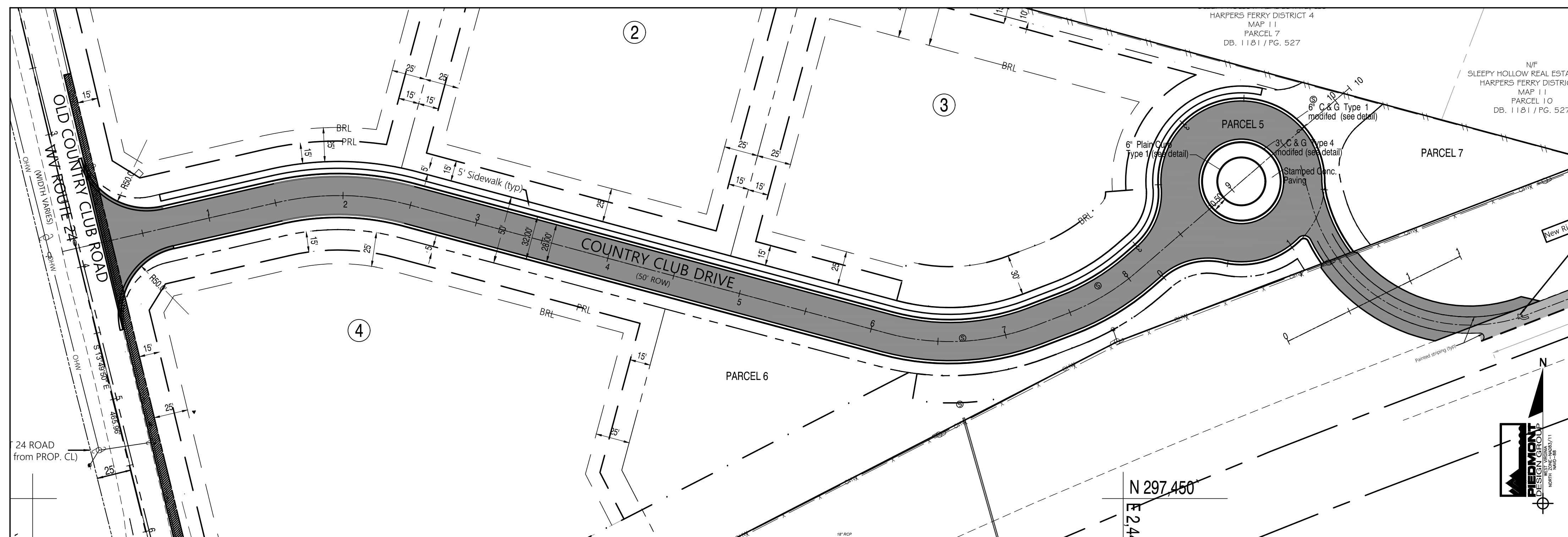
SEAL

SCALE: 1"=40'

DESIGN: PSA
CHECK: []
APPROVED: []
SHEET

4

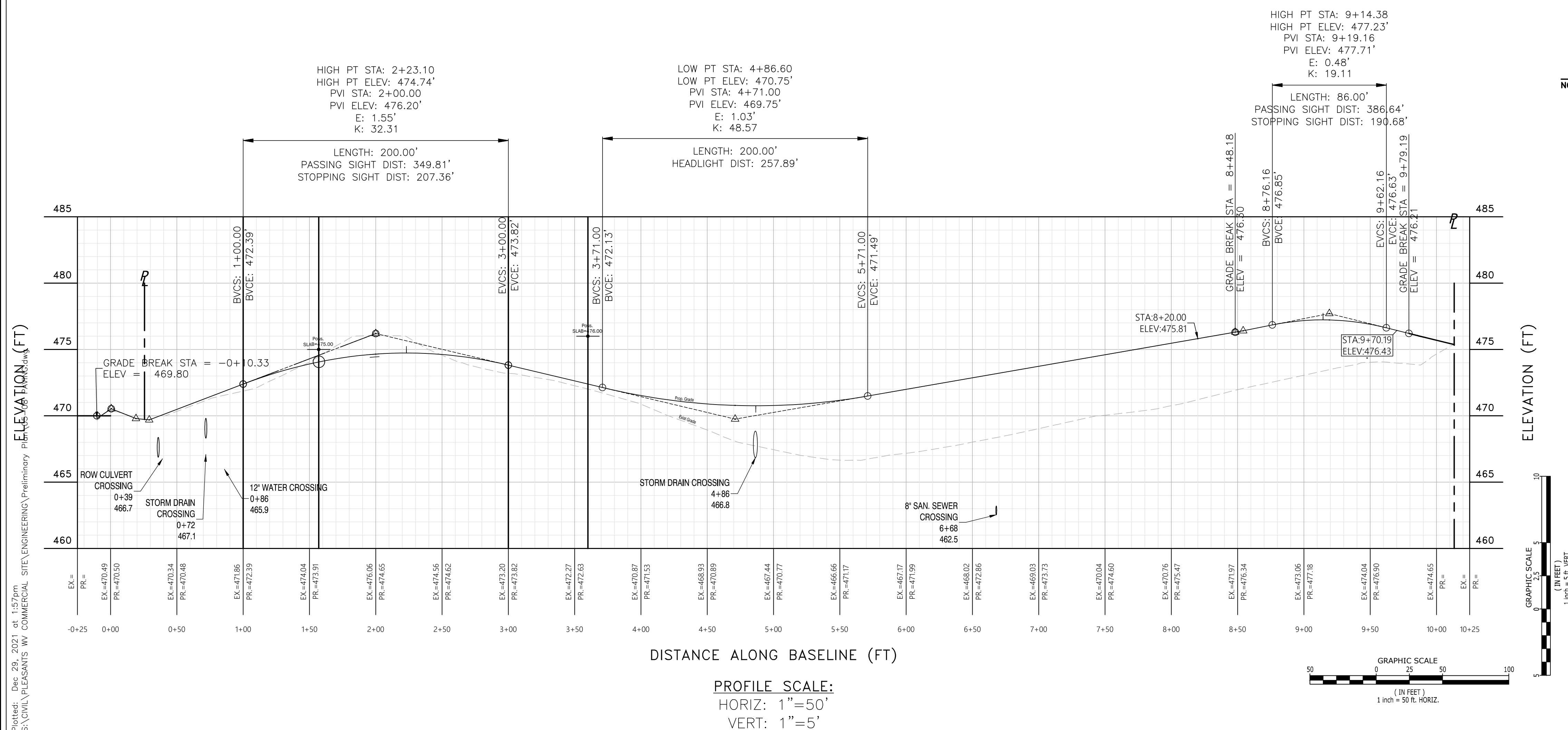
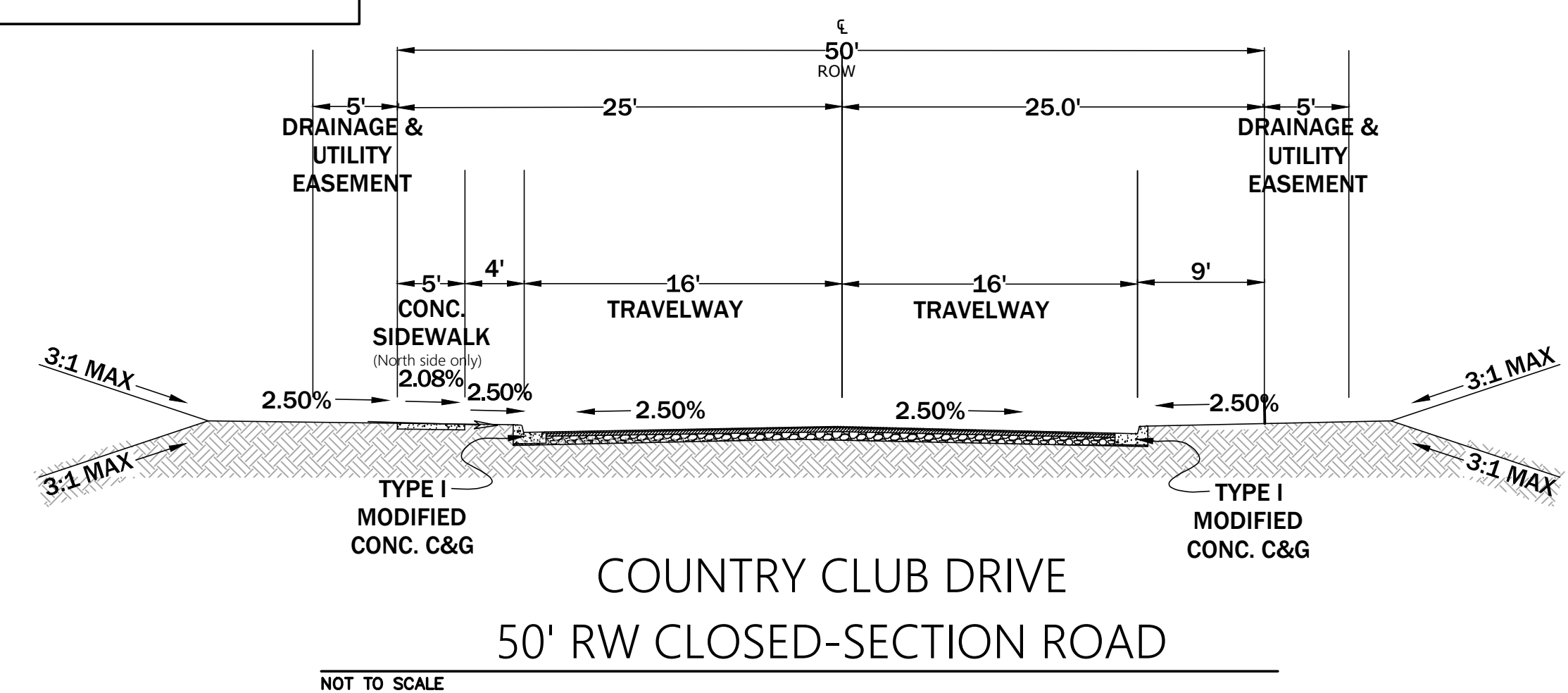
DATE: Dec. 3, 2021



Country Club Drive

Plan View

Scale : 1" = 50'



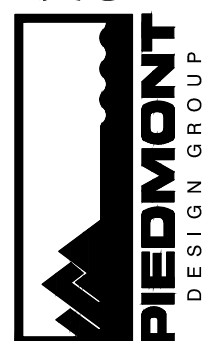
COUNTRY CLUB DRIVE

PAVING PLAN & PROFILE

Country Club Commons

**Harpers Ferry District
Jefferson County, WV**

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Frederick, MD 21703
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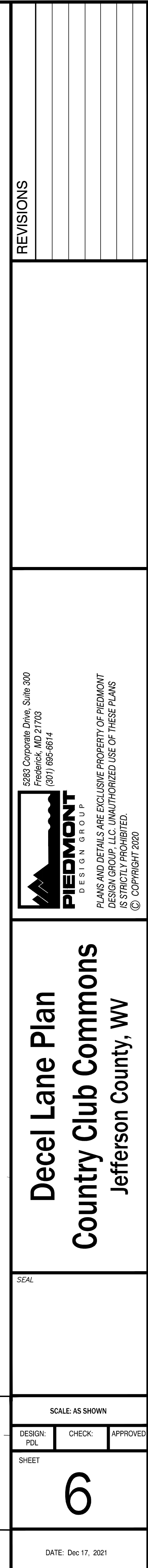
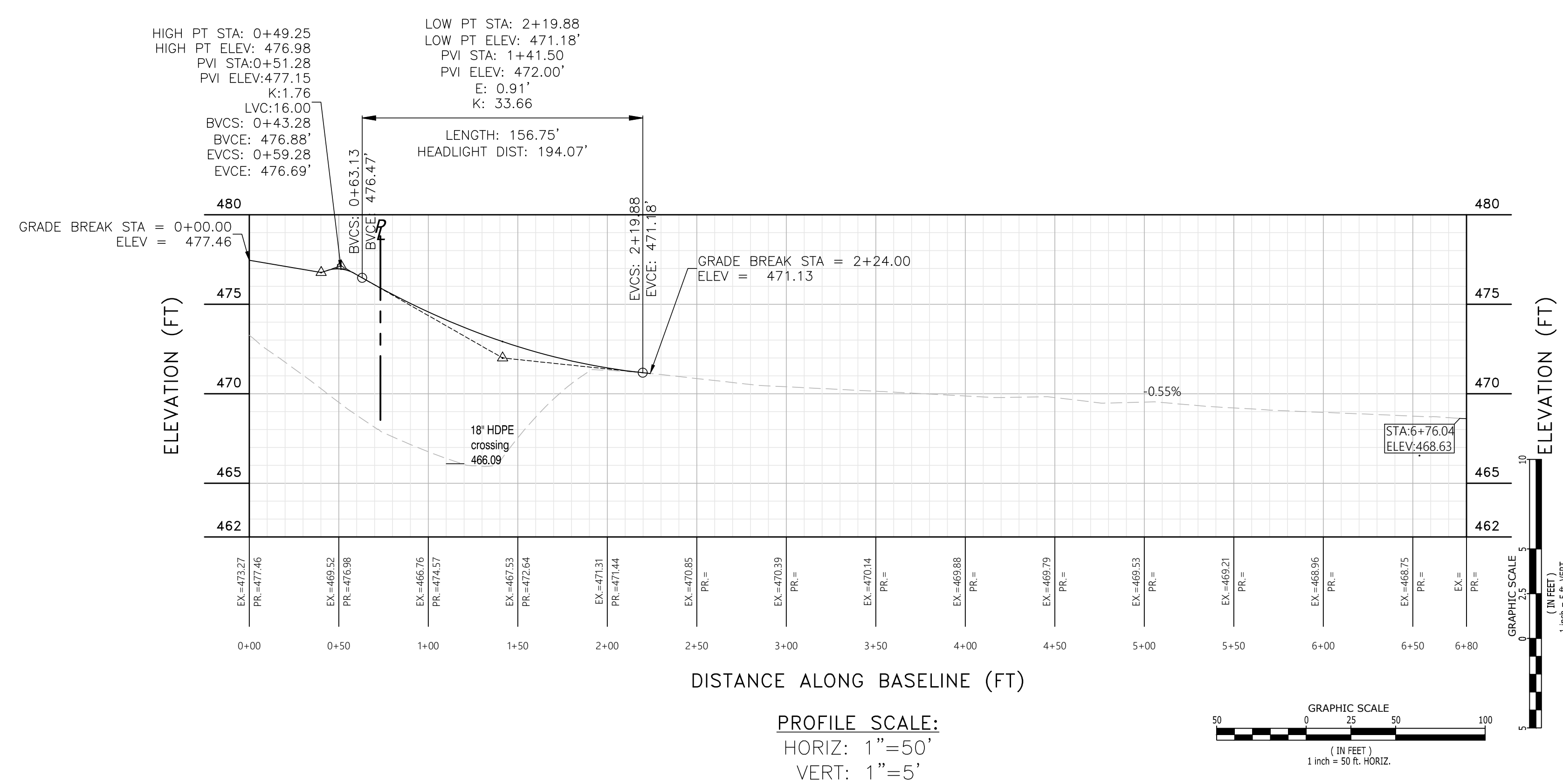
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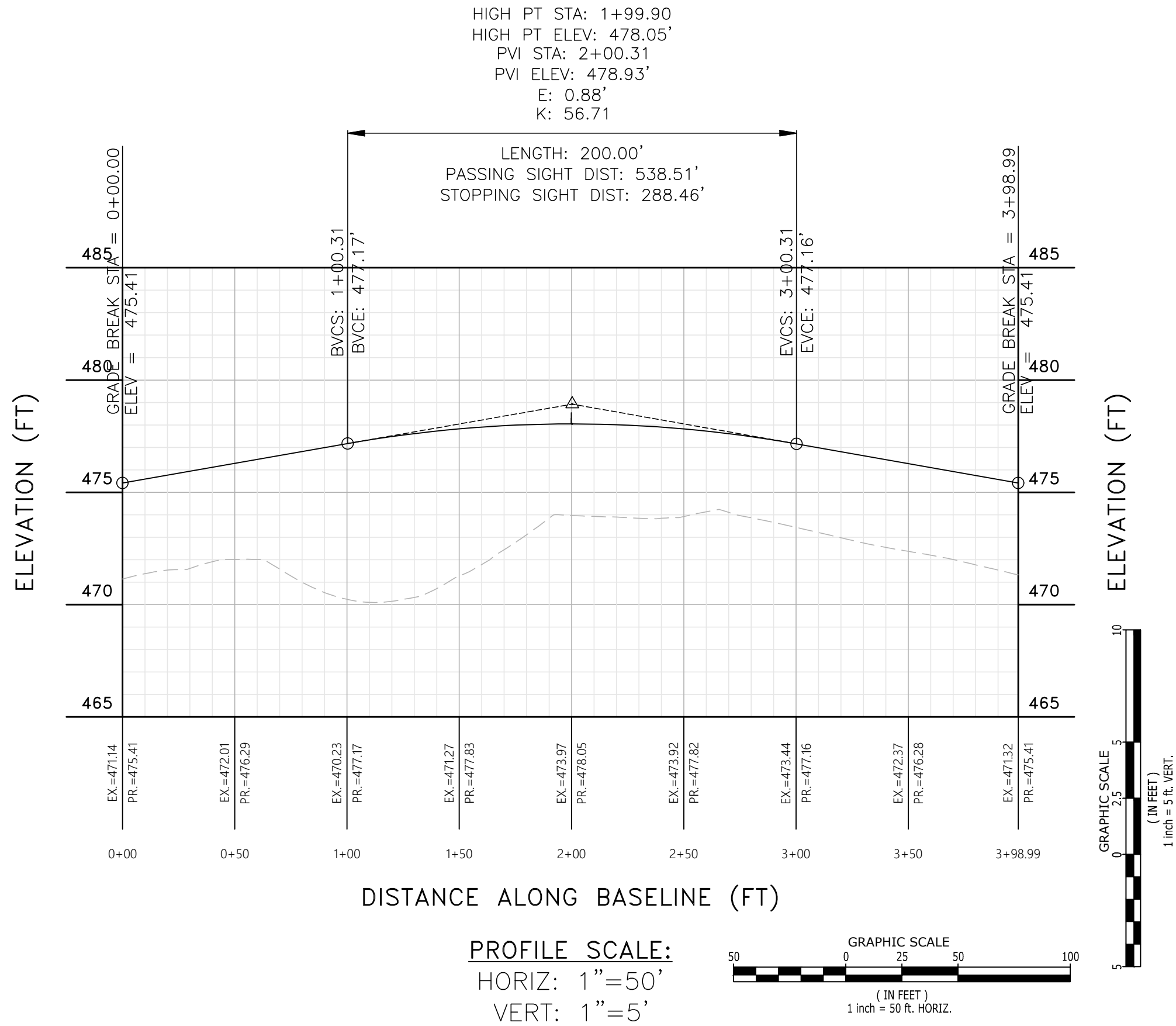
REVISIONS

SCALE: AS SHOWN		
CHECK:		APPROVE:

5

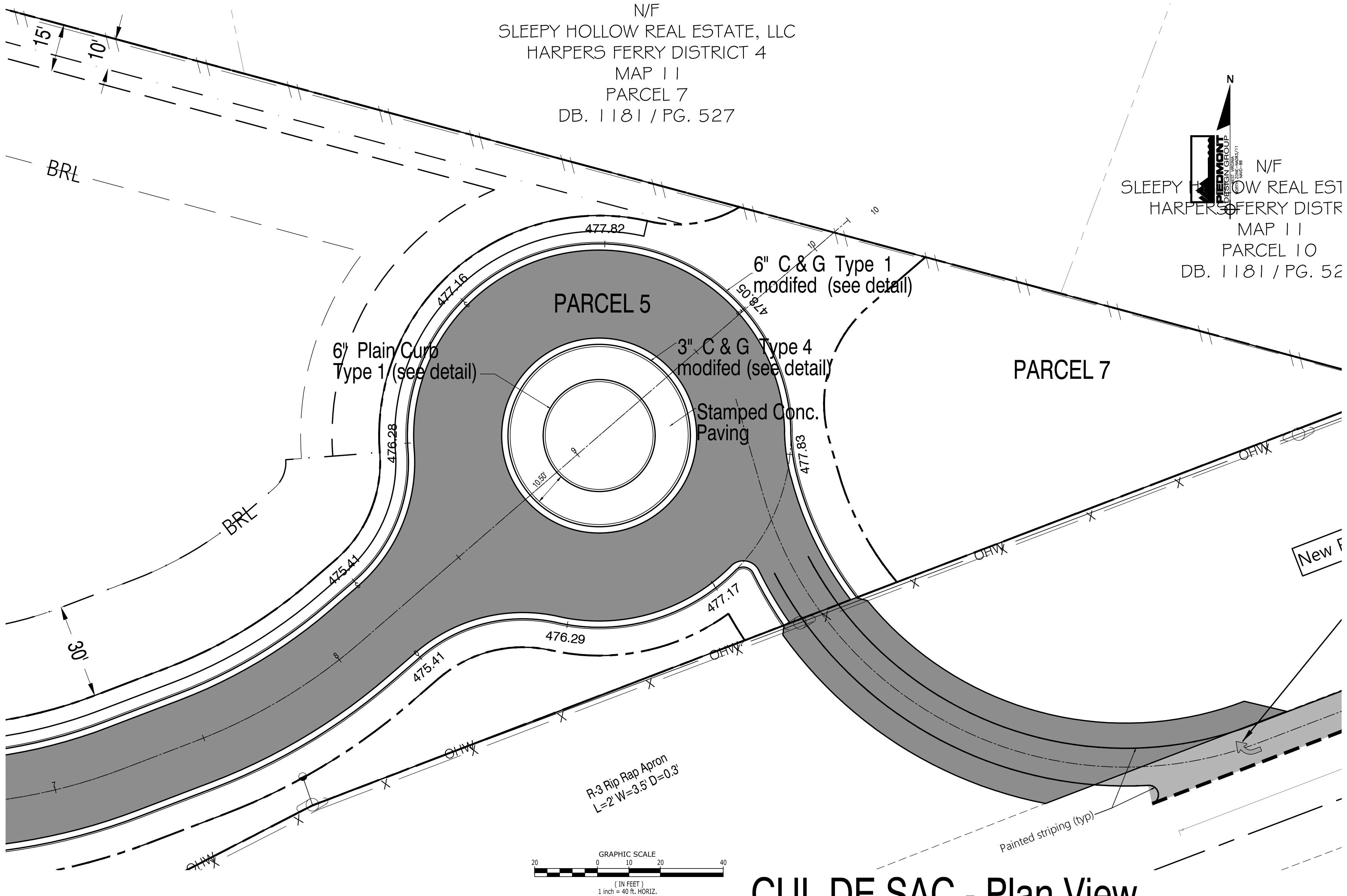
DATE: Dec 17, 2021





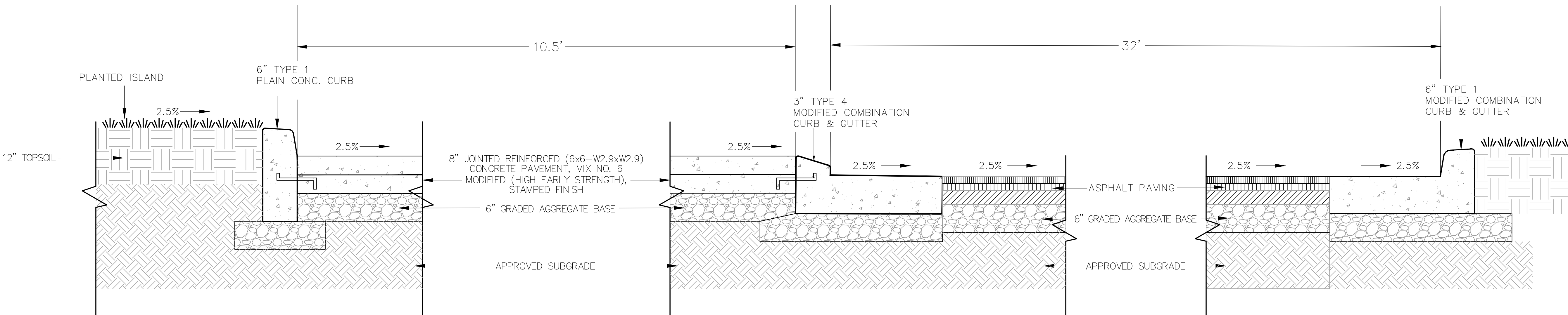
CUL-DE-SAC FLOW LINE

Scale : Horiz : 1" = 50' Vert : 1"=5'



CUL DE SAC - Plan View

Scale : 1" = 20'



Sec. A-A' CUL DE SAC TYPICAL SECTION

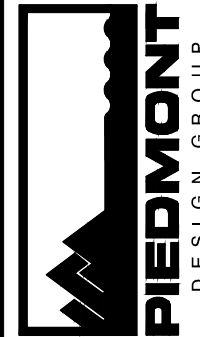
N.T.S.

NOTES:

1. USE PAVING DETAIL SHEET 8.

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CUL-DE-SAC DETAILS
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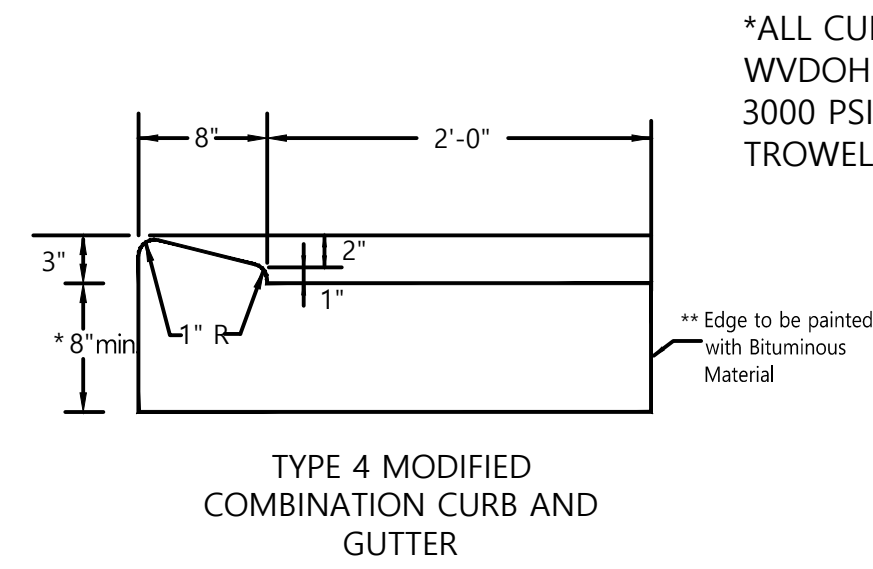
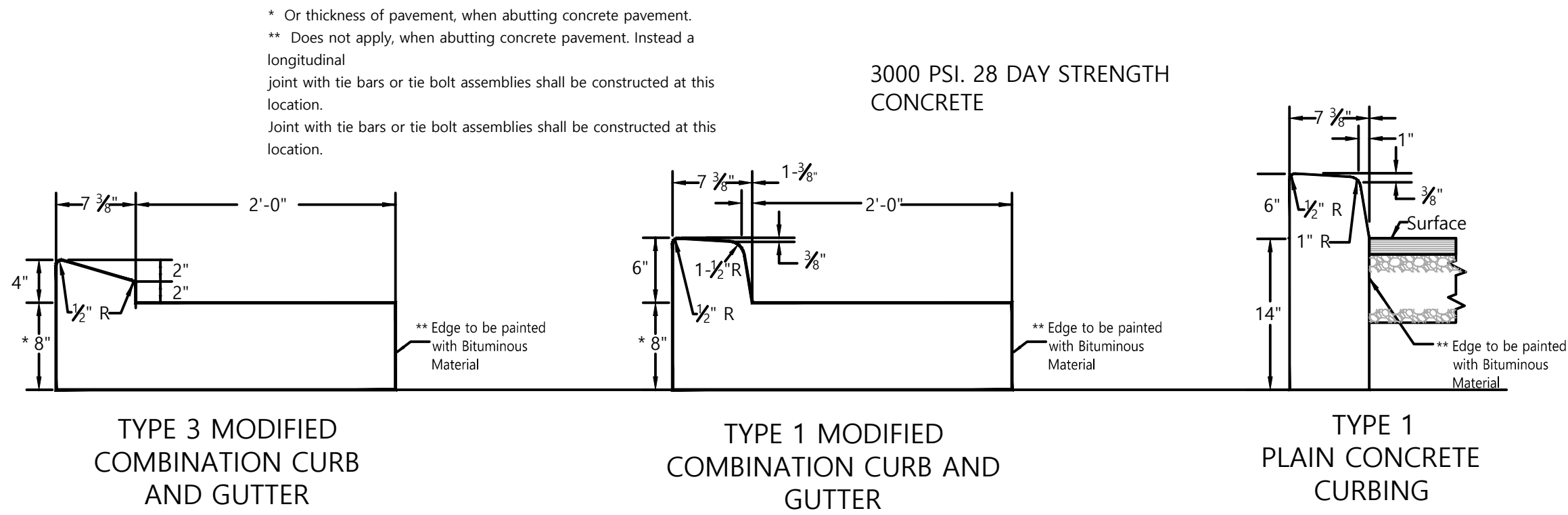
SEAL

SCALE: 1"=50'

DESIGN: PDL CHECK: APPROVED
SHEET

7

DATE: Dec 17, 2021



NOTES

For all Concrete Curbing, the face of the curbing shall be offset a minimum of two feet from the edge of traffic lane, unless otherwise shown on the Plans.

Construction of Concrete Curbing shall be by the "Separate Method" when sawed joints are constructed in the pavement.

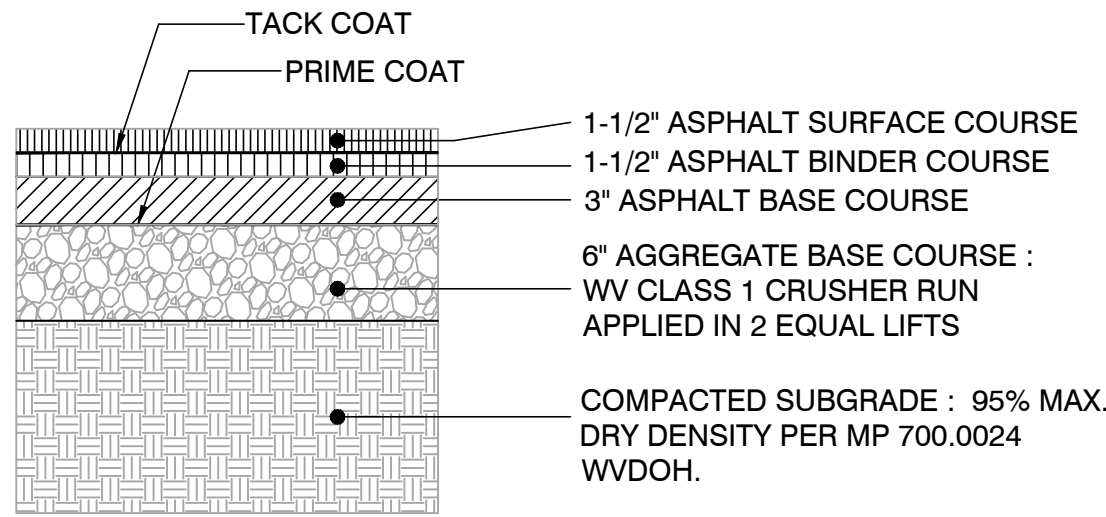
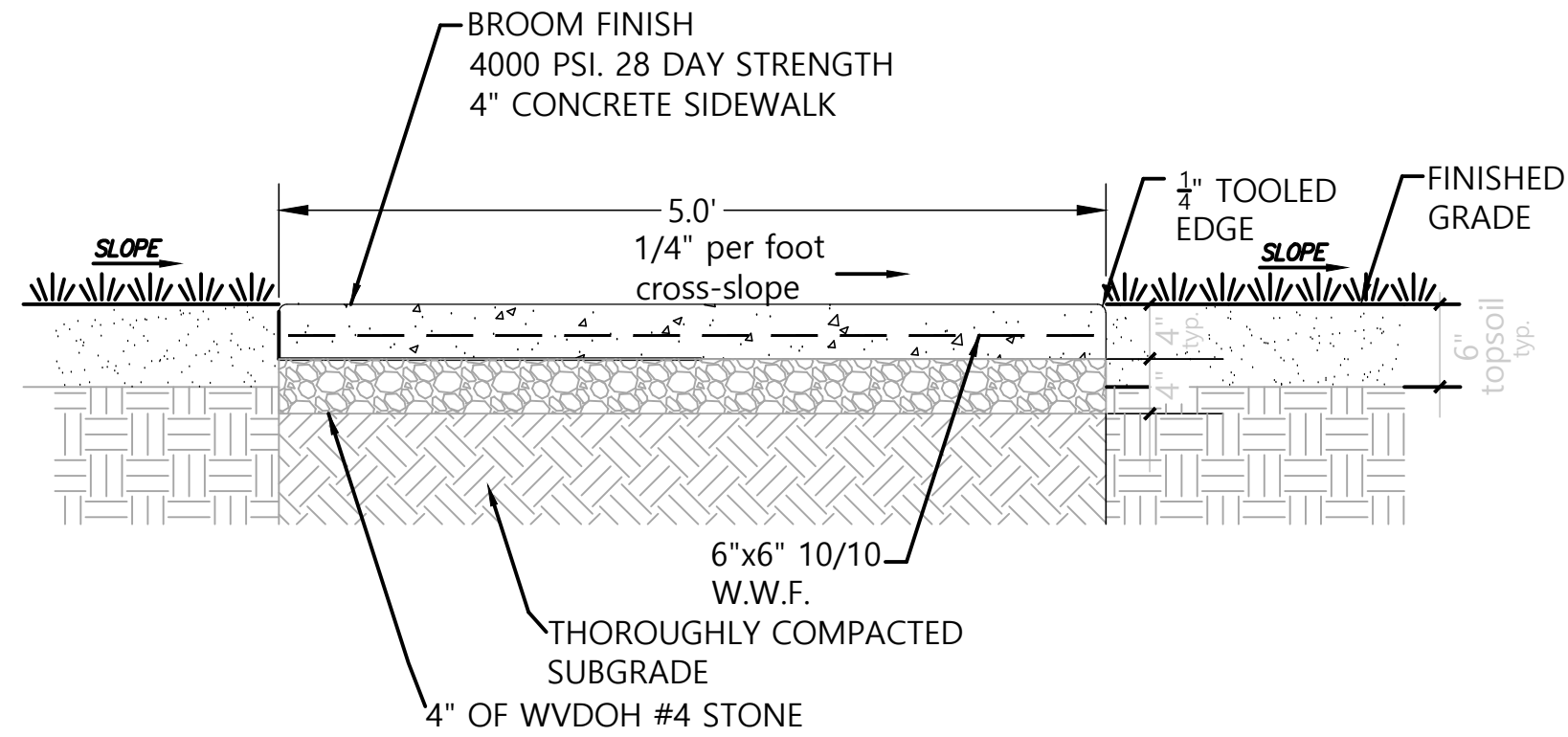
All curb joints shall be made by acceptable forming methods.

For Combination Concrete Curbs and Gutters, the slope of the 2'-0" wide concrete gutter shall conform to the pavement slope or as otherwise specified on the Plans.

CONCRETE CURB & GUTTER

NOT TO SCALE

(Detail taken from the West Virginia Department of Transportation Division of Highways.
Standard Detail - Concrete Curbing and Sidewalk (Sheet 1 of 2) Standard Sheet PV16)



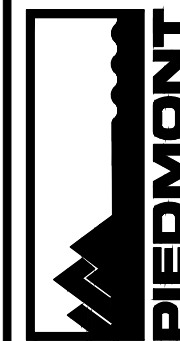
PAVING DETAIL

SCALE : 1" = 1'

NOTE: PAVING SECTION IS BASED UPON AN ASSUMED VALUE OF 4". TESTING SHALL BE PERFORMED BY A QUALIFIED SOILS ENGINEER AND DETERMINATION OF PAVEMENT SECTION TO BE COMPUTED BASED ON ACTUAL FIELD CONDITIONS PRIOR TO PLACING ANY PAVEMENT.

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Martinsburg, WV 26103
(301) 685-6814



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PAVING DETAILS
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SEAL

SCALE: 1"=50'

DESIGN: PDL CHECK: APPROVED

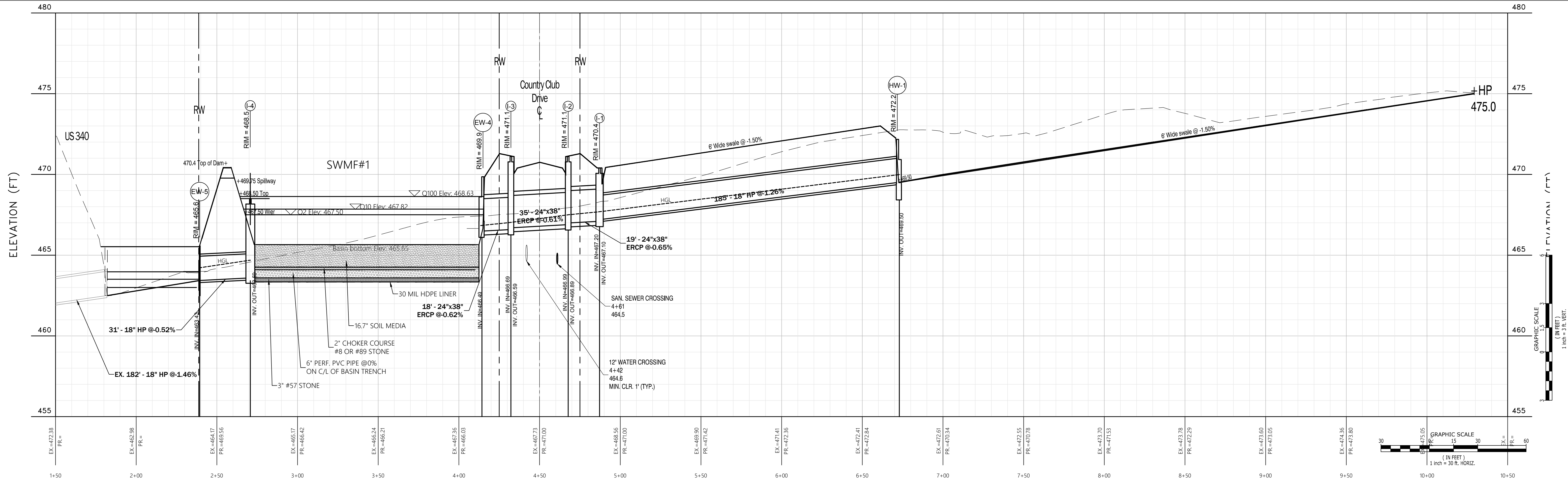
SHEET

8

DATE: Dec 17, 2021

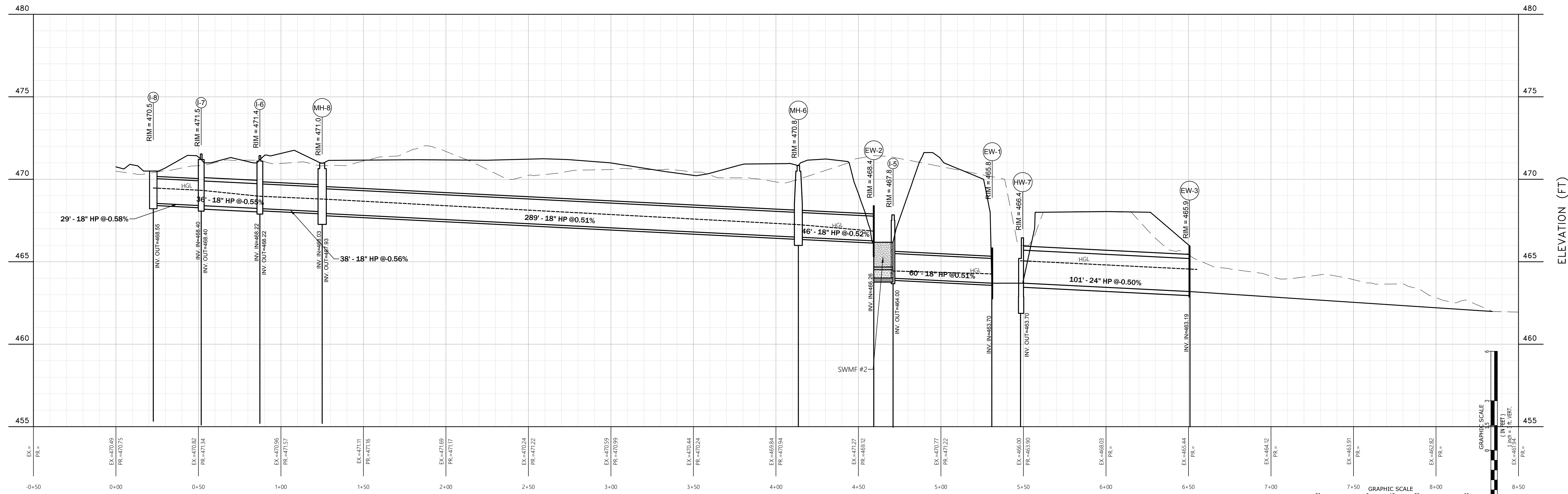


DATE: DEC 19, 2021



STORM DRAIN PROFILE & SWMF #1 SECTION

Scale : Horiz : 1" = 30' Vert: 1"=3

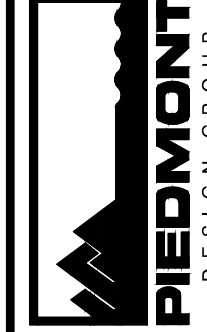


STORM DRAIN PROFILE

Scale : Horiz : 1" = 30' Vert: 1"=3

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SEAL

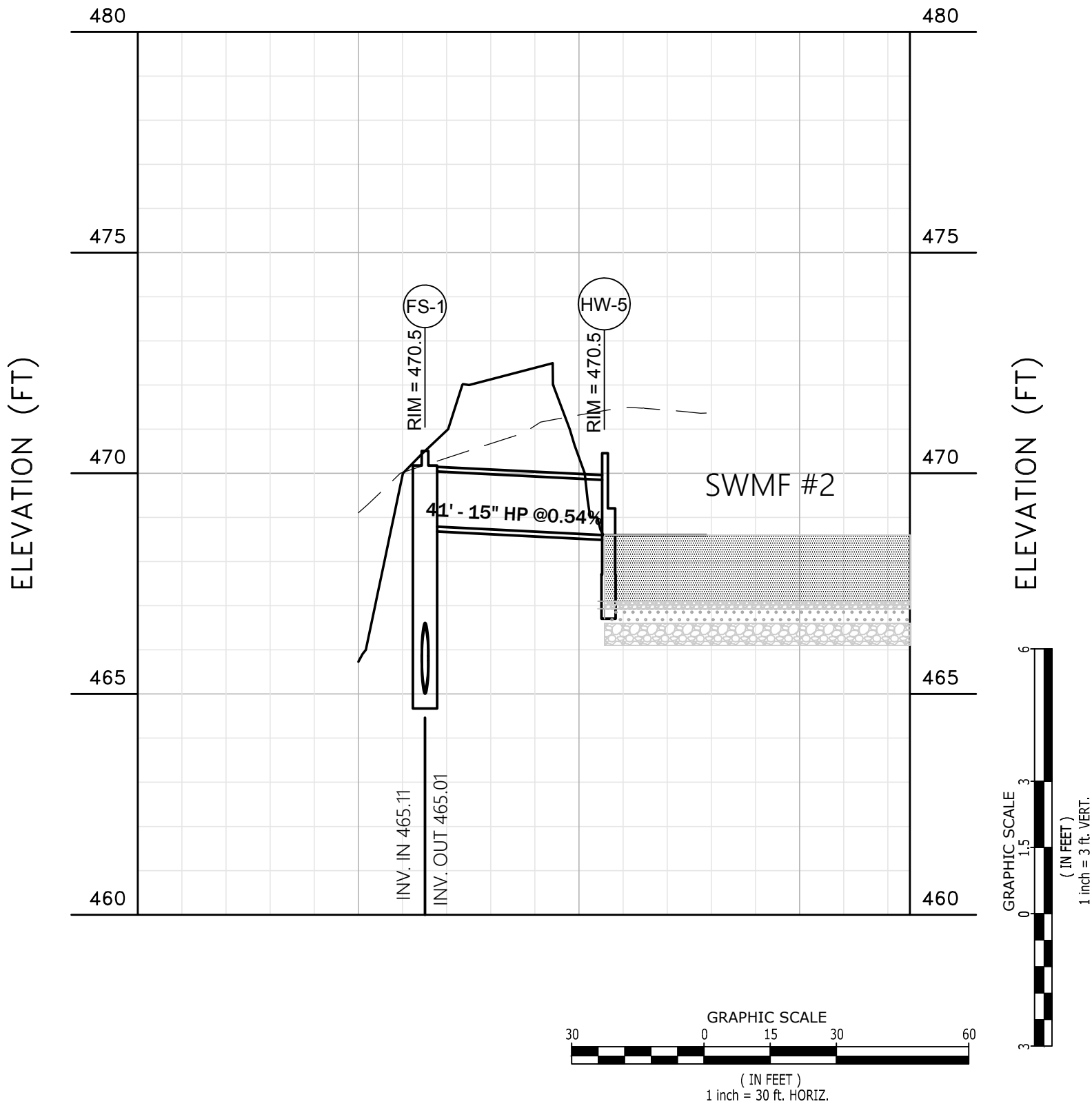
SCALE: AS SHOWN

DESIGN: PDL CHECK: APPROVED

SHEET

10

DATE: DEC 19, 2021

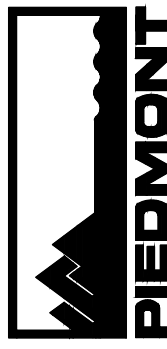


SD FLOW SPLITTER
PROFILE & DETAILS
Country Club Commons
Jefferson County, WV

SEAL		
SCALE: 1"=50'		
DESIGN: POL	CHECK:	APPROVED

SHEET
11

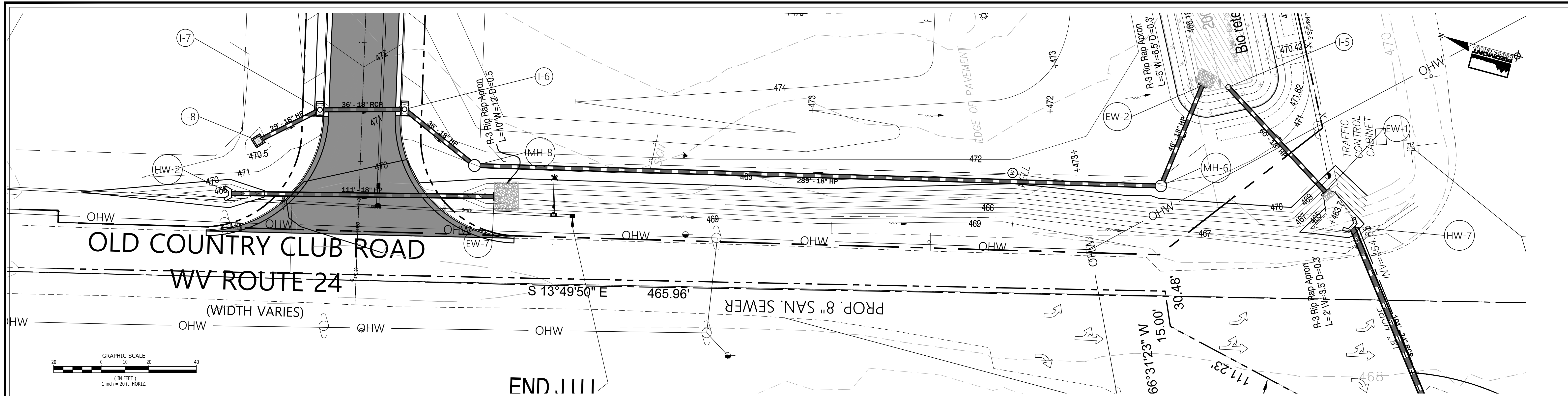
DATE: DEC 19, 2021



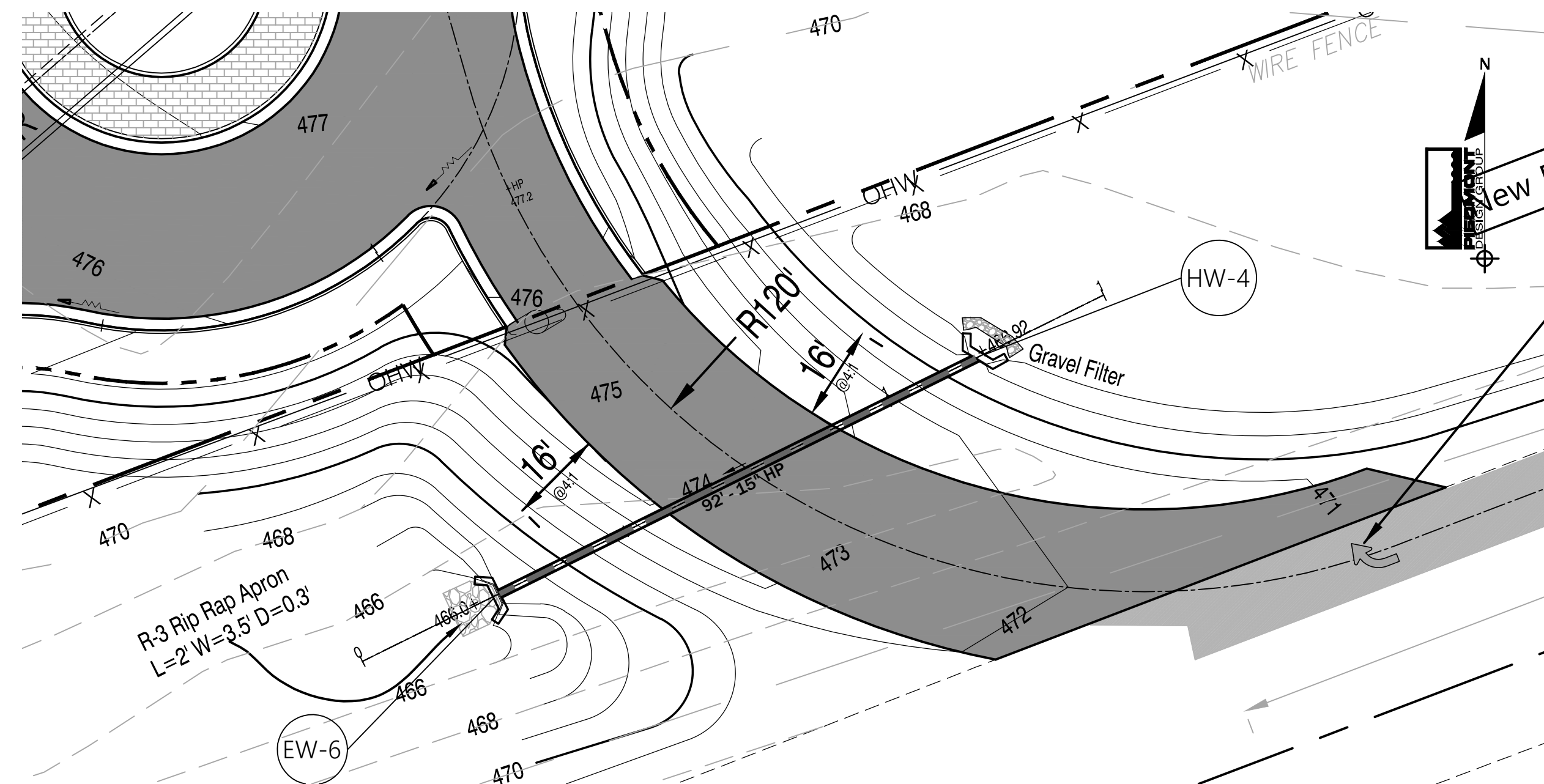
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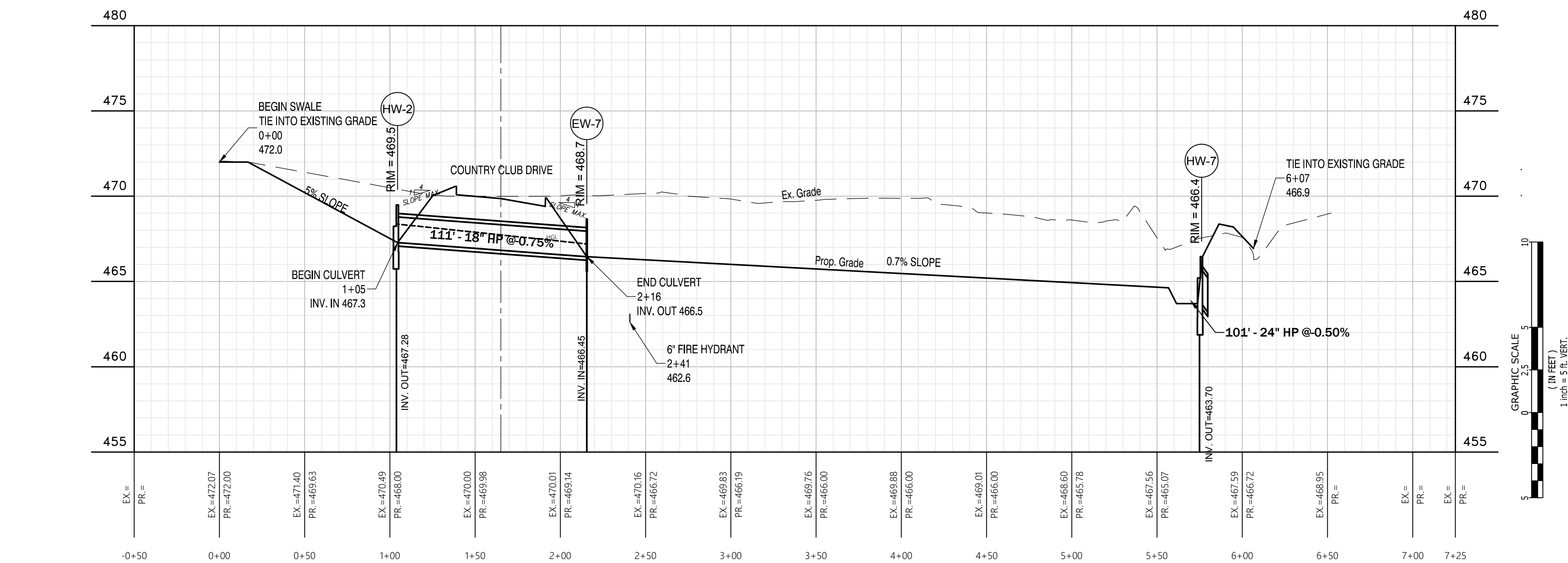
REVISIONS



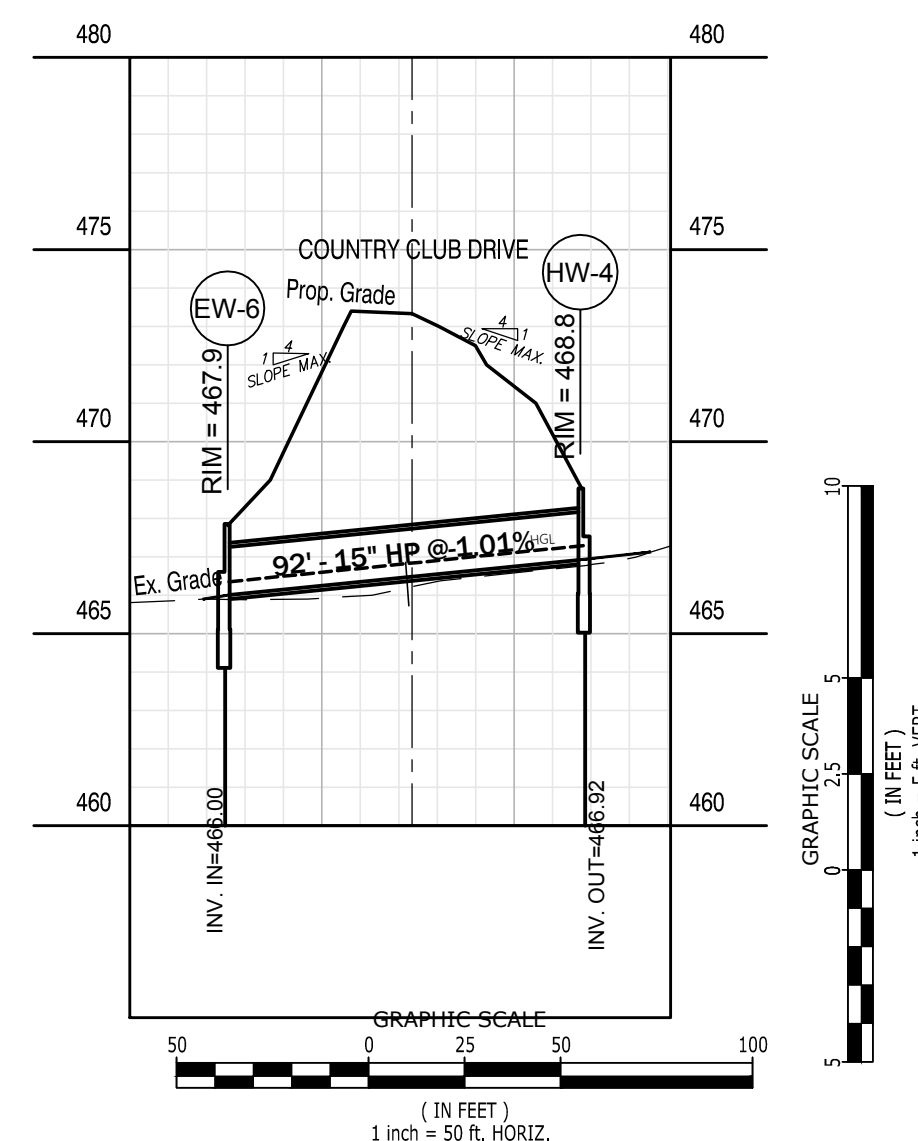
RT 24 CULVERT & SWALE - Plan View
Scale : 1" = 20'



US 340 CULVERT - Plan View
Scale : 1" = 20'

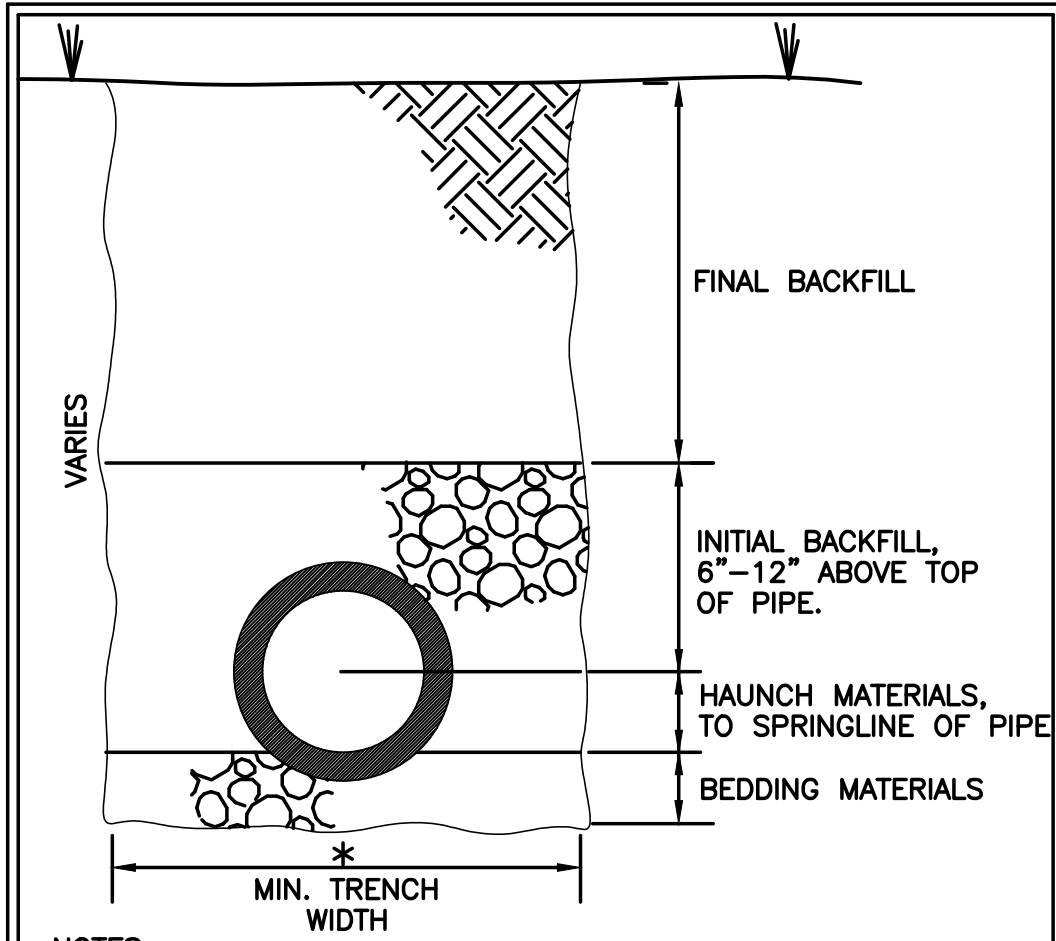


RT 24 CULVERT & SWALE - Profile
Scale : Horiz : 1" = 50' Vert: 1"=5'



US 340 CULVERT - Profile
Scale : Horiz : 1" = 50' Vert: 1"=5'

ALL STORM DRAINAGE LABELED HDPE (HIGH DENSITY POLYETHYLENE PIPE) PROPOSED WITH PHASE 4A CONSTRUCTION (ONLY) SHALL HAVE WATERTIGHT JOINTS AND CONFORM TO ASTM D1248/AASHTO M294 TYPE S STANDARDS, AND MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION.



NOTES:

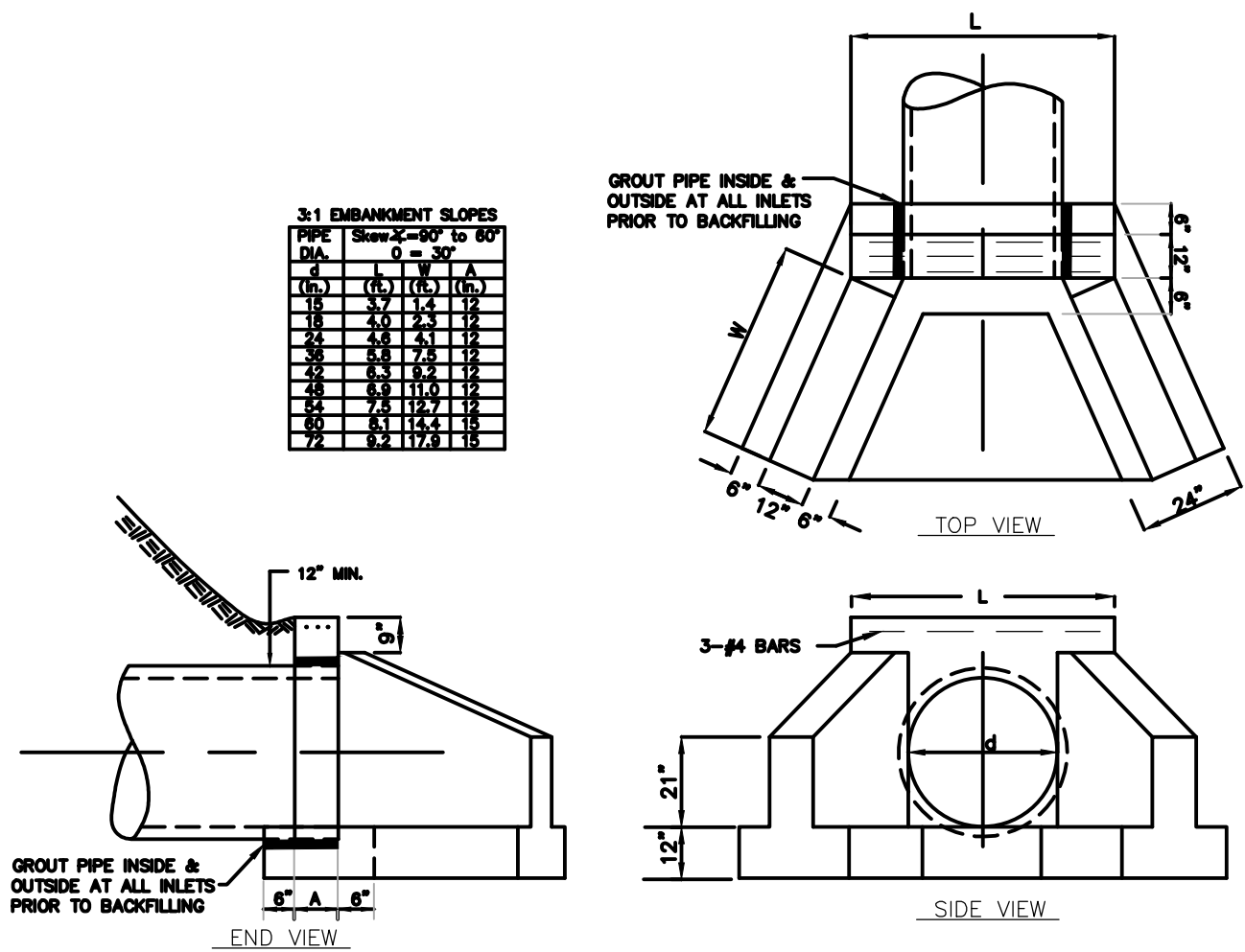
- BEDDING MATERIALS SHALL BE CLASS I, II, OR III MATERIALS AS DEFINED IN TABLE 1, ASTM D-2321. INSTALLATION OF THESE MATERIALS SHALL BE AS PER TABLE 2.
- HAUNCH MATERIALS SHALL BE CLASS I, II, OR III MATERIALS AS REQUIRED ABOVE, RESTRICTED AS PER D-2321, TABLE 2.
- INITIAL BACKFILL MATERIALS SHALL BE CLASS I, II, OR III MATERIALS AS REQUIRED ABOVE, RESTRICTED AS PER D-2321, TABLE 2.
- MIN. TRENCH WIDTHS (AS REQUIRED BY ASTM D-2321), ARE AS FOLLOWS:

MIN. TRENCH WIDTH
8"
10"
12"
15"
18"
24"
30"
36"

- A LESSER TRENCH WIDTH WILL BE PERMITTED ONLY WHERE IT IS DETERMINED THE CONTRACTOR CAN UTILIZE EQUIPMENT CAPABLE OF MEETING THE REQUIRED INSTALLED DENSITIES.
- WHERE THE TRENCH BOTTOM IS UNSTABLE, TRENCH BOTTOM MAY BE STABILIZED USING A GEOFABRIC.

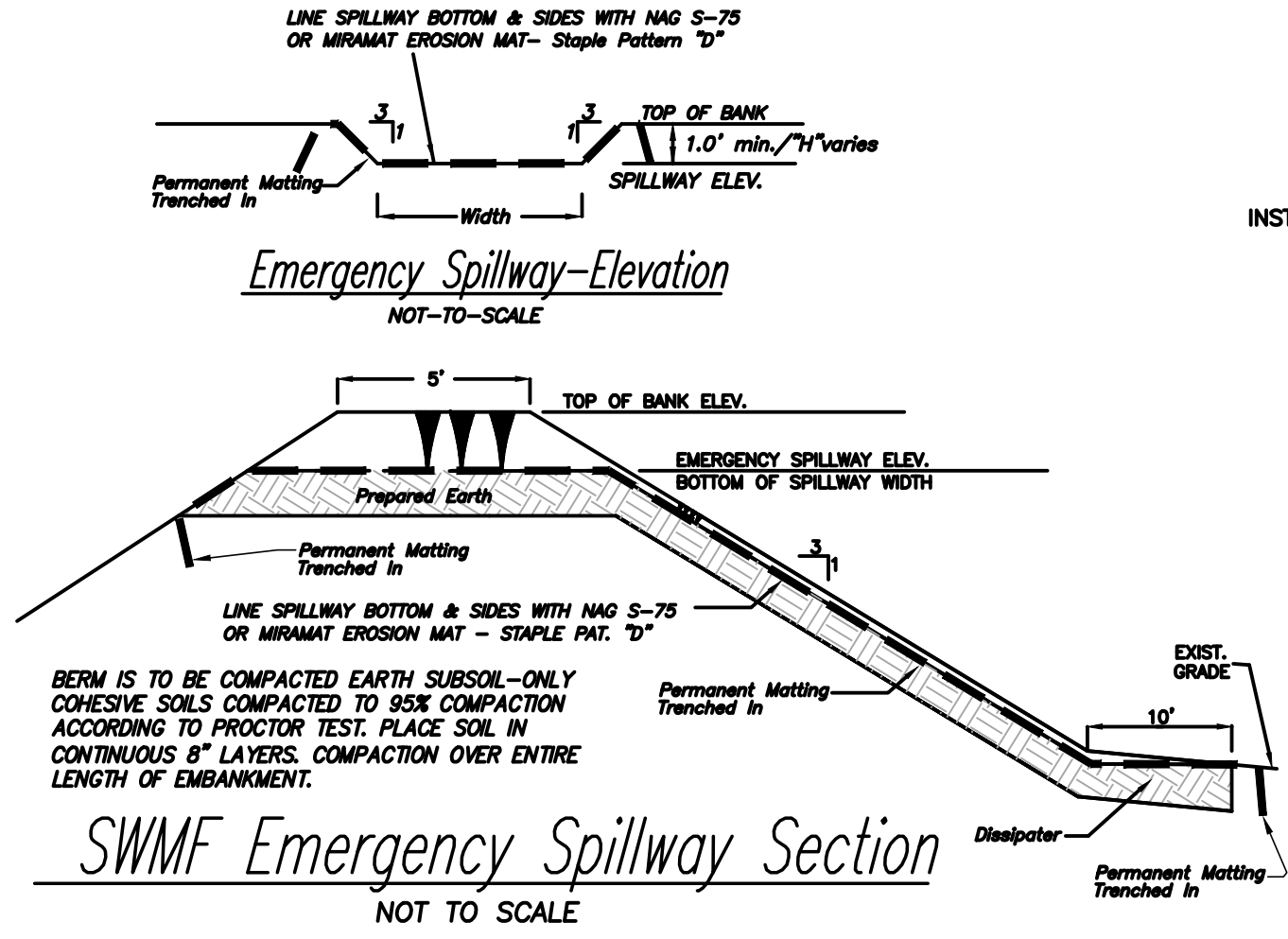
FLEXIBLE PIPE INSTALLATION

(CPEP, PVC, PE, ETC.)

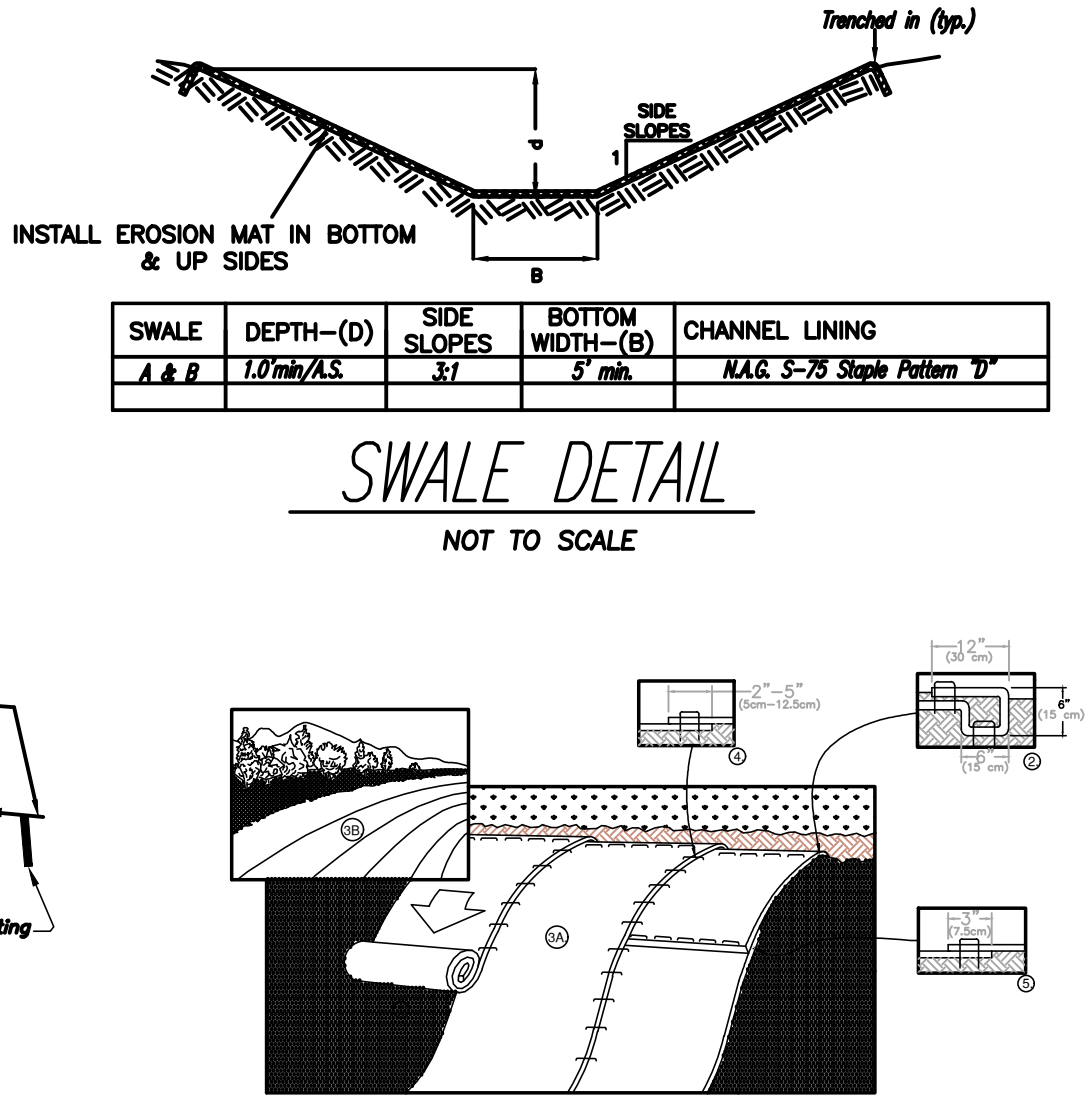


Type "DW" Endwall

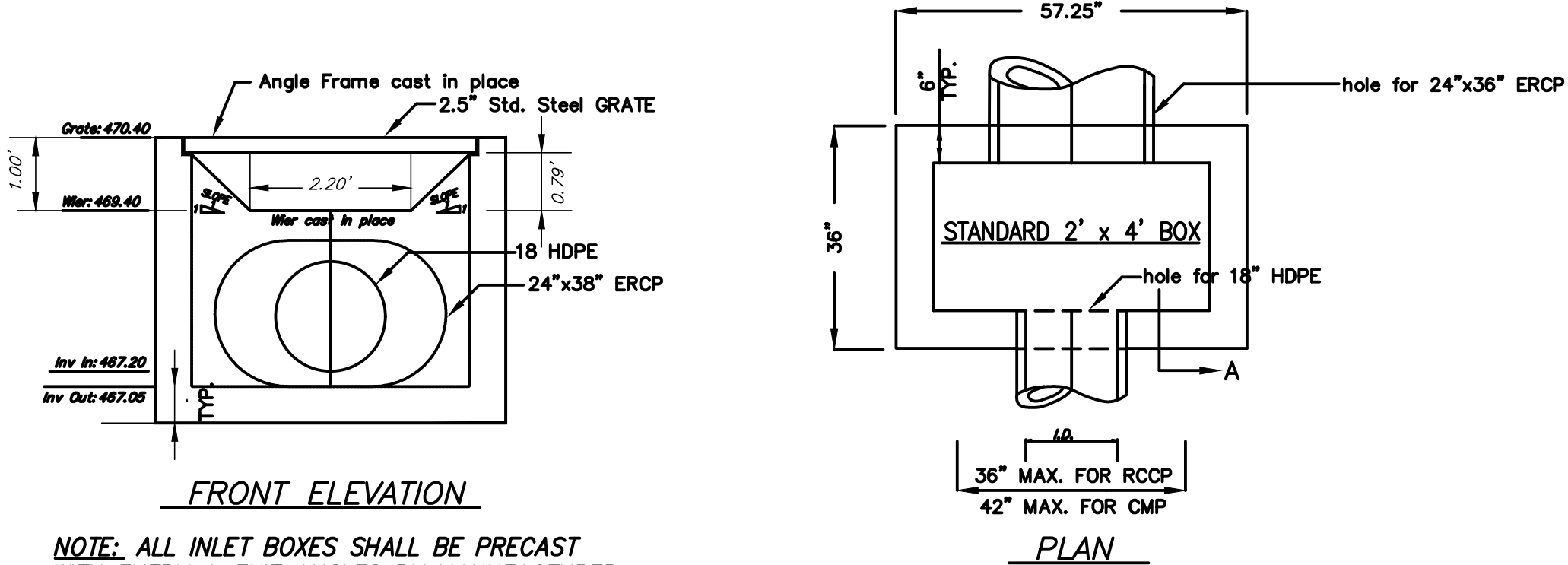
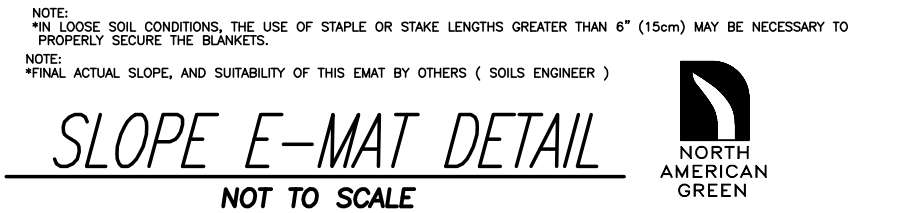
NOT TO SCALE



SWMF	WIDTH-(W)	BOTTOM ELEV.	HEIGHT	TOP ELEV.	CHANNEL LINING
#1	15.0'	469.75	1.40'	470.40	N.A.G. S-75 Staple Pattern "D"
#2	5.0'	470.42	1.20'	471.82	N.A.G. S-75 Staple Pattern "D"



- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIMES, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-TO-SEED DO NOT SEED PREPARED AREA. CELL-TO-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
- BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 4" (10cm) DEEP & 4" (10cm) WIDE TRENCH WITH APPROXIMATELY 12" (30cm) OF BLANKET EXTENDING BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30cm) APART IN THE BOTTOM OF THE TRENCH. UNROLL AND OVERLAP THE BLANKET WITH THE PREVIOUS ROW. THE OVERLAP SHOULD BE 12" (30cm). THE BLANKET SHOULD BE PLACED OVER SEED AND COMPACTED SOIL. THE BLANKET SHOULD BE PLACED OVER SEED AND COMPACTED SOIL WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30cm) APART ACROSS THE WIDTH OF THE BLANKET.
- ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE ANCHORS. THE BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE CIRCLED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
- THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" (5cm) FROM THE BOTTOM OVERLAP EXTENDING OUTWARD TO TOP. DO NOT USE THE CIRCLED DOTS FOR STAPLING. STAPLES TO BE PLACED OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30cm) APART ACROSS THE WIDTH OF THE BLANKET. (BLANKET BEND DETAILS TO TOP) DO NOT USE THE CIRCLED DOTS FOR STAPLING. STAPLES TO BE PLACED OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30cm) APART ACROSS THE WIDTH OF THE BLANKET.
- CONSECUTIVE BLANKETS SPACED DOWN THE SLOPE MUST BE PLACED END OVER END (CONSOLE STYLE) WITH AN APPROXIMATE 12" (30cm) OVERLAP. STAPLE THROUGH OVERLAP AREA APPROXIMATELY 12" (30cm) APART ACROSS ENTIRE BLANKET WIDTH.

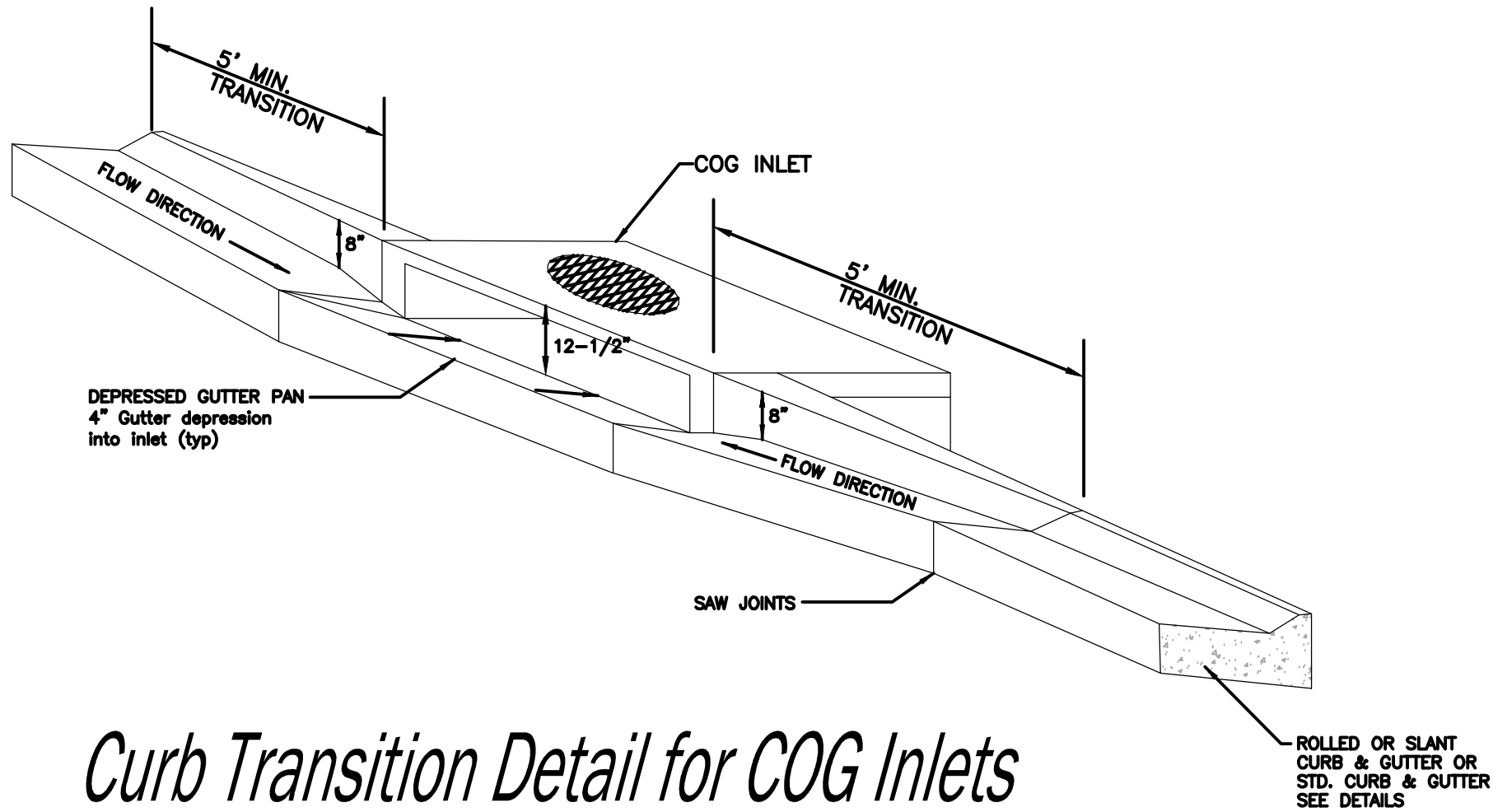


FRONT ELEVATION

NOTE: ALL INLET BOXES SHALL BE PRECAST WITH ENTRY & EXIT ANGLES BY MANUFACTURER. CAST ALUMINUM STEPS SHALL BE INSTALLED ON ALL INLETS OVER 4' DEEP. STEPS SHALL BE A MAXIMUM OF 12" BETWEEN STEPS.

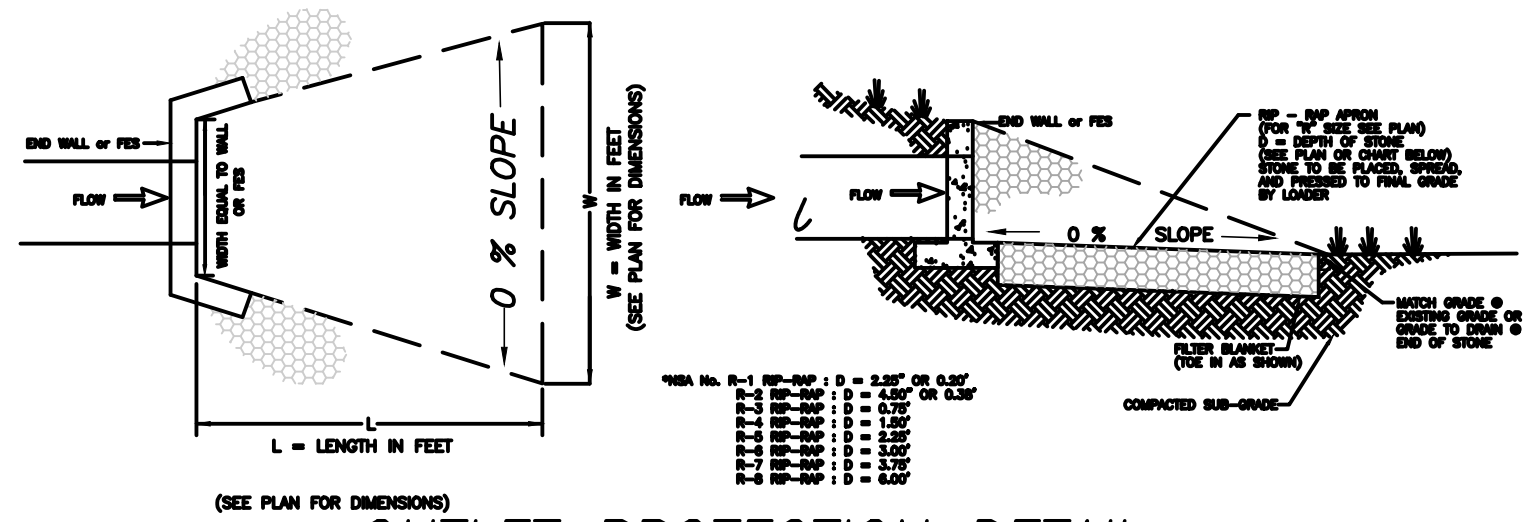
"M" INLET / 1-1 STRUCTURE DETAIL

NOT TO SCALE



Curb Transition Detail for COG Inlets

NOT TO SCALE

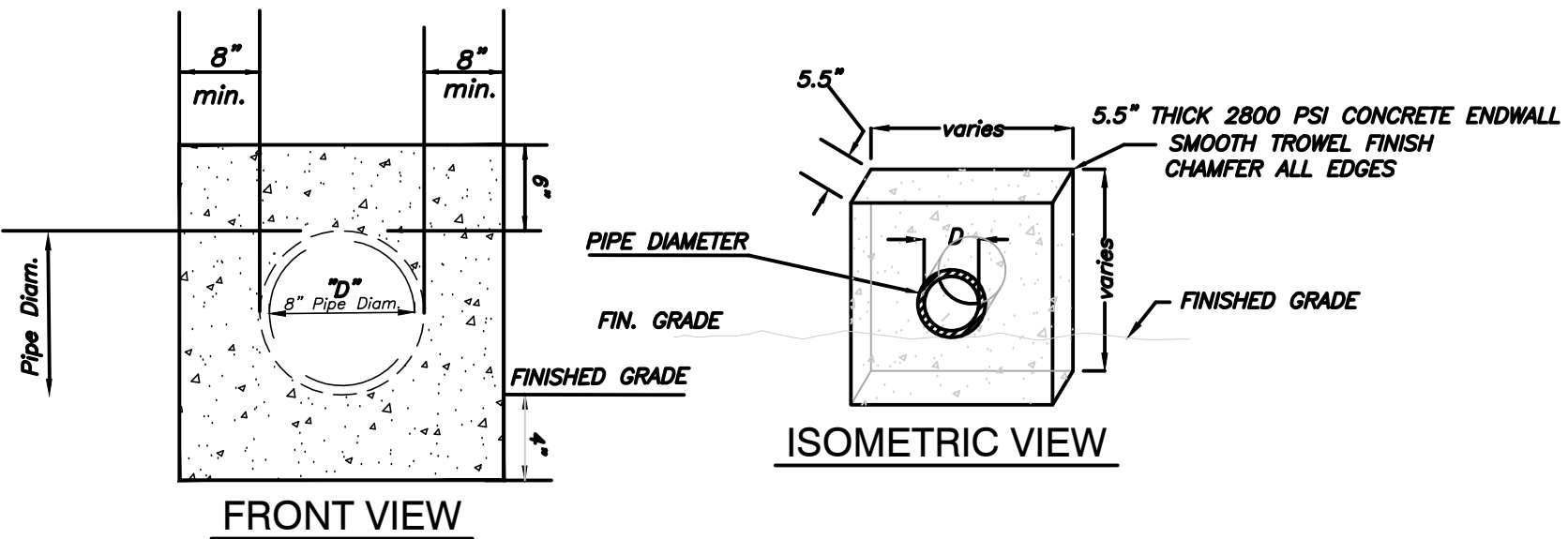


OUTLET PROTECTION DETAIL

NOT TO SCALE

APRON SIZING TABLE

Structure	Q100	Length	Width	Depth	Rip-Rap
EW-1	1.50	2'	3.5'	0.3'	R-3
EW-2	4.17	5'	6.5'	0.3'	R-3
EW-3	12.06	12'	14'	0.6'	R-4
EW-4	4.68	5'	7'	0.3'	R-3
EW-5	7.27	8'	10'	0.5'	R-3
EW-6	1.31	2'	3.25'	0.3'	R-3
EW-7	8.82	10'	12'	0.5'	R-3

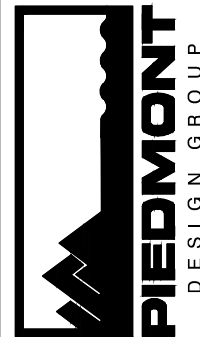


CONC. ENDWALL DETAIL

NOT TO SCALE

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SCALE

SCALE: AS SHOWN

DESIGN: POL CHECK: APPROVED: SHEET

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DATE: DEC 19, 2021



OPENING		DIMENSIONS						QUANTITIES	
D	AREA	A	B	C	E	H	L	CONC.	STEEL
INCHES	SQ. FT							C.Y.	LBS.
48	12.57	12"	16"	10"	3'-2"	2'-6"	13'-0"	2.27	106

STANDARD END SUPPORT WALL
METAL OR CONCRETE ROUND PIPE

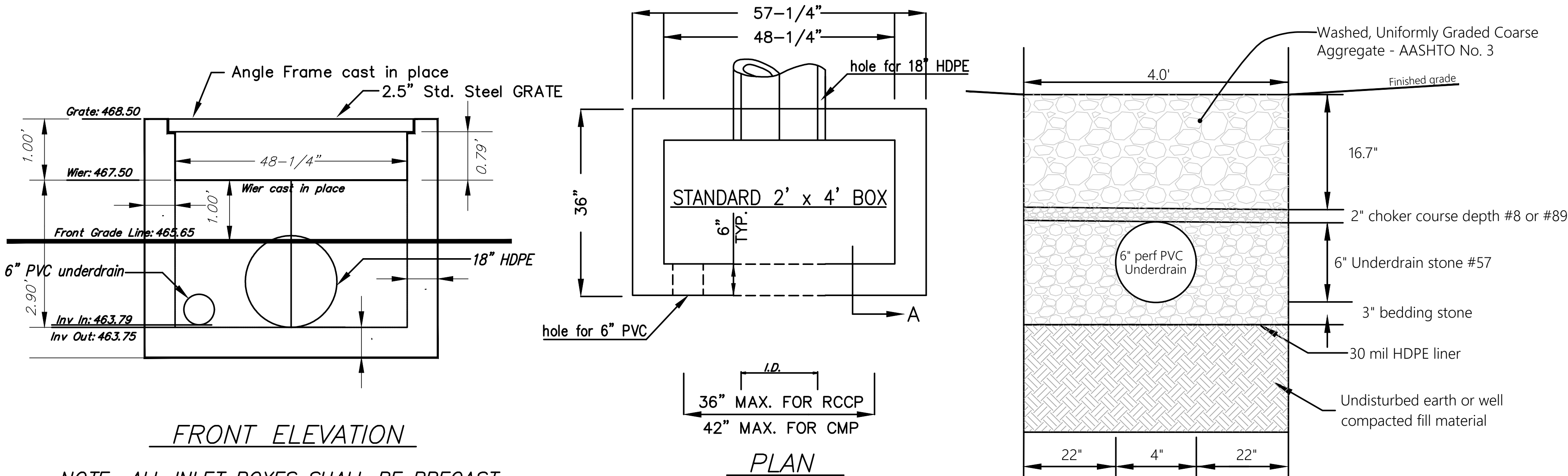
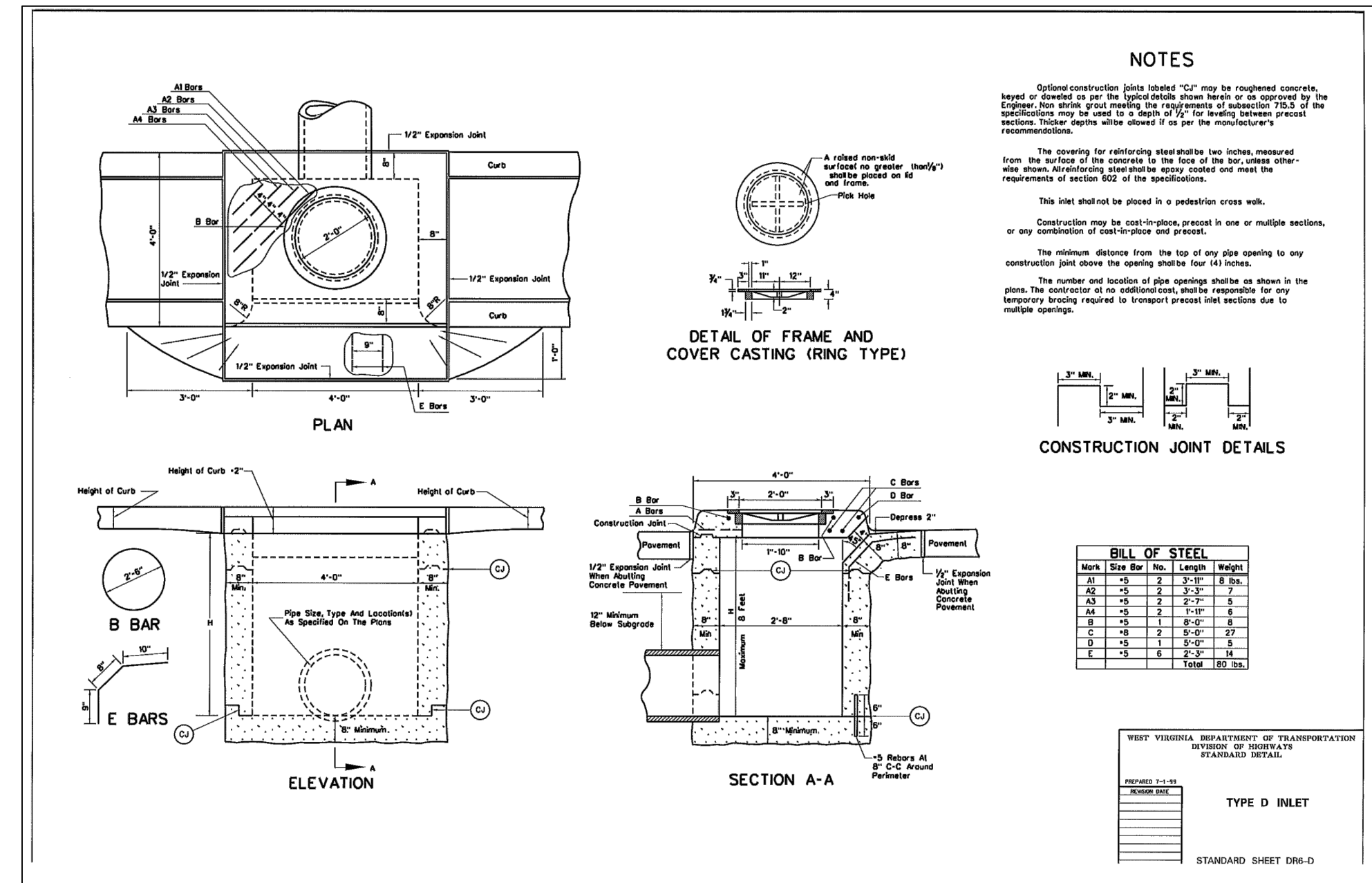
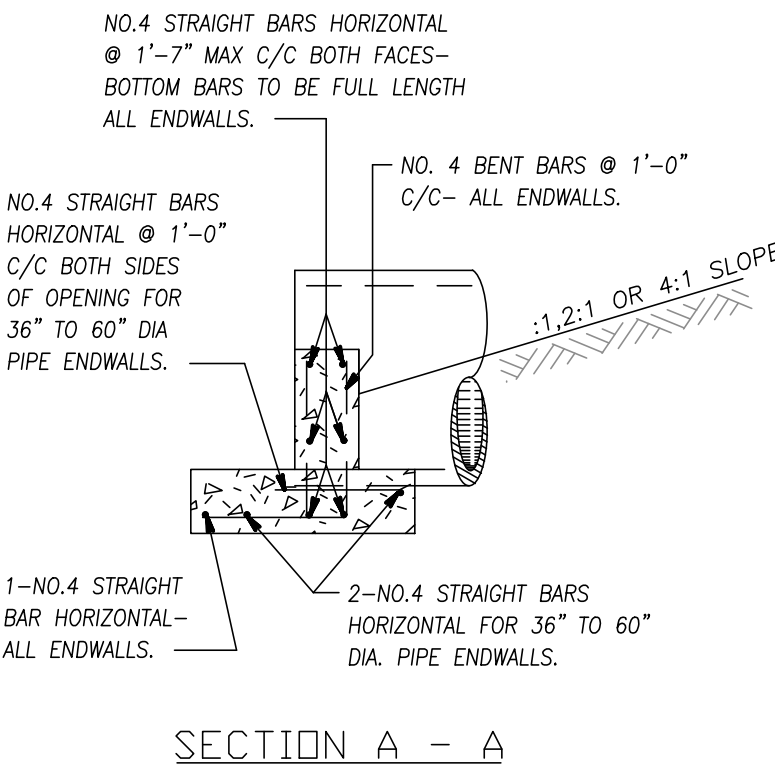
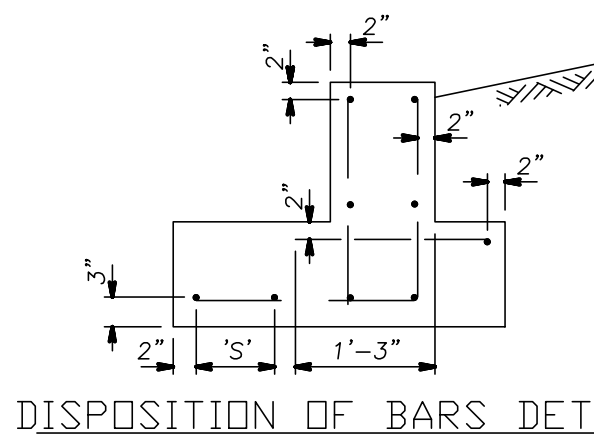
MD STANDARD NO. MD 350.01

'S' DISTANCE

4" FOR 12" DIA. TO 21" DIA. PIPES INCLUSIVE.
6" FOR 24" DIA. TO 36" DIA. PIPES INCLUSIVE.
8" FOR 42" DIA. TO 60" DIA. PIPES INCLUSIVE.

GENERAL NOTES

SPECIFICATIONS: LATEST S.H.A.
CONCRETE SHALL BE MIX NO.2
REINFORCING: DEFORMED STEEL BARS-NO.4
CHAMFER: ALL EXPOSED EDGES 1"x1" OR AS DIRECTED.

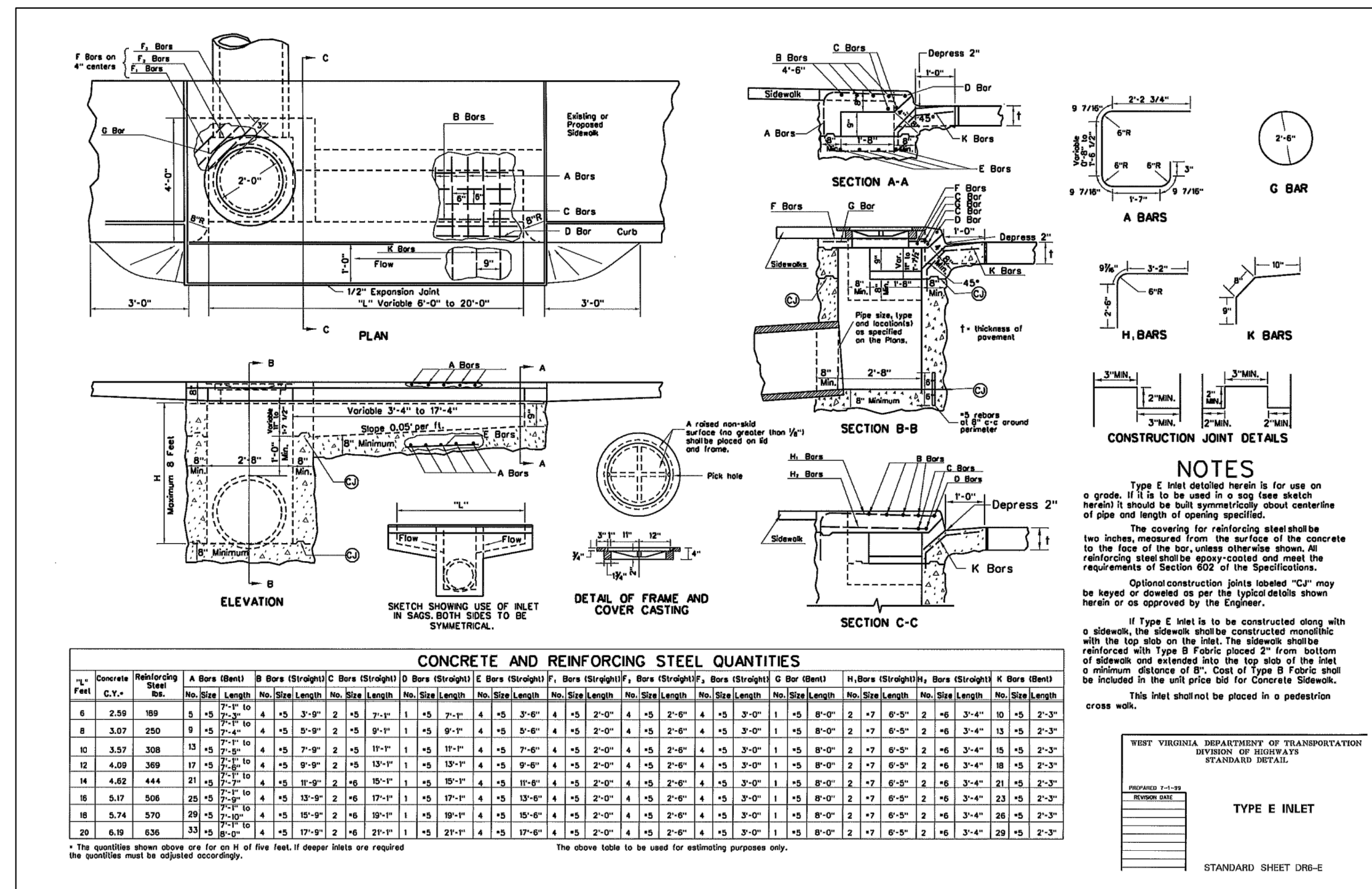


OUTLET STRUCTURE #1 - SWMF "1"

NOT TO SCALE

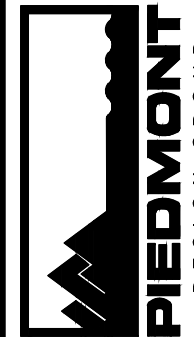
INFLOW TRENCH DETAIL

NOT TO SCALE



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SCALE

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DESIGN: PDL CHECK: APPROVED

SHEET

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DATE: DEC 19, 2021

- 33.4% *Schizachyria scoparium*, 'Itasca', MN Ecotype (Little Bluestem, 'Itasca')
- 20.0% *Elymus virginicus*, 'Madison', (Virginia Wildrye, 'Madison')
- 7.0% *Carex vulpinoidea*, PA Ecotype (Fox Sedge)
- 5.6% *Chasmanthium latifolium*, WV Ecotype (River Oats, WV Ecotype)
- 5.5% *Echinacea purpurea* (Purple Coneflower)
- 3.0% *Chamaecrista fasciculata*, PA Ecotype (Partridge Pea, PA Ecotype)
- 3.0% *Careopsis lanceolata* (Lanceleaf Careopsis)
- 3.0% *Panicum clandestinum*, Tioga (Deertongue, Tioga)
- 3.0% *Panicum rigidulum*, PA Ecotype (Ratgrass, PA Ecotype)
- 3.0% *Rudbeckia hirta* (Blackeyed Susan)
- 3.0% *Verbena hastata*, PA Ecotype (Blue Vervain, PA Ecotype)
- 2.0% *Helopsis helianthoides*, PA Ecotype (Oxeye Sunflower, PA Ecotype)
- 1.8% *Asclepias incarnata*, PA Ecotype (Swamp Milkweed, PA Ecotype)
- 1.0% *Carex scoparia*, PA Ecotype (Blunt Broad Sedge)
- 1.0% *Senna hebecarpa*, VA & WV Ecotype (Wild Senna, VA & WV Ecotype)
- 0.6% *Helenium autumnale*, PA Ecotype (Common Sneezeweed, PA Ecotype)
- 0.5% *Aster novae-angliae*, PA Ecotype (New England Aster, PA Ecotype)
- 0.5% *Aster prenanthoides*, PA Ecotype (Zigzag Aster, PA Ecotype)
- 0.5% *Baptisia australis*, Southern WV Ecotype (Blue False Indigo)
- 0.5% *Pycnanthemum tenuifolium* (Narrowleaf Mountainmint)
- 0.5% *Zizia aurea* (Golden Alexanders)
- 0.4% *Monarda fistulosa*, Fort Indiantown Gap—PA Ecotype (Wild Bergamot)
- 0.3% *Eupatorium perfoliatum*, PA Ecotype (Boneset, PA Ecotype)
- 0.3% *Juncus tenuis*, PA Ecotype (Path Rush, PA Ecotype)
- 0.2% *Juncus effusus* (Soft Rush)
- 0.2% *Solidago nemoralis*, PA Ecotype (Gray Goldenrod, PA Ecotype)
- 0.2% *Solidago rugosa*, PA Ecotype (Whinkeyleaf Goldenrod, PA Ecotype)

Item Number: **ERNMX-180**
 Product Categories: **Stormwater Management, Uplands & Meadows Height: 0.3 - 5.0 Ft**
 Seeding Rate: **20 lb per acre with a cover crop of grain rye at 30 lb per acre**
 Price: **\$34.00 lb.**

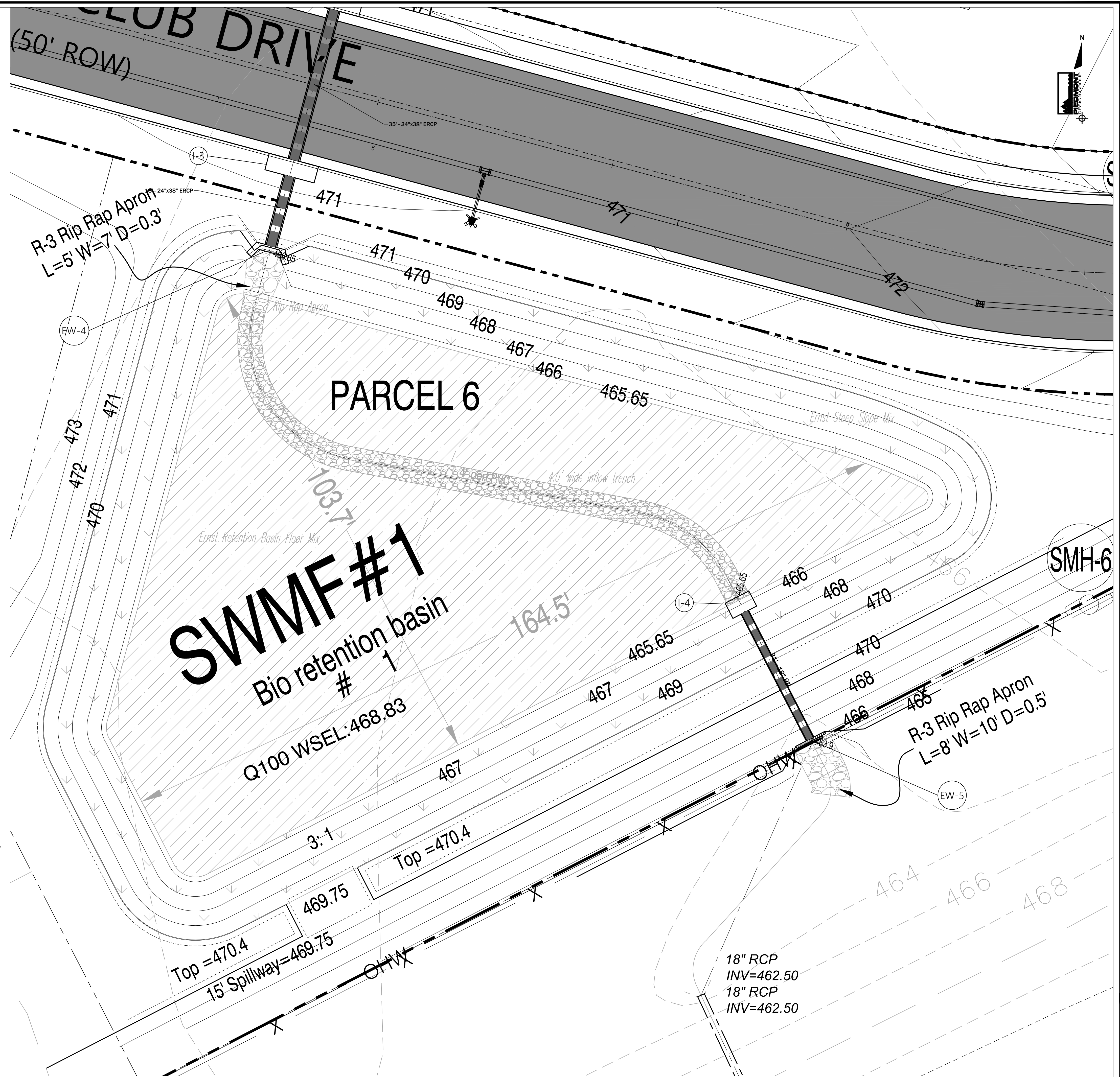
40.0% *Sorghastrum nutans*, PA Ecotype (Indiangrass, PA Ecotype)
23.5% *Elymus virginicus*, 'Madison' (Virginia Wildrye, 'Madison')
17.0% *Panicum clandestinum*, Toga (Overtoongrass, Toga)
7.0% *Andropogon gerardii*, 'Niagara' (Big Bluestem, 'Niagara')
4.0% *Panicum virgatum*, 'Shelley' (Switchgrass, 'Shelley')
3.3% *Tridens flavus* (Purpletop)
1.6% *Helopsis helianthoides*, PA Ecotype (Oxeye Sunflower, PA Ecotype)
1.3% *Rudbeckia hirta* (Blackeyed Susan)
0.6% *Asclepias syriaca* (Common Milkweed)
0.5% *Aster laevis*, NY Ecotype (Smooth Blue Aster, NY Ecotype)
0.4% *Chamaecrista nictitans*, NC Ecotype (Sensitive Pea, NC Ecotype)
0.2% *Monarda fistulosa*, Fort Indiantown Gap-PA Ecotype (Wild Bergamot, Fort Indiantown Gap-PA Ecotype)
0.2% *Solidago juncea*, PA Ecotype (Early Goldenrod, PA Ecotype)

Item Number: ERNMX-280
Product Categories: Erosion Control & Revegetation, Uplands & Meadows
Height: 1.0 - 6.3 Ft Seeding Rate: Seed at 45 lbs/acre with a cover crop.

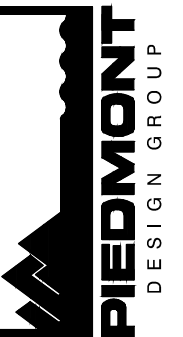
ORNAMENTAL GRASSES - 5' spacing : 48 total (min.)

- *Sorghastrum nutans* / Indian Grass
- *Andropogon gerardii* 'Vitman' / Big Blue Stem
- *Pennisetum alopecuroides* & cultivars / Fountain Grass
- *Calamagrostis acutiflora* & cultivars / Feather Reed Grass
- *Miscanthus sinensis* & cultivars / Maiden Grass
- *Phalaris arundinacea* / Ribbon Grass
- *Polystichum setiferum* / Shield Fern

Grasses available from: Kurt Bluemel Nurseries
2740 Greene Lane
Baldwin, MD 21013
800-498-1560
www.kurtbluemel.com



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SWMF #1 Basin Landscape Plan
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AL

Scale: 1"=10'

DESIGN:

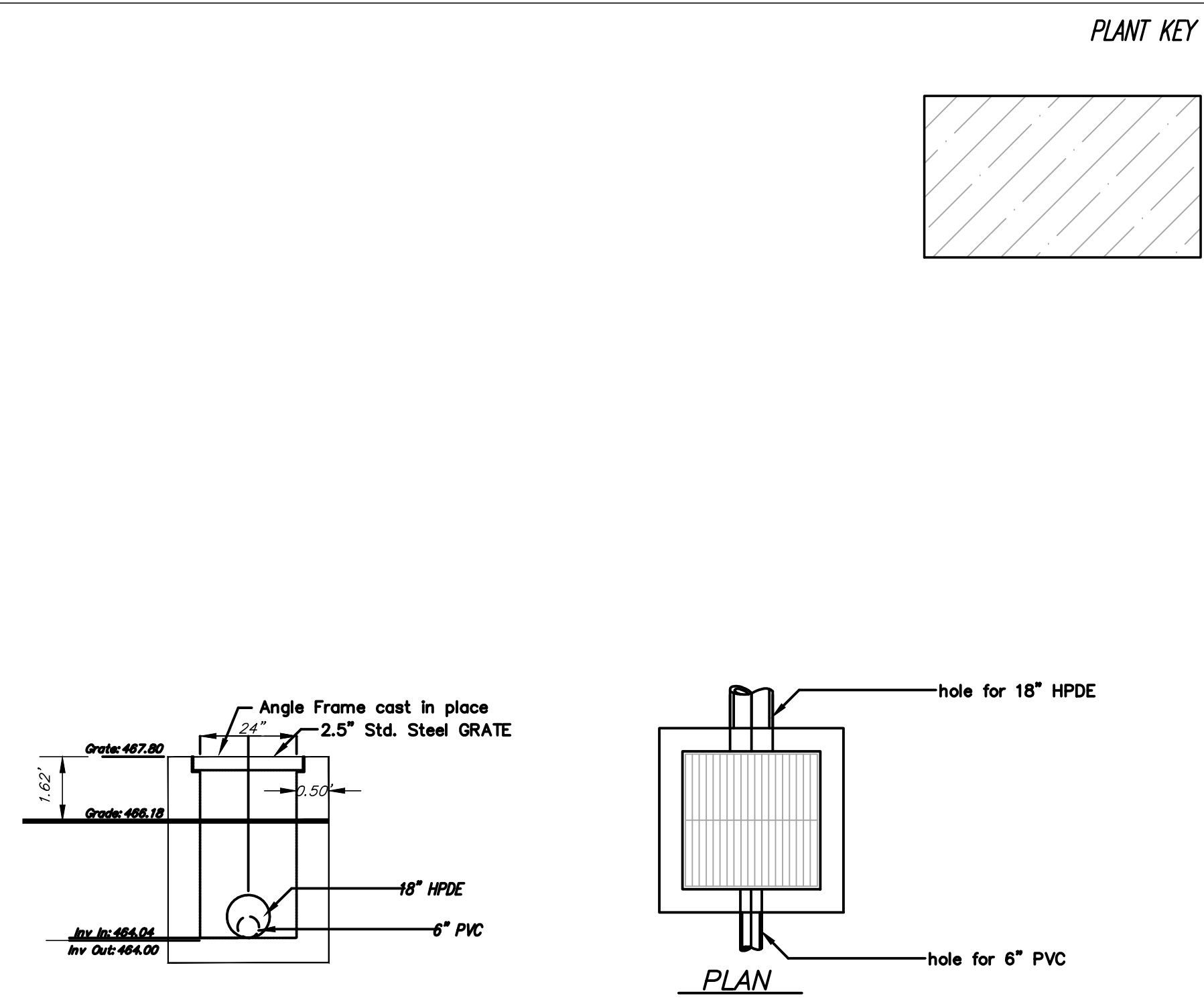
CHECK:

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15

RECEIVED: Nov. 12, 2021



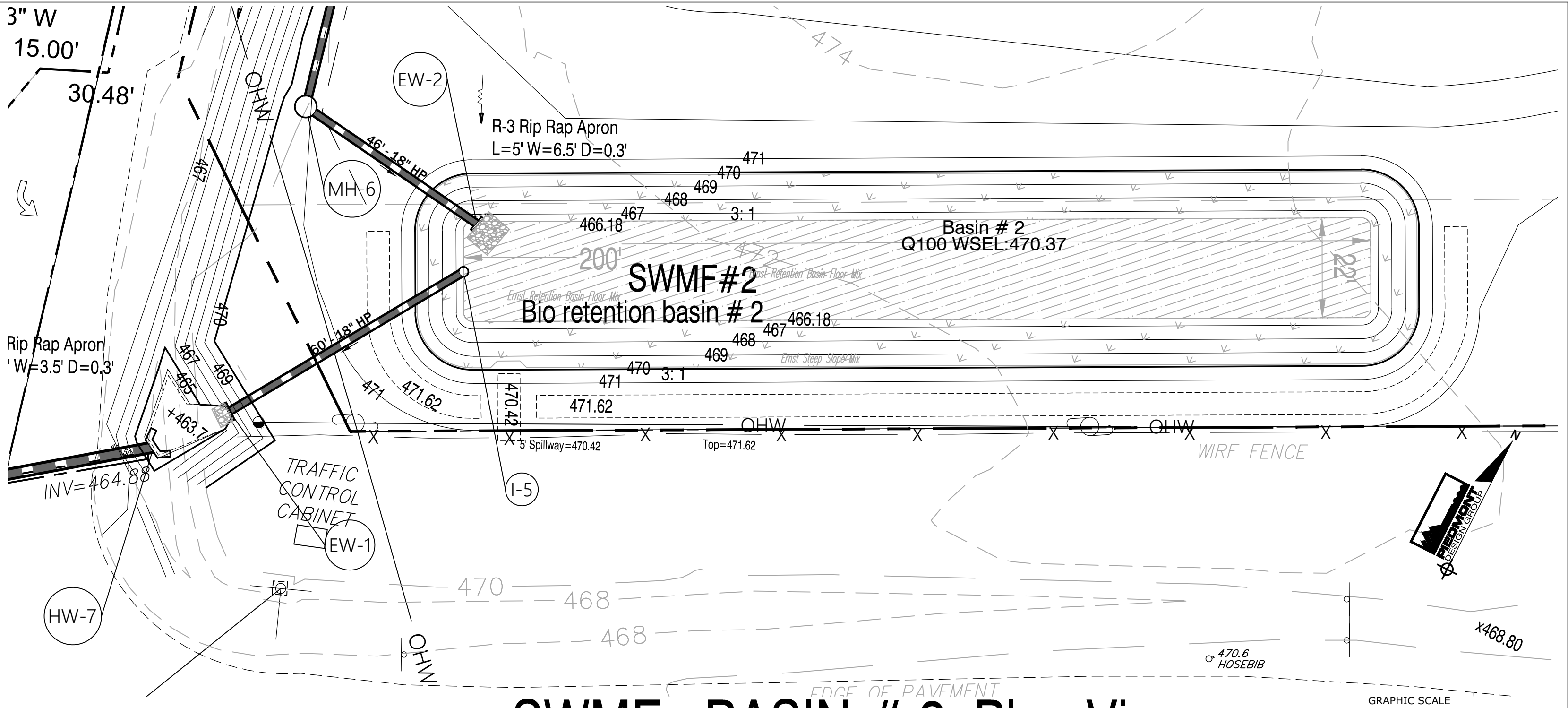
FRONT ELEVATION

NOTE: ALL INLET BOXES SHALL BE PRECAST WITH ENTRY & EXIT ANGLES BY MANUFACTURER.

OUTLET STRUCTURE #2 - SWMF #2

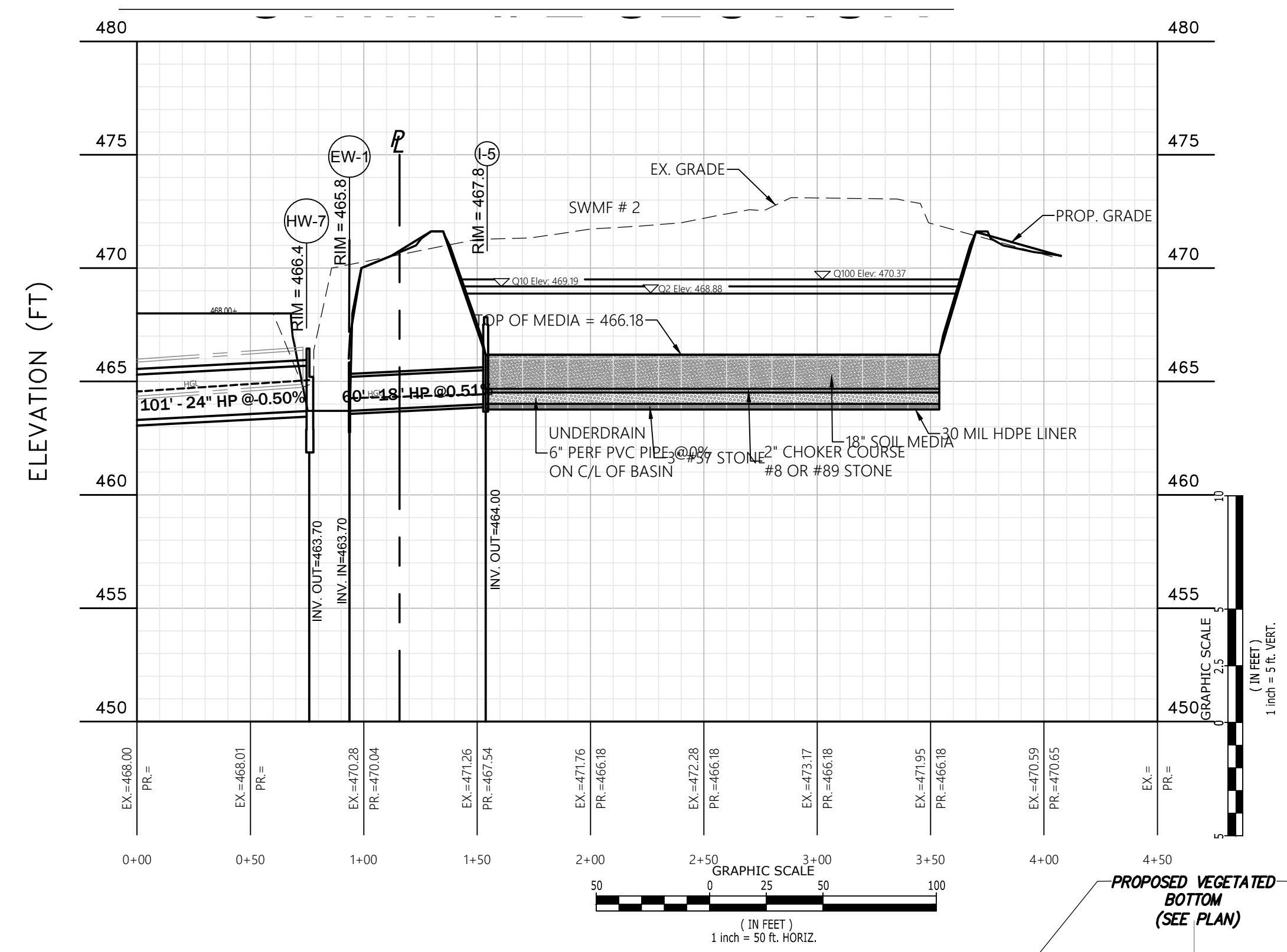
NOT TO SCALE

- PLANT KEY
- RETENTION BASIN FLOOR MIX / Rain Garden Mix
- Mix Composition
- 33.4% *Schizachyrium scoparium*, 'Itasca', MN Ecotype (Little Bluestem, 'Itasca')
 - 20.0% *Elymus virginicus*, 'Madison' (Virginia Wildrye, 'Madison')
 - 7.0% *Carex vulpinoidea*, PA Ecotype (Fox Sedge)
 - 5.6% *Chasmanthium latifolium*, WV Ecotype (River Oats, WV Ecotype)
 - 5.5% *Echinacea purpurea* (Purple Coneflower)
 - 3.0% *Chamaecrista fasciculata*, PA Ecotype (Partridge Pea, PA Ecotype)
 - 3.0% *Coreopsis lanceolata* (Lanceleaf Coreopsis)
 - 3.0% *Panicum clandestinum*, Tioga (Deertongue, Tioga)
 - 3.0% *Panicum rigidulum*, PA Ecotype (Redtop Panicgrass, PA Ecotype)
 - 3.0% *Rudbeckia hirta* (Blackeyed Susan)
 - 3.0% *Verbena hastata*, PA Ecotype (Blue Vervain, PA Ecotype)
 - 2.0% *Helopsis helianthoides*, PA Ecotype (Oxeye Sunflower, PA Ecotype)
 - 1.8% *Asclepias incarnata*, PA Ecotype (Swamp Milkweed, PA Ecotype)
 - 1.0% *Carex scoparia*, PA Ecotype (Blunt Broom Sedge, PA Ecotype)
 - 1.0% *Senna hebecarpa*, VA & WV Ecotype (Wild Senna, VA & WV Ecotype)
 - 0.6% *Helenium autumnale*, PA Ecotype (Common Sneezeweed, PA Ecotype)
 - 0.5% *Aster novae-angliae*, PA Ecotype (New England Aster, PA Ecotype)
 - 0.5% *Aster prenanthoides*, PA Ecotype (Zigzag Aster, PA Ecotype)
 - 0.5% *Baptisia australis*, Southern WV Ecotype (Blue False Indigo)
 - 0.5% *Pycnanthemum tenuifolium* (Narrowleaf Mountainmint)
 - 0.5% *Zizia aurea* (Golden Alexanders)
 - 0.4% *Monarda fistulosa*, Fort Indiantown Gap-PA Ecotype (Wild Bergamot)
 - 0.3% *Eupatorium perfoliatum*, PA Ecotype (Boneset, PA Ecotype)
 - 0.3% *Juncus tenuis*, PA Ecotype (Path Rush, PA Ecotype)
 - 0.2% *Juncus effusus* (Soft Rush)
 - 0.2% *Solidago nemoralis*, PA Ecotype (Gray Goldenrod, PA Ecotype)
 - 0.2% *Solidago rugosa*, PA Ecotype (Wrinkleleaf Goldenrod, PA Ecotype)
- General Product Information: The native perennial forbs and grasses provide food and cover for rain garden biodiversity. Mix formulations are subject to change without notice depending on the availability of existing and new products. While the formula may change, the guiding philosophy and function of the mix will not.
- Item Number: ERMIX-180
- Product Categories: Stormwater Management, Uplands & Meadows Height: 0.3 - 5.0 Ft
- Seeding Rate: 20 lb per acre with a cover crop of grain rye at 30 lb per acre
- Price: \$34.00 lb.



SWMF - BASIN # 2 PROFILE

Scale : 1" = 20'



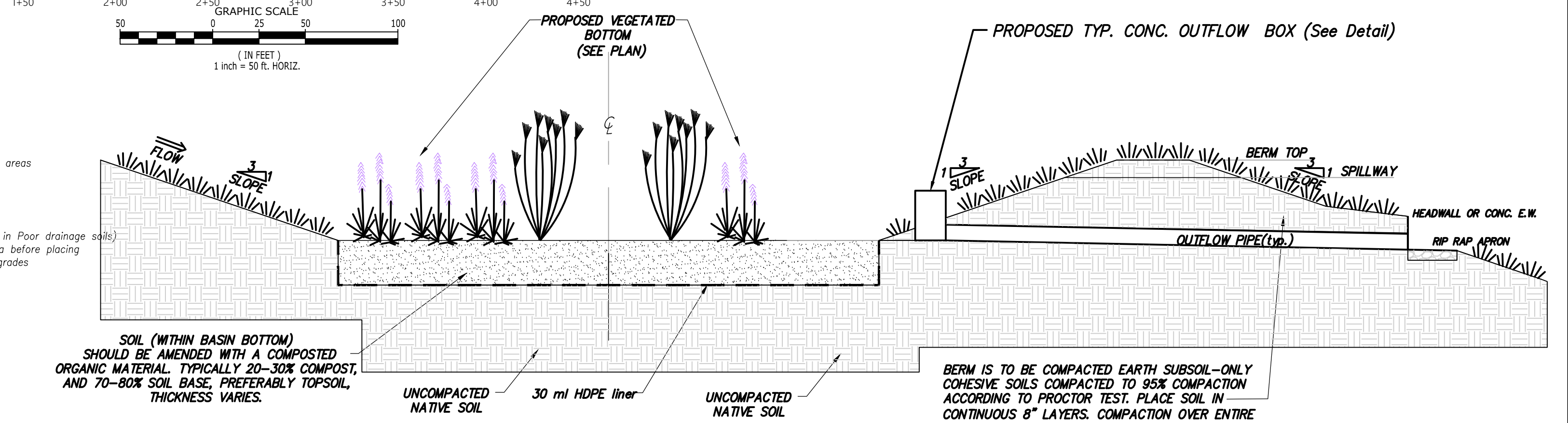
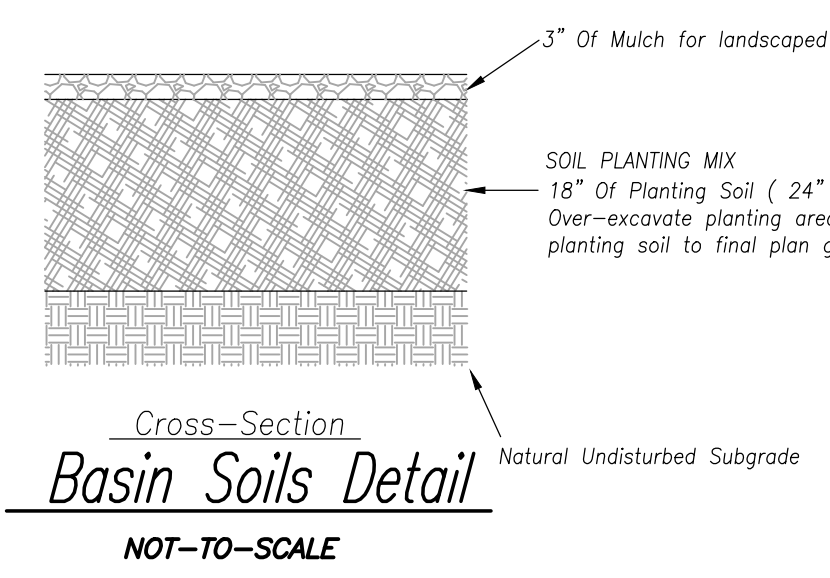
BIORETENTION BASIN MAINTENANCE

- Properly designed and installed BioRetention Basins require some regular maintenance.
- * While vegetation is being established, pruning and weeding may be required. Weeds should be removed thereafter by hand.
 - * Dead leaf and plant matter (detritus) may need to be removed at least twice a year. Perennial plantings may be cut down at the end of each year.
 - * Mulch should be re-spread when erosion is evident and be replenished annually. Once every two to three years (if / as required) The entire mulched area may require re-mulching.
 - * Bioretention Basins should be inspected after each storm event or at least twice a year for sediment build up, erosion or plant conditions. Take appropriate measures to re-establish plan designed intent.
 - * During periods of extended drought, Basin may require watering.
 - * Bioretention Basins should not be mowed on a regular basis.
 - * Trees and shrubs should be inspected twice per year to evaluate health.

OVERALL PLANT MAINTENANCE

Plants shall be inspected once a month during the first year to assure vigorous growth. Dead plants shall be replaced. The area shall be kept free of debris and leaves so that clogging of the outlet can be kept to a minimum. During the first year of growth, plants shall be watered at least once a day if planted during a hot summer season (June thru August), and twice a week if during a regular growing season. Watering during winter is not required. Plant saucers shall be mulched once in the spring and once in the fall. Fertilizing of plants shall take place at least twice a year, in the spring and fall. The best time for planting is in the fall after the summer heat, as plant stabilization is at its prime, and watering needs are diminished, with root growth at a vigorous state. Plants shall be inspected once per day for the first 14 days after installation, thence after twice a week for a month, thereafter once a week for the first year.

After the first year of growth, watering needs to occur only on an as needed basis. Mulching is still required twice a year, once in the spring and once in the fall. Replace dead plants if / as required. Pruning and weeding may be required during the establishment phase and as a regular maintenance procedure thereafter. Continue to remove vegetative litter at least twice a year or on an as needed basis after plants have been established. Perennial plants may be cut down or topped at the end of the growing season as required. For maintenance guidelines, we recommend the website www.gardening.about.com/.



NOTE: AREAS DISTURBED IN CONSTRUCTION OF THE BIORETENTION AREA SHOULD REMAIN UNCOMPACTED EXCEPT WHERE SHOWN. AREAS WITHIN THE PERIMETER OF THE BIORETENTION BASIN ARE NOT TO BE COMPACTED. COMPACTING OF THE SOIL WILL NOT ALLOW THE BASIN TO INFILTRATE PROPERLY.

SWMF Typical Section

NOT-TO-SCALE

REVISIONS

5283 Corporate Drive, Suite 300
Frederick, MD 21703
(301) 885-8514

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SWMF #2 PROFILE & DETAILS

Country Club Commons

Jefferson County, WV

SEAL

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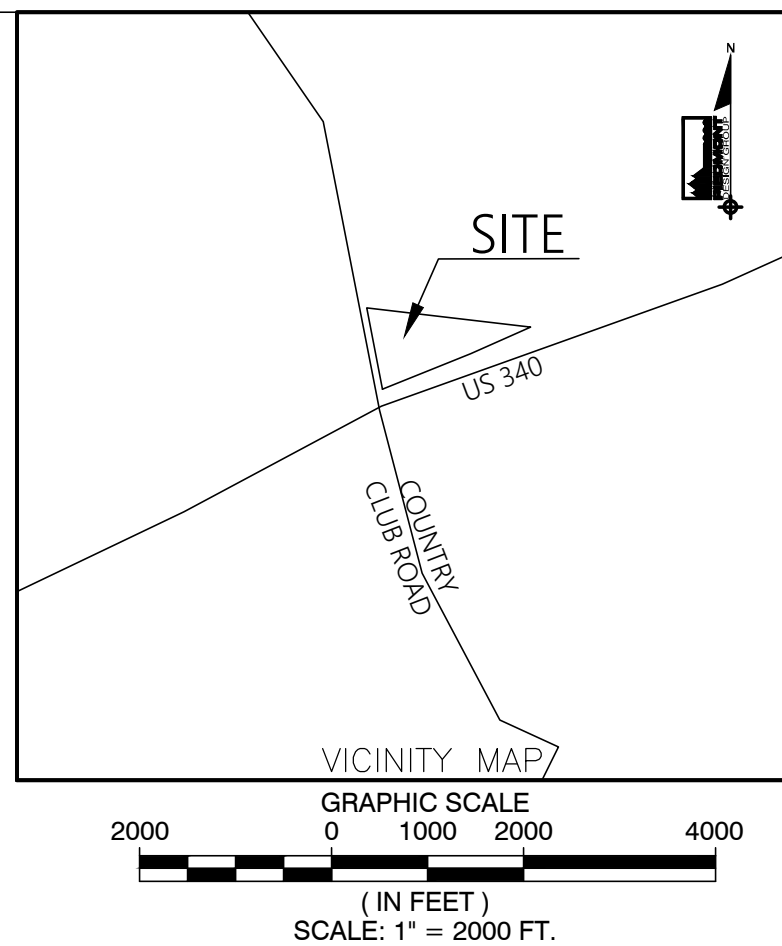
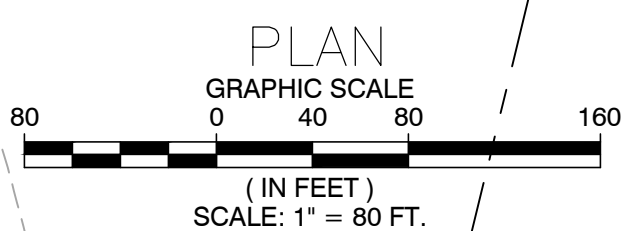
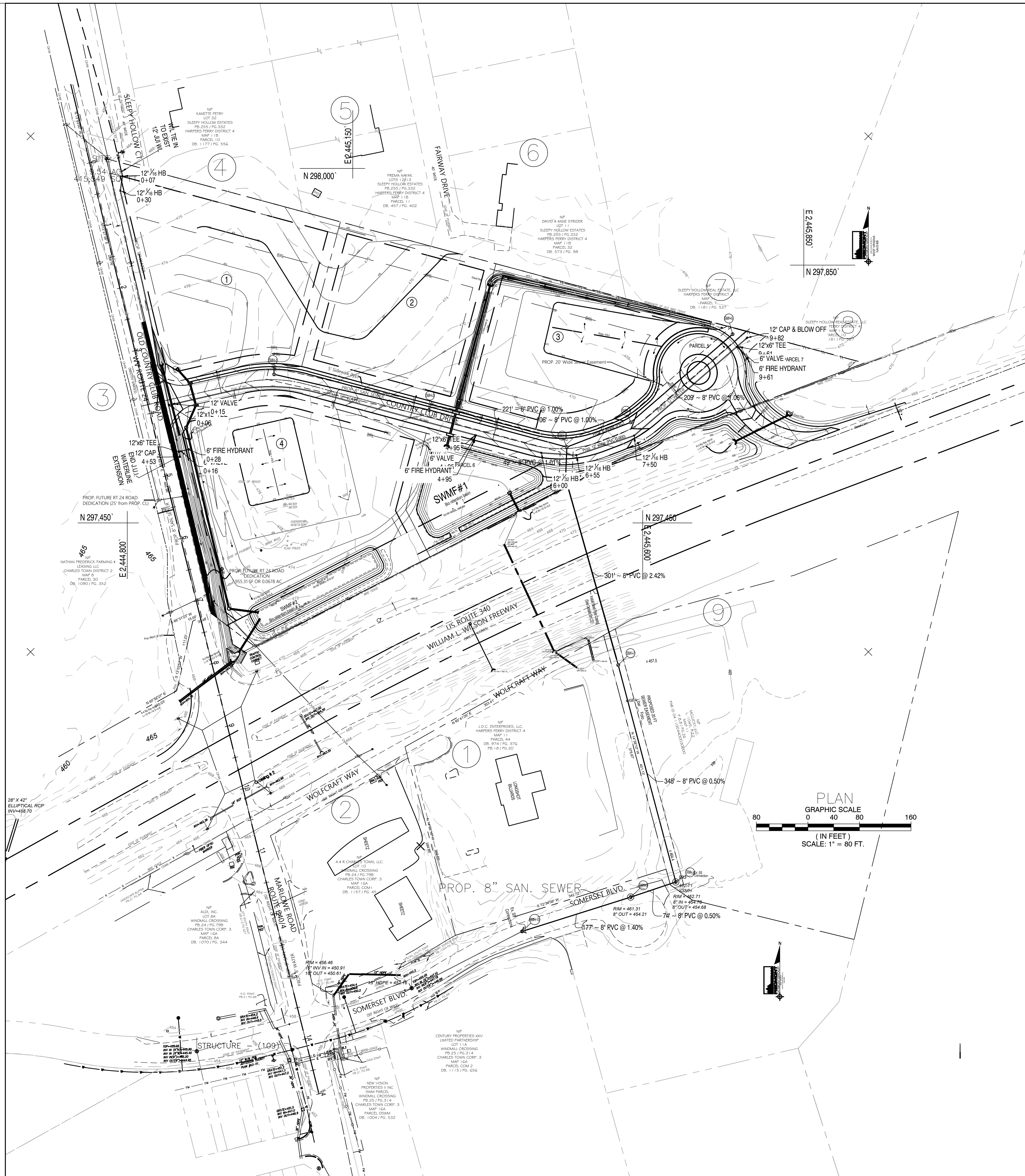
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SHEET

16

DATE: DEC 19, 2021

Plotted: Dec 29, 2021 at 1:25pm
S:\DWG\PLEASANTS WV COMMERCIAL SITE ENGINEERING Preliminary Plan\17-21 WATER & SEWER.dwg



STRUCTURE TABLE						
STRUCTURE	TYPE	TOP ELEVATION	PIPE IN	INVERT IN	PIPE OUT	INVERT OUT
SMH-5	Manhole	476.00			8" PVC	469.00
SMH-4	Manhole	474.94	8" PVC	466.79	8" PVC	466.69
SMH-1	Manhole	474.44			8" PVC	467.44
SMH-3	Manhole	472.93	8" PVC	462.66 465.63	8" PVC	462.56
SMH-2	Manhole	470.65	8" PVC	464.97	8" PVC	464.87
SMH-6	Manhole	468.00	8" PVC	462.07	8" PVC	461.97
Ex MH 4	Manhole	462.71			8" PVC	454.68
REVMH-4 (SMH-8)	Manhole	462.71	8" PVC	451.45	8" PVC	451.35
Ex MH 3	Manhole	461.31	8" PVC	454.32	8" PVC	454.21
REVMH-3 (SMH-9)	Manhole	461.31	8" PVC	450.98	8" PVC	450.88
SMH-7	Manhole	459.20	8" PVC	454.70	8" PVC	453.20
REVMH-2 (SMH-10)	Manhole	457.04	8" PVC	448.40	8"	448.30
Exist MH 2	Manhole	456.93	8" PVC	448.40	8" PVC	448.30
Exist MH 1	Manhole	454.93	8" PVC	446.80	8"	446.69

REF. #	OWNER	ADDRESS	TAX DIST.	MAP	PARCEL	ZONING	DEED BOOK/PAGE
1.	J.D.C. Enterprises, LLC	P.O. Box 812, Charles Town, WV 25414	4	11	44.2	RLIC	974/376
2.	A & R Charles Town, LLC	7237 Preservation Ct. Fulton, MD 20759	3	16A	COMI	IT	1157/45
3.	Nathan Frederick Farming & Leasing	198 Thomas Johnson Dr. #207 Frederick, MD 21702	2	8	30	RG	1090/352
4.	Kanette Petry	100 Sleepy Hollow Ct., Charles Town, WV 25414	4	11B	10	RG	1177/556
5.	Prema Nayak	13 Fairway Dr. Charles Town, WV 25414	4	11B	11	RG	457/402
6.	David & Anne Strider	4 Fairway Dr. Charles Town, WV 25414	4	11B	32	RG	573/98
7.	Sleepy Hollow Real Estate, LLC	117 W. Patrick St., Frederick, MD 21702	4	11	7	RG	1181/527
8.	Sleepy Hollow Real Estate, LLC	117 W. Patrick St., Frederick, MD 21702	4	11	10	RLIC	1181/527
9.	McLucky, LLC	18 Rhodes Ct. Harpers Ferry, WV 25425	4	11	44.3	RLIC	1045/722

* Abbreviations : RLIC – Residential/Light Industrial/Commercial; RG – Residential Growth; IT – Incorporated Town

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W & S Overall Plan
Country Club Commons
Harpers Ferry District
Jefferson County, WV

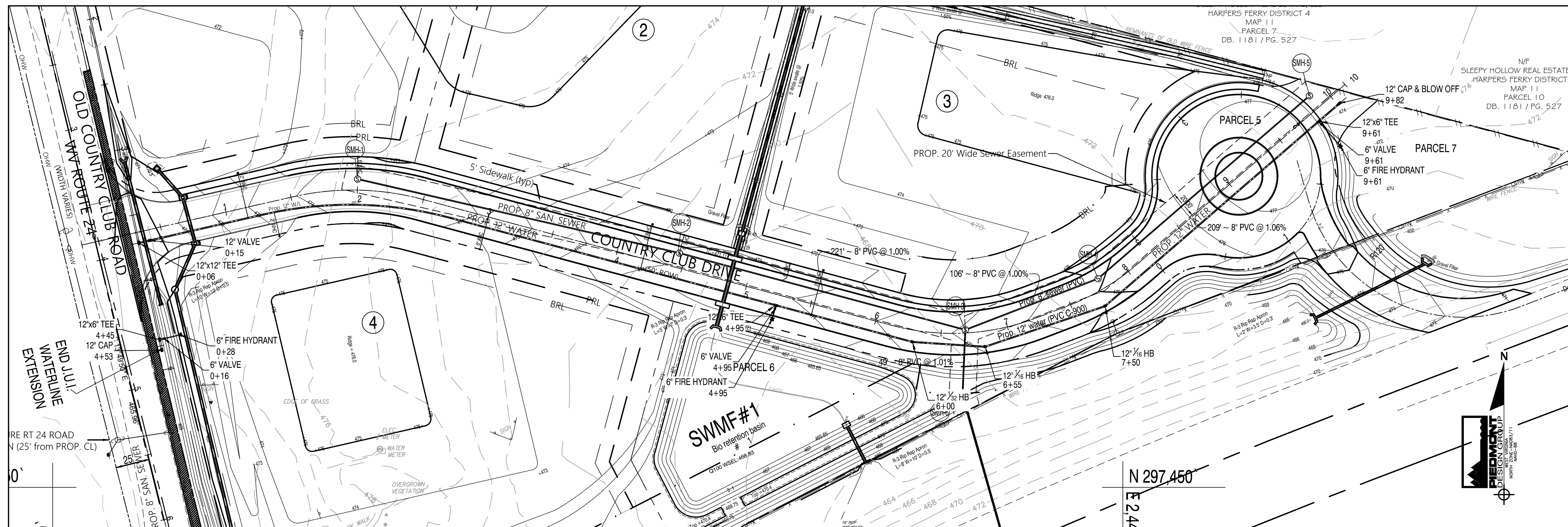
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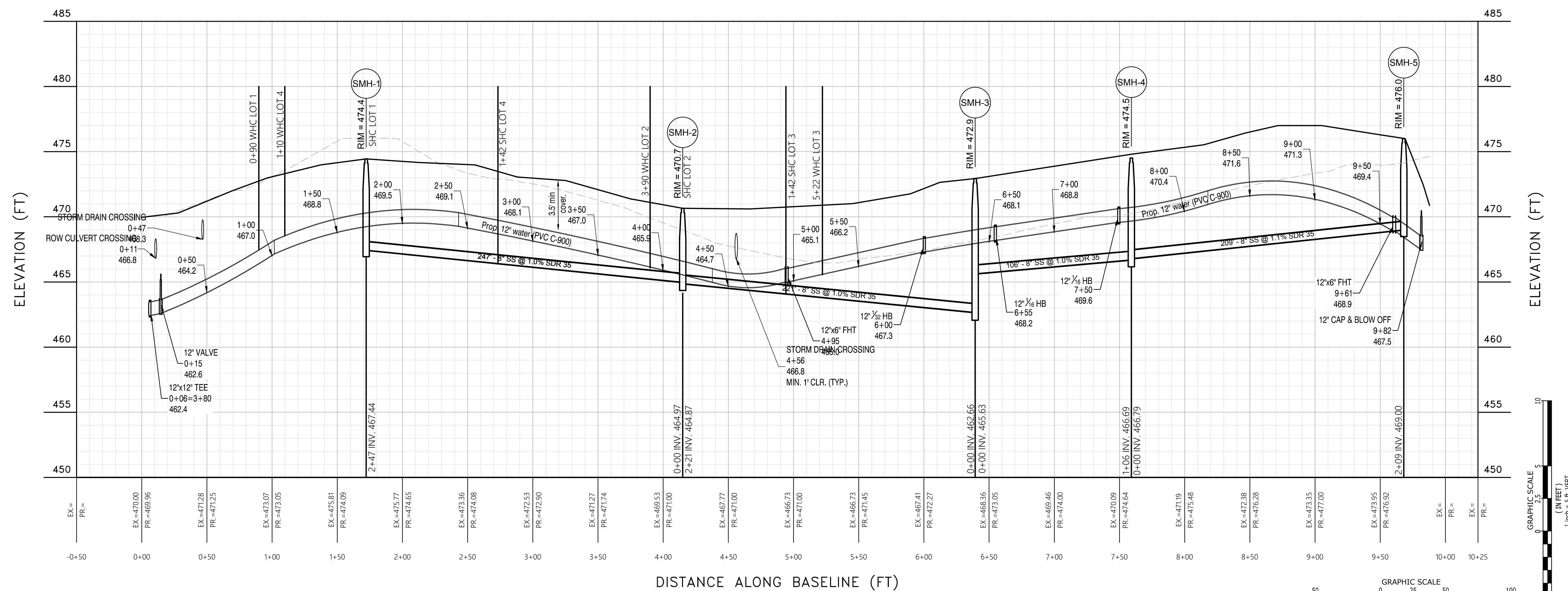
17



Country Club Drive

Plan View

Scale : 1" = 50'



COUNTRY CLUB DRIVE

W & S Plan

Country Club Commons

Harpers Ferry District
Jefferson County, WV

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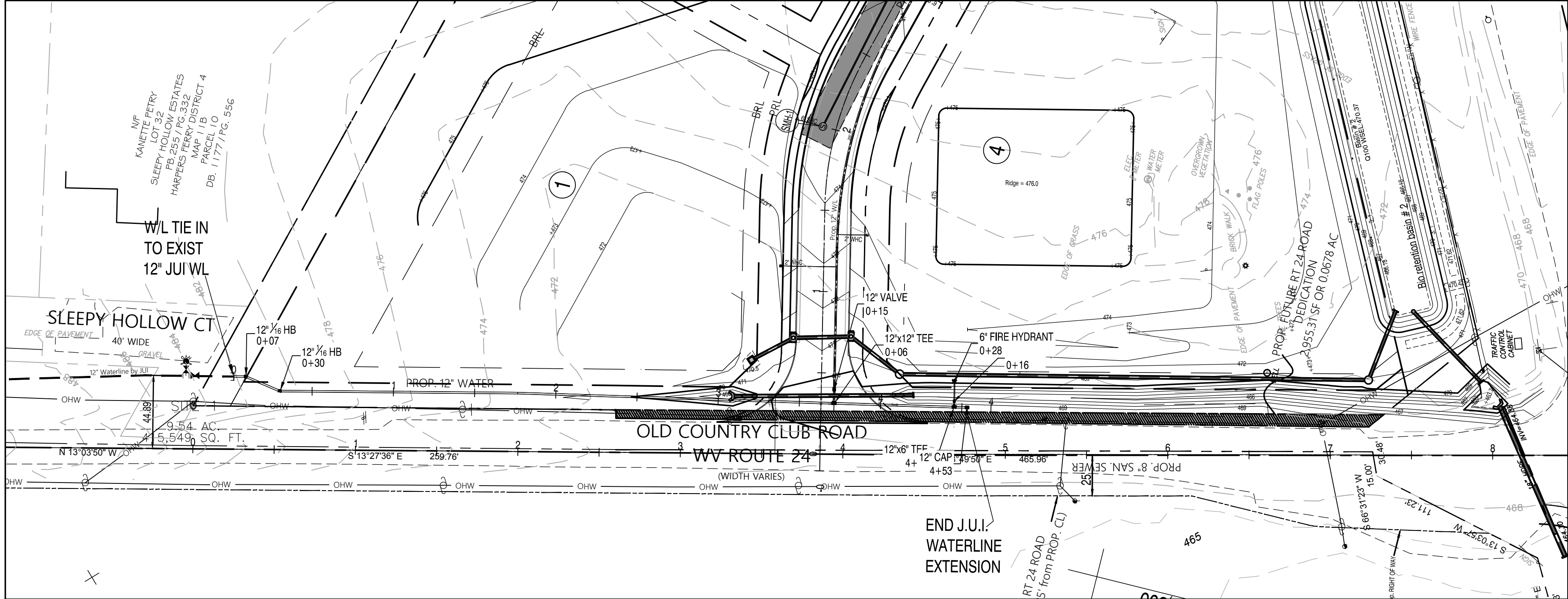
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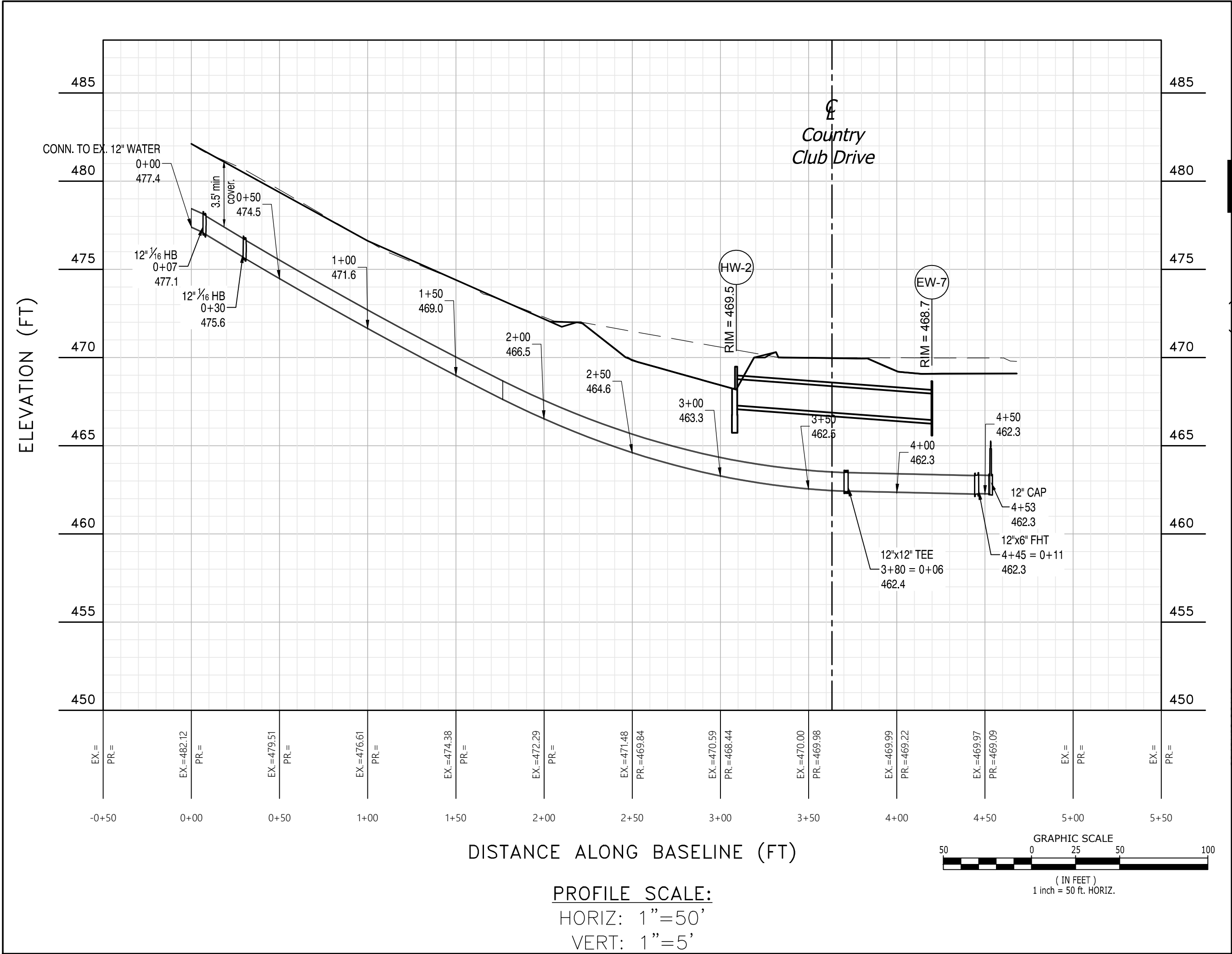


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12" Waterline fronting Rt. 24 Plan View

Scale : 1" = 50'



OLD COUNTRY CLUB RD.

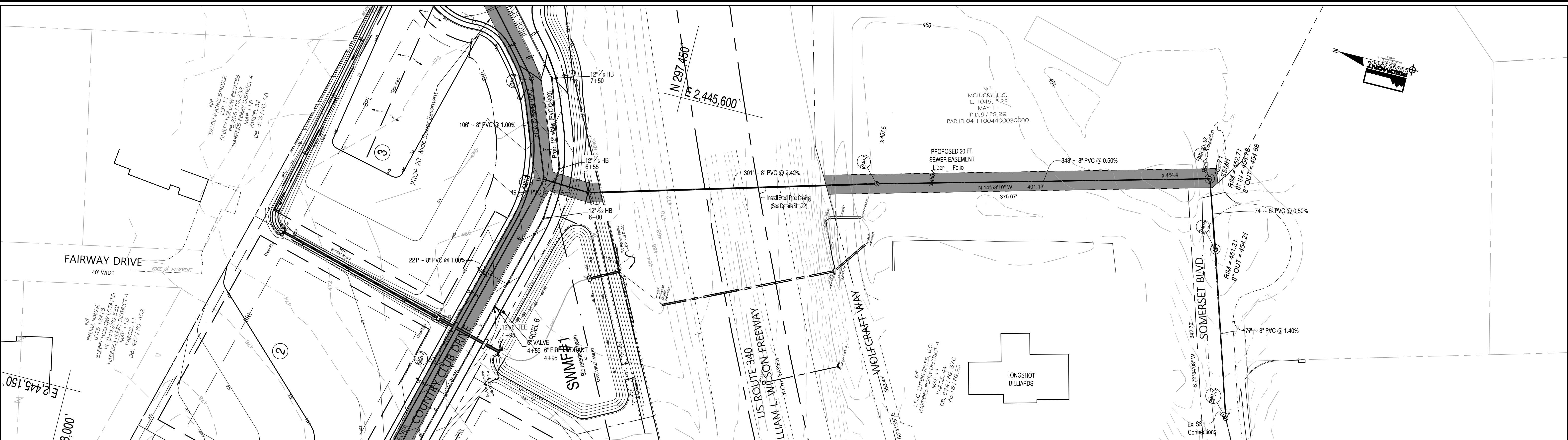
Waterline Plan & Profile
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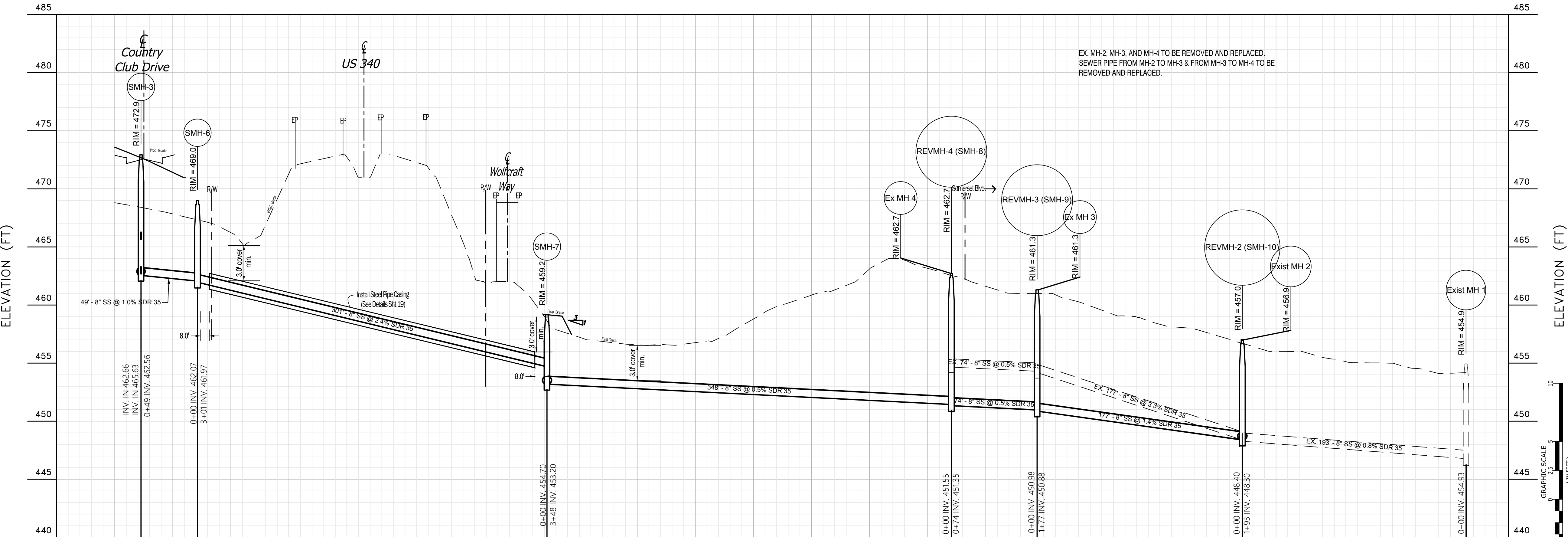
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CHECK: APPROVED
SHEET

19



Sewer Outfall to Somerset Blvd. - Plan View

Scale : 1" = 50'



Sewer Outfall to Somerset Blvd. - Profile View

DISTANCE ALONG BASELINE (FT)

PROFILE SCALE:
HORIZ: 1"=50'
VERT: 1"=5'

REVISIONS		

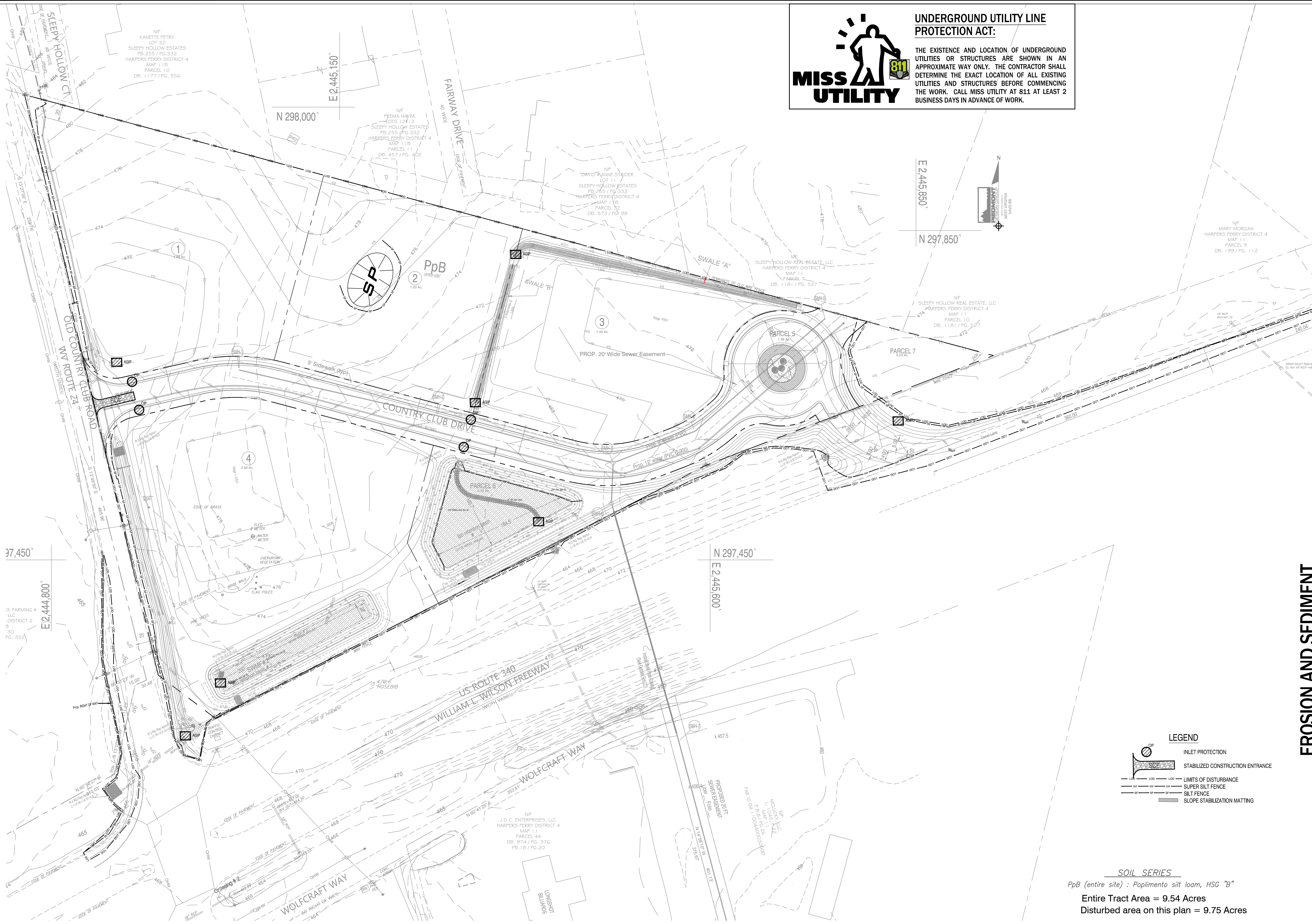
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SEAL		
SCALE: AS SHOWN		
DESIGN: POL	CHECK:	APPROVED
SHEET		
20		
DATE: DEC 20, 2021		



UNDERGROUND UTILITY LINE PROTECTION ACT:

THE EXISTENCE AND LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES AND STRUCTURES BEFORE COMMENCING THE WORK. CALL MISS UTILITY AT 811 AT LEAST 2 BUSINESS DAYS IN ADVANCE OF WORK.



- LEGEND**
- INLET PROTECTION
 - STABILIZED CONSTRUCTION ENTRANCE
 - LIMITS OF DISTURBANCE
 - SUPER SILT FENCE
 - SILT FENCE
 - SLOPE STABILIZATION MATTING

SOIL SERIES

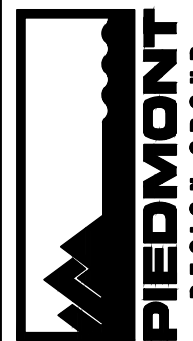
PpB (entire site) : Poplimento silt loam, HSG "B"

Entire Tract Area = 9.54 Acres
Disturbed area on this plan = 9.75 Acres

REVISIONS

NO.	DESCRIPTION	DATE

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EROSION AND SEDIMENT CONTROL PLAN

Country Club Commons

Harper's Ferry District
Jefferson County, WV

SEAL

SCALE: AS SHOWN

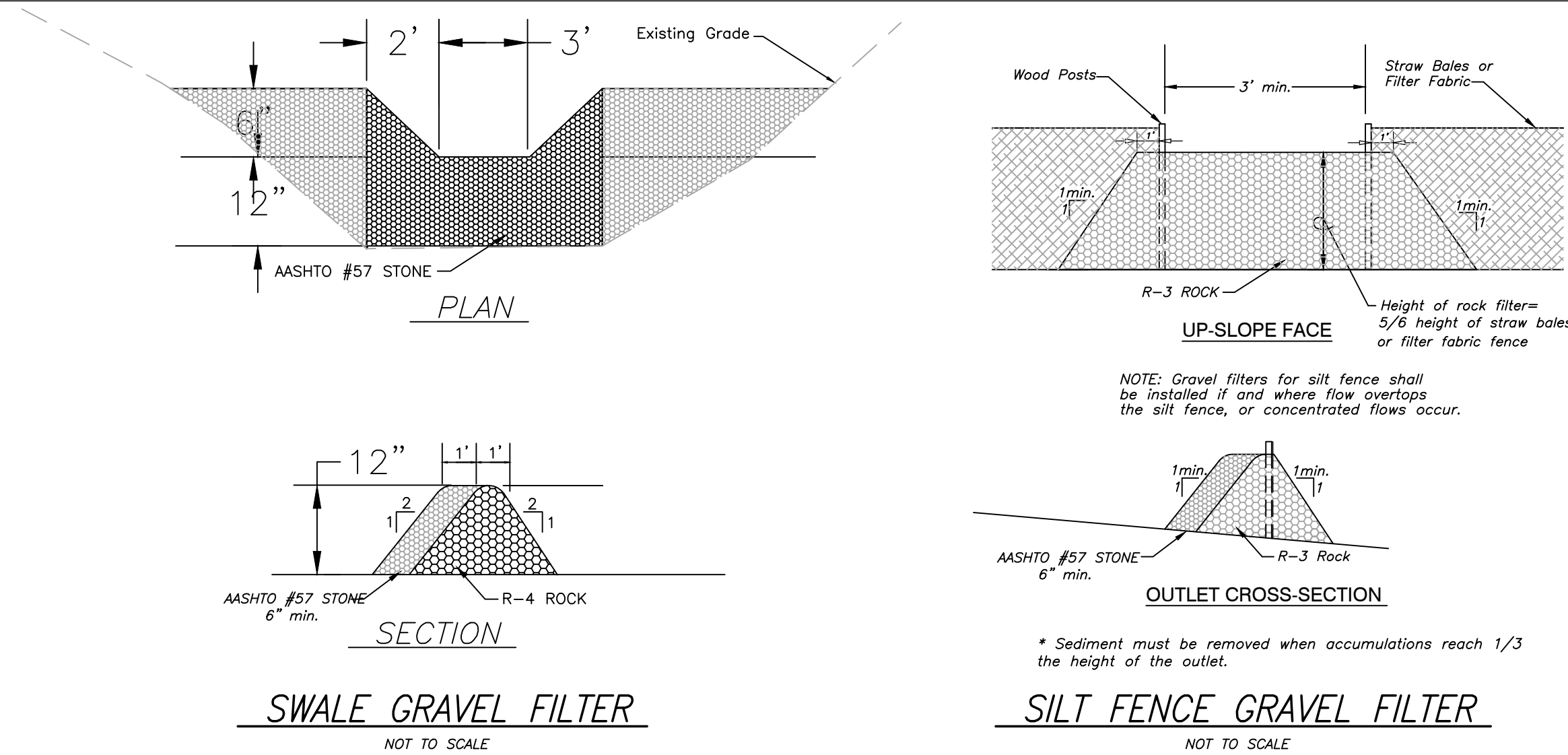
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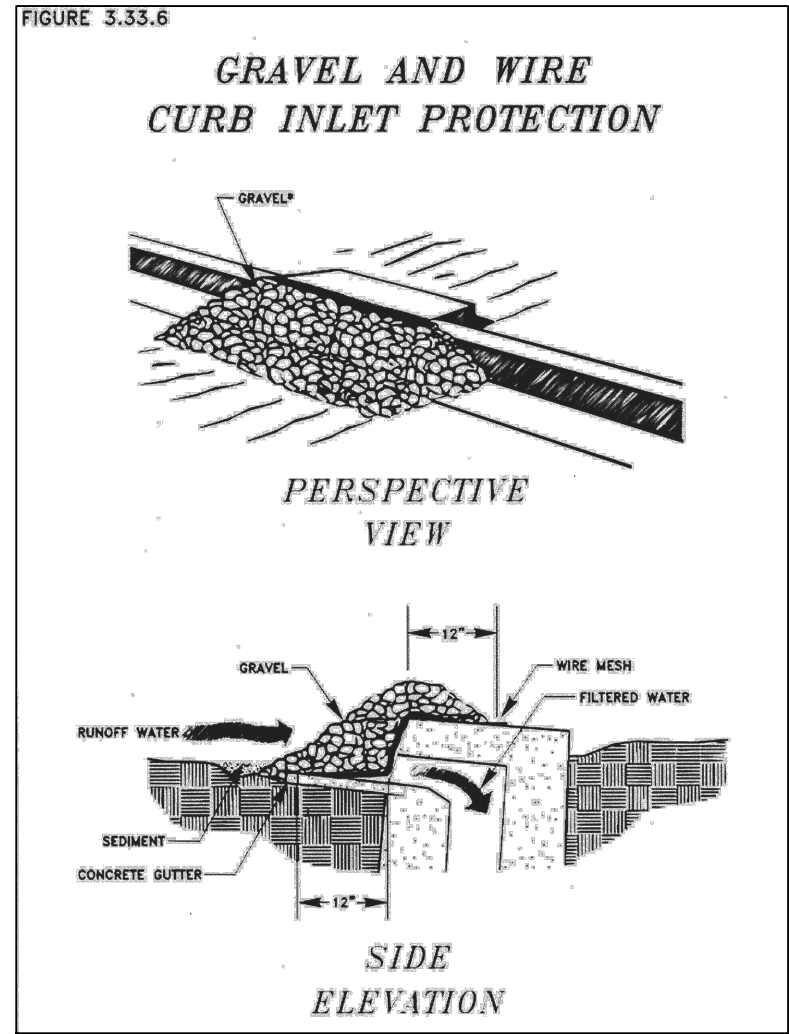
DATE: DEC 21, 2021

SEDIMENT AND EROSION CONTROL NOTES

1. ALL EROSION & SEDIMENT CONTROL MEASURES SHALL COMPLY WITH THE "WEST VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK" (WVEASCH) AND THESE PLANS, AS APPROVED BY THE DEPT. OF ENVIRON. PROTECTION.(DEP)
2. ALL DISTURBED AREAS TO BE SEEDED WITHIN 7 DAYS OF INITIAL GRADING. FOR TEMPORARY SEEDING SPECIFICATIONS, SEE SECTION 3 OF THE WVEASCH.
3. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO THE INITIATION OF EXCAVATION & GRADING.
4. ALL STORM DRAIN AND SANITARY SEWER LINES NOT IN PAVED AREAS ARE TO BE SEEDED AND MULCHED WITHIN 7 DAYS OF INITIAL BACKFILL.
5. ELECTRIC POWER, TELEPHONE AND GAS LINES ARE TO BE SEEDED & MULCHED WITHIN 7 DAYS OF INITIAL BACKFILL.
6. ALL EARTH BERMS AND SEDIMENT DAMS ARE TO BE MULCHED AND SEEDED WITHIN 7 DAYS AFTER FINAL GRADING. ALL SOIL STOCKPILES ARE TO BE SEEDED & MULCHED WITHIN 7 DAYS.
7. ALL EARTH BERMS AND SEDIMENT CONTROL STRUCTURES WILL BE INSPECTED AFTER EACH RAINFALL AND REPAIRED AS NECESSARY. SEDIMENT TO BE REMOVED TO A SUITABLE DISPOSAL AREA AND STABILIZED WITH PERMANENT VEGETATIVE COVER.
8. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL SEDIMENT & EROSION CONTROL MEASURES UNTIL DISTURBED AREAS ARE STABILIZED AND THE PROJECT IS COMPLETE.
9. AFTER FINE GRADING, ALL DISTURBED AREAS ARE TO BE PERMANENTLY MULCHED AND SEEDED.
10. NO FINAL EARTHEN SLOPE SHALL BE GREATER THAN 2:1.
11. FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN 7 CALENDAR DAYS FOR ALL PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES GREATER THAN 3:1 SLOPE. PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN 7 DAYS FOR ALL OTHER DISTURBED AREAS OF THE PROJECT SITE. MAINTENANCE SHALL BE PERFORMED ON A CONTINUAL BASIS IN ACCORDANCE WITH THE WEST VIRGINIA EROSION & SEDIMENT CONTROL HANDBOOK.
12. UTILITY CONSTRUCTION NOT IN RIGHT OF WAYS SHALL CONFORM TO THE FOLLOWING:
- a) TRENCHING SHALL PROCEED UPHILL, AS MUCH AS POSSIBLE.
- b) OPEN TRENCHES SHALL BE LIMITED TO 200 LF.
- c) NO TRENCH SHALL BE LEFT OPEN OVER NIGHT.
- d) STABILIZE DISTURBED TRENCH AREA EACH WEEK.
- e) EXCAVATED MATERIALS SHALL BE PLACED ON THE UP HILL SIDE OF THE TRENCH.
- f) WASTE EXCAVATED MATERIALS SHALL BE IN COMPLIANCE WITH THESE S&E REQUIREMENTS.
- g) DE-WATER ANY TRENCH USING A BMP TO PREVENT SILT FROM REACHING THE STREAMS. PERMANENT SEEDING & SODDING NOTES (GENERAL):
1. SCOPE: PLANTING PERMANENT, LONG-LIVED VEGETATIVE COVER ON GRADED OR CLEARED AREAS.
2. STANDARDS: PERMANENT SEEDING SHALL CONFORM TO ALL REQUIREMENTS OF THE "WEST VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK". SPECIFICATIONS:
- A) SITE PREPARATION:
1. PRIOR TO SEEDING INSTALL ALL REQUIRED SEDIMENT AND EROSION CONTROL MEASURES.
- B) FINE GRADING REQUIRED FOR PERMANENT SEEDING.
2. SOIL AMENDMENTS:
- A) IN LIEU OF TESTING, FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 LBS./ACRE USING 10-20-10 OR EQUIVALENT.
- B) APPLY LIME ACCORDING TO A SOIL TEST TO CORRECT THE pH TO 5.5-6.0. IF A SOIL TEST CANNOT BE ANALYZED BEFORE LIME MUST BE APPLIED, APPLY 3 TONS PER ACRE.
3. SEEDBED PREPARATION:
- A) SOIL SHALL BE LOOSENED TO A DEPTH OF 4-6 INCHES BY RAKING, DISKING, OR OTHER ACCEPTABLE METHOD, PRIOR TO SEEDING. APPLY LIME AND FERTILIZER PRIOR TO FINAL TILLAGE.
- B) APPLY SEED UNIFORMLY WITH A CYCLONE SEEDER DRILL, CULTIPACKER SEEDER OR HYDRO-SEEDER (SLURRY INCLUDES SEED AND FERTILIZER ON A FIRM MOIST SEEDBED). MAXIMUM SEEDING DEPTH SHALL BE 1/4 INCH ON CLAYEY SOILS AND 3/8 INCH ON SANDY SOILS, WHEN USING OTHER THAN HYDRO-SEEDER METHOD OF APPLICATION. NOTE: IF HYDRO-SEEDING IS USED AND THE SEED AND FERTILIZER IS MIXED, THEY WILL BE MIXED ON SITE AND THE SEEDING SHALL BE IMMEDIATE WITHOUT INTERRUPTION. TEMPORARY SEEDING NOTES (GENERAL):
1. SCOPE: PLANTING SHORT-TERM VEGETATION TO STABILIZE, CLEARED OR GRADED AREAS SUBJECT TO EROSION FOR A PERIOD OF 7 DAYS OR MORE.
2. STANDARDS: TEMPORARY SEEDING SHALL CONFORM TO ALL REQUIREMENTS OF THE "WEST VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK".
3. SEDIMENT AND EROSION CONTROL: ALL PERIMETER CONTROLS MUST BE STABILIZED IN 7 DAYS. ALL INTERIOR CONTROLS MUST BE STABILIZED IN 7 DAYS. SPECIFICATIONS:
1. SITE PREPARATION:
- A) PRIOR TO SEEDING INSTALL ALL REQUIRED SEDIMENT AND EROSION CONTROL MEASURES.
- B) FINAL GRADING IS NOT REQUIRED FOR TEMPORARY SEEDING.
2. SOIL AMENDMENTS:
- A) FERTILIZER SHALL BE APPLIED AT THE RATE OF 400LBS./ACRE USING 10-10-10 FERTILIZER, OR EQUAL.
- B) ACID SOILS SHALL BE LIMED.
3. SEEDBED PREPARATION:
- A) SOIL SHALL BE LOOSENED TO A DEPTH OF 3 INCHES BY RAKING, DISKING, OR OTHER ACCEPTABLE METHOD, PRIOR TO SEEDING.
4. SEEDING:
- A) SELECT THE PROPER TYPE OF SEED FROM THE TABLE ON PAGE 3.5 OF THE "WEST VIRGINIA EROSION & SEDIMENT CONTROL HANDBOOK".
- B) APPLY SEED UNIFORMLY WITH A CYCLONE SEEDER, DRILL, CULTI-PACKER, HYDRO-SEEDER, OR BROADCAST SEEDER.
5. MULCHING:
- A) MULCHING SHALL BE APPLIED IMMEDIATELY AFTER SEEDING WITH 2 TONS OF STRAW OR WEED-FREE HAY PER ACRE. APPLICATION SHALL CONFORM TO THE SPECIFICATIONS OF THE "WEST VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK".
- B) MULCHING MAY BE USED ALONE TO PROTECT AREAS FOR LESS THAN THREE WEEKS OR WINTER PROTECTION OF AREAS EXPOSED BETWEEN NOVEMBER 1 AND MARCH 1. THE MULCH RATE SHALL BE 3 TONS PER ACRE OF STRAW OR HAY. SHOULD THE SITE REQUIRE OFF-SITE BORROW OR WASTE, THE ABOVE MEASURES WILL APPLY AND ALL SUCH OPERATIONS WILL BE SUBJECT TO N.P.D.E.S. PERMIT REQUIREMENTS.



NOTE: EROSION & SEDIMENT CONTROL DEVICES SHOWN ARE FOR CONSTRUCTION OF COUNTRY CLUB COMMONS. ALL DEVICES SHOWN SHALL BE MAINTAINED UNTIL THE JEFFERSON COUNTY ENGINEER INDICATES THAT THEY ARE NO LONGER REQUIRED.



Construction Sequence

All disturbance activities shall proceed in accordance with the following staging of earthmoving activities. Each stage shall be completed before a subsequent stage is initiated. At least 3 days before starting any earth disturbance activities, all contractors involved in those activities SHALL NOTIFY the Miss Utility 811 to locate buried utilities. NOTE: All earth disturbance activities shall proceed in accordance with the following construction sequence. Each stage shall be completed before construction on the next stage begins.

STAGE 1— Schedule a pre-construction meeting with the County Engineer at (304) 728-3257 at least 48 hours before construction. Install the Stabilized Construction entrances. Construct the entire entrance areas. Install & compact the subbase with roller IMMEDIATELY (the SAME DAY) as the construction of the driveway takes place. Install silt fence below the areas of construction as shown on the plan. Notify the Sediment Control Inspector for the inspection of perimeter E & S controls prior to the initiation of site grading.

STAGE 2 — Strip the site and stockpile topsoil. This includes the removal of topsoil in order to re-apply it in the final stage to achieve proposed grades as shown on the plan. Install swale between proposed Lots 2 and 3 and associated inlets and culvert pipe as soon as is practicable. Rough grade the site as required. Install structures 1-6, 1-7, & 1-8, and temporary outfall from 1-6. Moss grade the road.

STAGE 3 — Install the water, san, sewer, and storm drainage system with all inlets, pipes, swales, (with erosion mat and seeding), headwalls, and rip rap aprons. Install inlet protection as soon as practicable. Grade street to subgrade. Install all curbing and base course stone and base course paving. Block both street inlets. Any erosion control device that needs to be removed for utility installation or other needs shall be reinstalled the same day.

STAGE 4 — Complete site final grading, and re-install topsoil as required. Seed and mulch (stabilize) all site disturbed areas.

STAGE 5 — After the road and all improvements are completed, install the SWM's where as shown on plan per details.

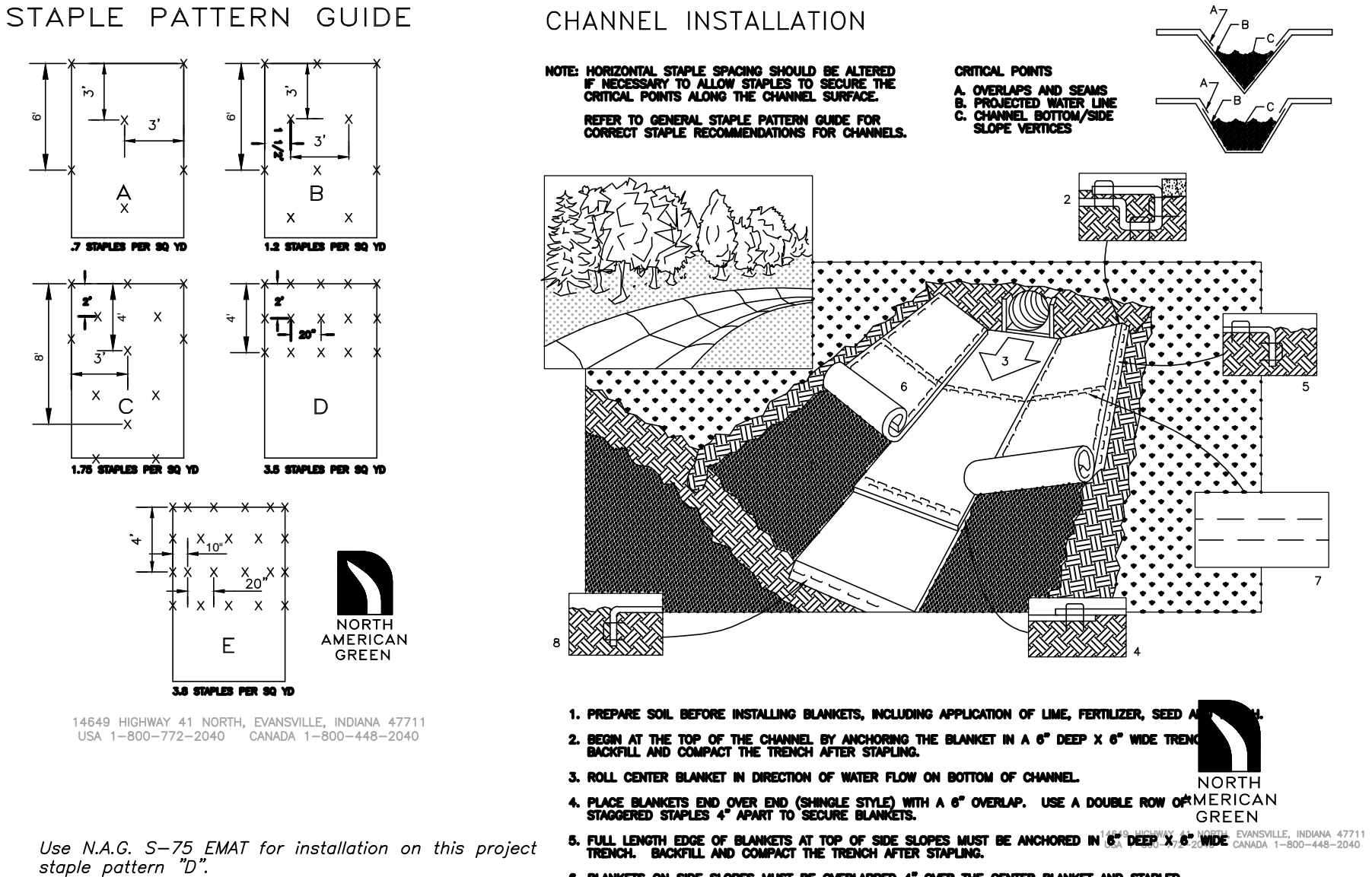
STAGE 6 — After a minimum uniform 70% of perennial vegetative cover stabilization is achieved, sediment controls are to be removed after the sediment control inspector has inspected the site and given his approval. For this project this includes the removal of any remaining silt fence, gravel filters or inlet blocking around any work areas where remaining on the site. Seed and mulch any remaining disturbed areas with permanent stabilization.

STOCKPILE/BORROW PIT PROTECTION

SILT FENCE WILL BE PLACED AT THE DOWNSLOPE SIDE OF STOCKPILE AREAS. THE BORROW AREA WILL BE PROTECTED BY DEVICES SHOWN HEREON. NO MUD WILL BE TRACKED OFFSITE BY CONSTRUCTION VEHICLES.

EROSION AND SEDIMENT CONTROL NOTES

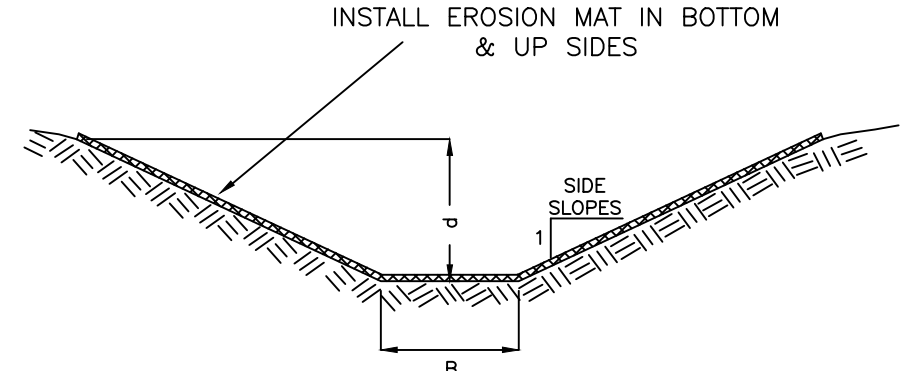
In order to keep erosion and sedimentation to a minimum, disturb as little earth as possible during all phases of construction. Ditches over 3% and any area subject to wash shall be lined per detail SD-45. COMPLETE BOND RELEASE WILL NOT BE GRANTED UNTIL GRASS GROWTH IS ADEQUATE TO CONTROL EROSION. Any area of exposed soil where no construction activity is anticipated for a period of longer than three weeks (21 days) shall be stabilized. All exposed areas to be covered within 1 week of final grading. Sod slopes of 3:1 or steeper with Kentucky Bluegrass. Seed with a mix of 35 lbs. of Kentucky 31 fescue and 15 lbs perennial Ryegrass per acre. Lime with 1 ton of ground limestone per acre. Fertilize with 1000 lbs of 10-10-10 per acre.



Use N.A.G. S-75 EMAT for installation on this project staple pattern "D".

EROSION MAT

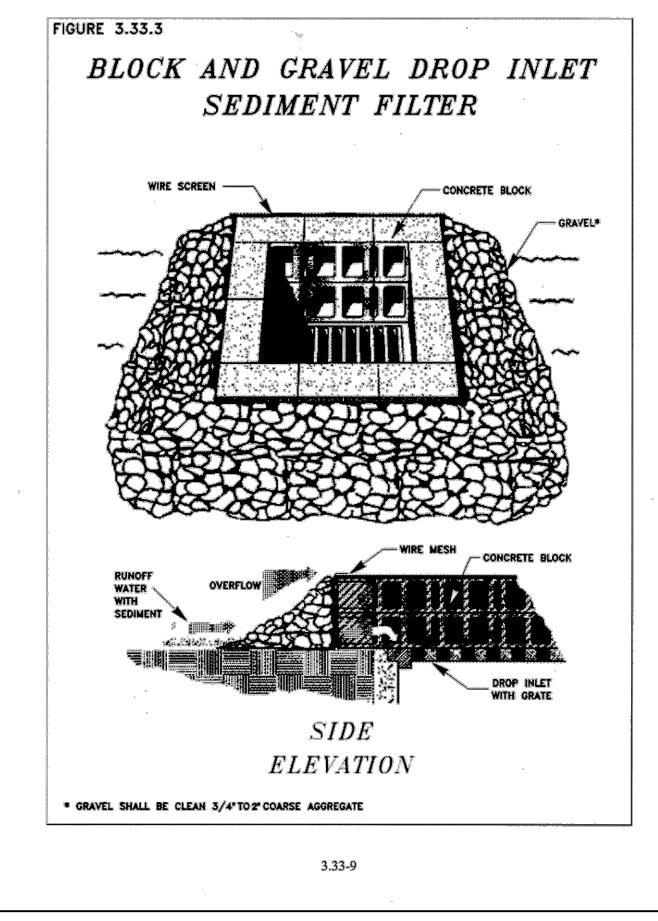
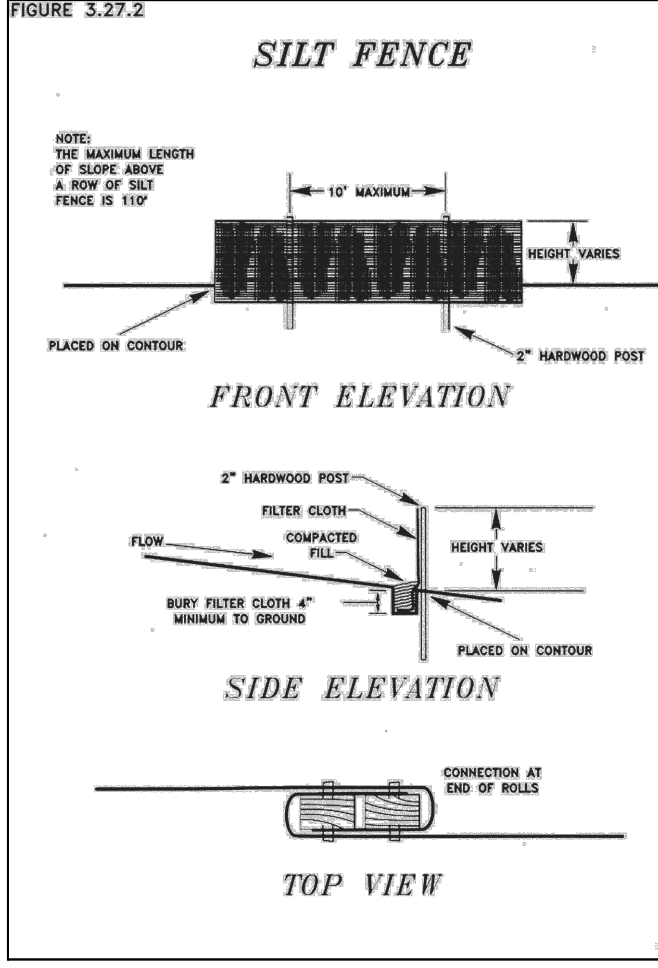
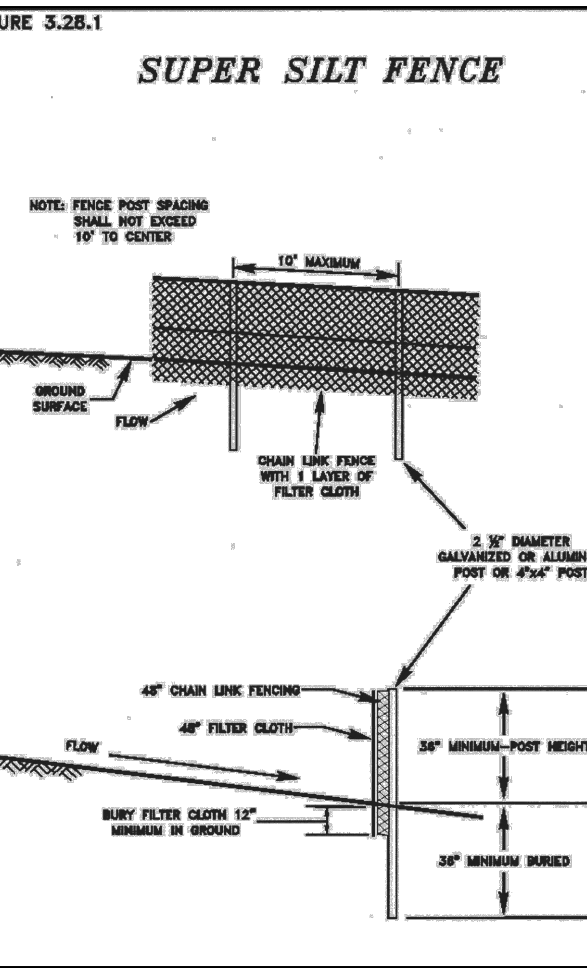
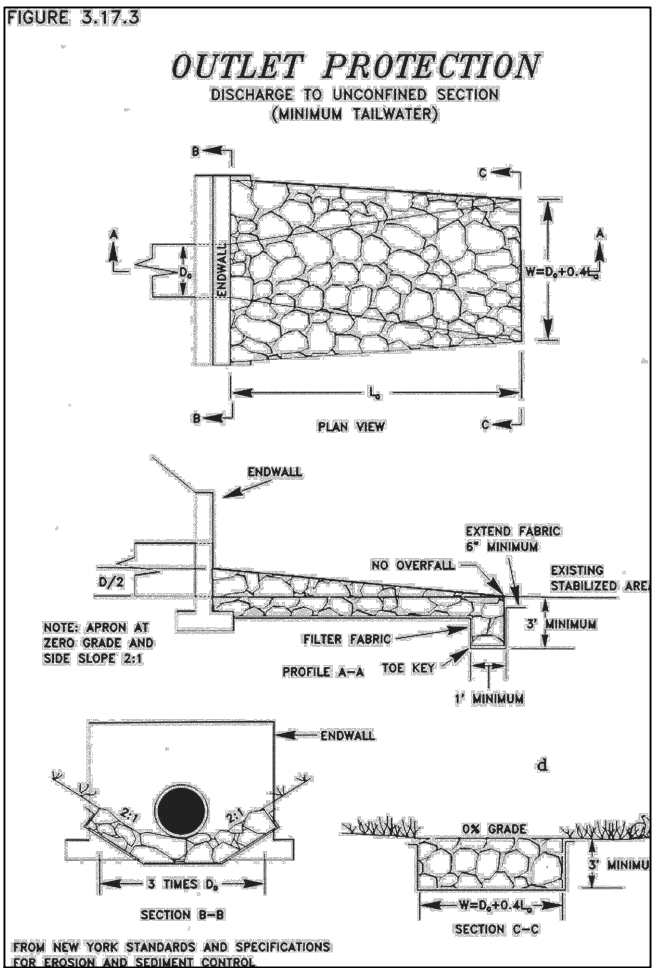
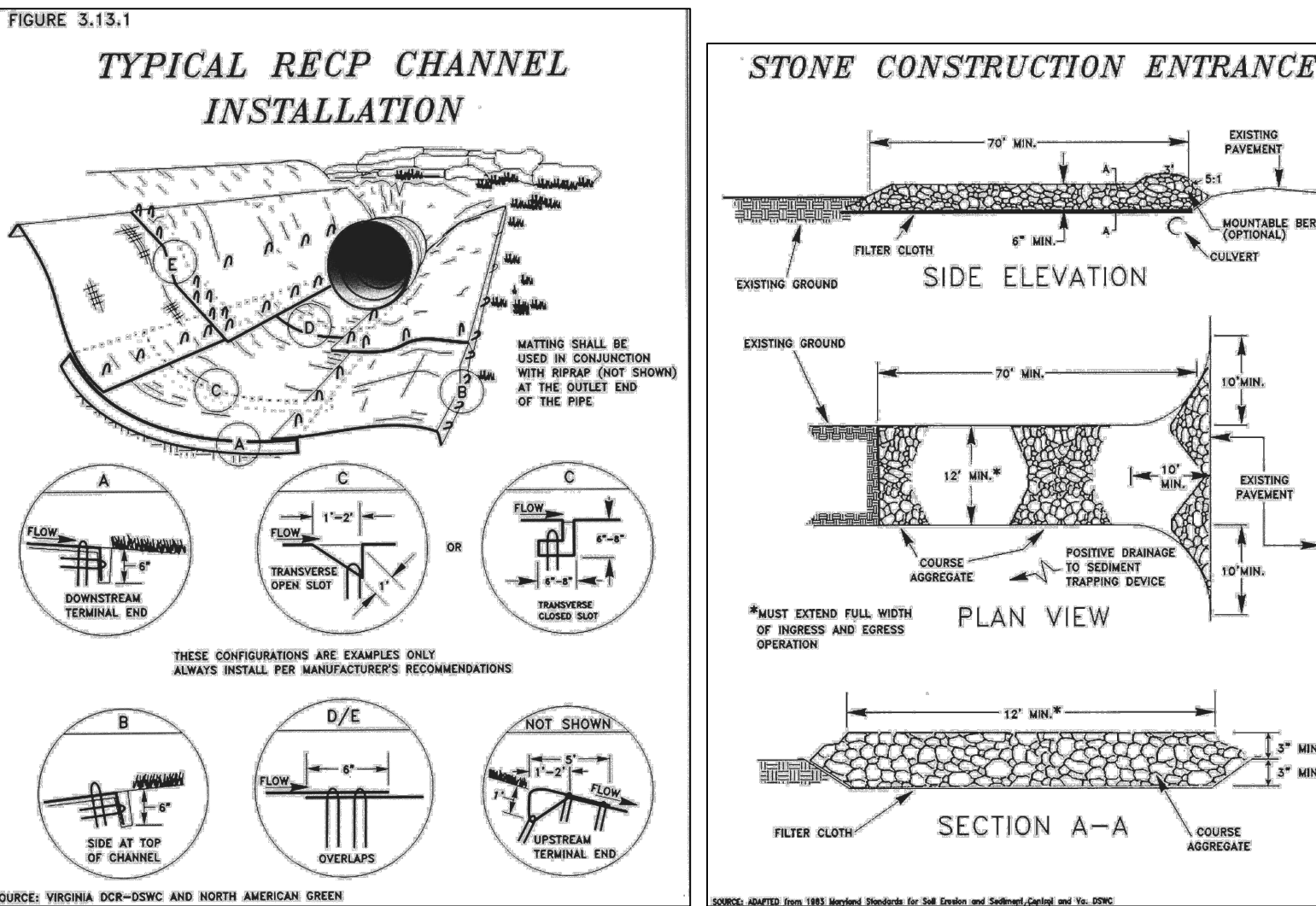
NOT TO SCALE



SWALE	DEPTH--(D)	SIDE SLOPES	BOTTOM WIDTH--(B)	CHANNEL LINING
A & B	1.0' min /as.	3:1	6'	North American Green C-125 Staple Pattern D

SWALE

NOT TO SCALE



MISS UTILITY 811

UNDERGROUND UTILITY LINE PROTECTION ACT:

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EROSION AND SEDIMENT

CONTROL DETAILS

Country Club Commons

Harper's Ferry District
Jefferson County, WV

SEAL

SCALE: AS SHOWN

DESIGN: PDL CHECK: APPROVED

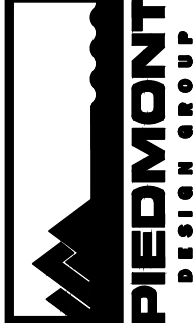
SHEET

24

DATE: DEC 21, 2021

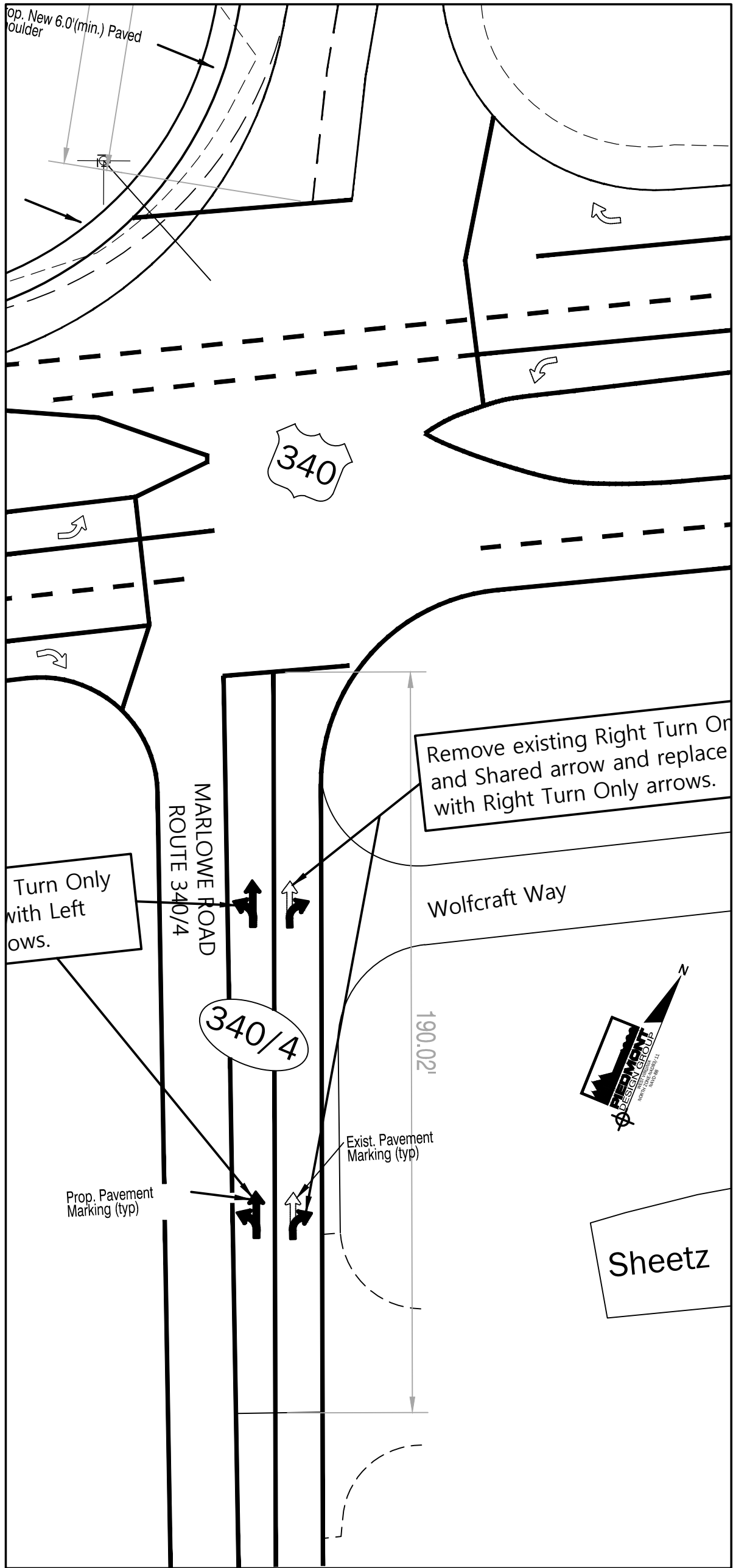
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(301) 885-8614

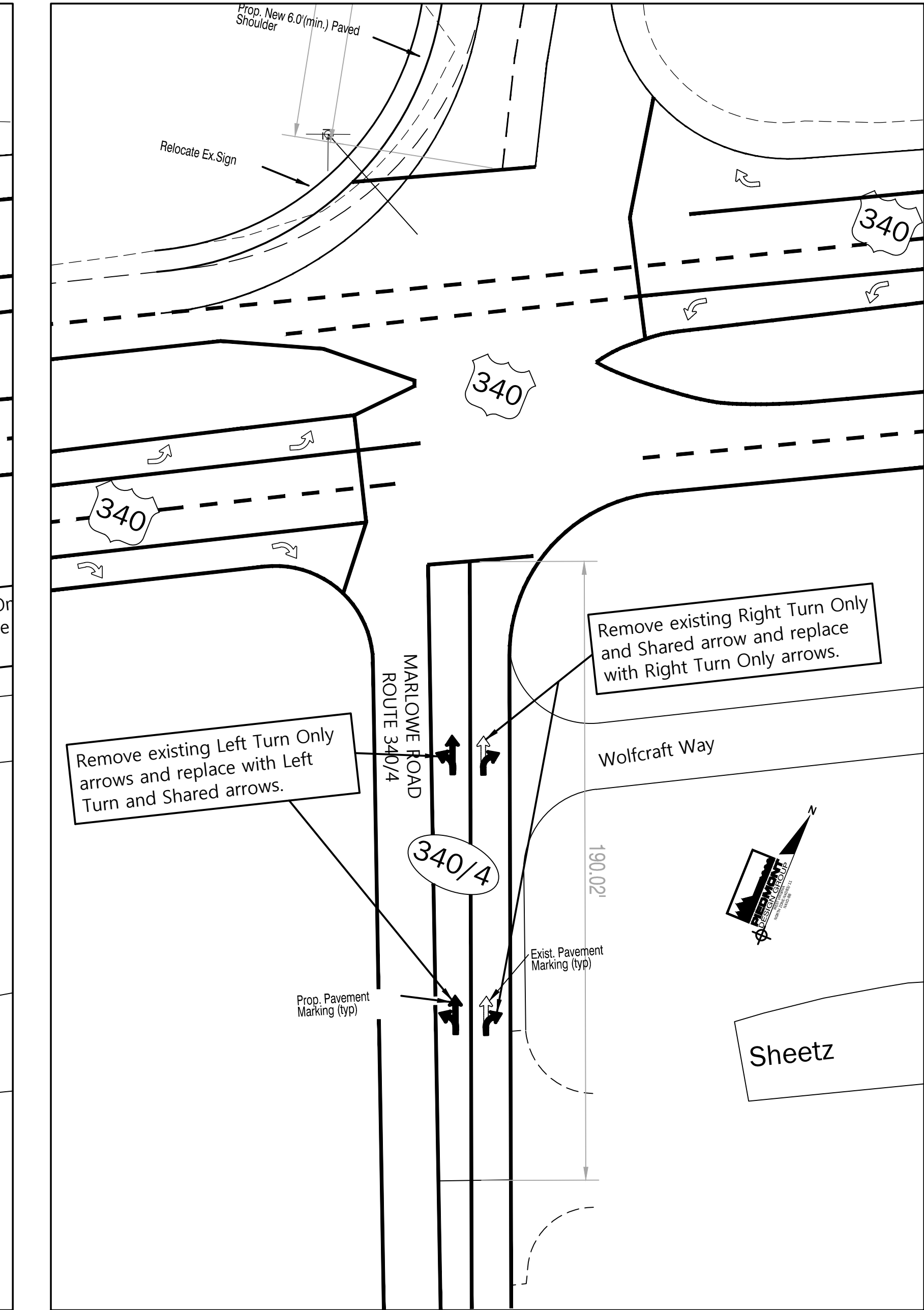


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FOR INFORMATIONAL PURPOSES ONLY. WILL BE
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HIGHWAYS.



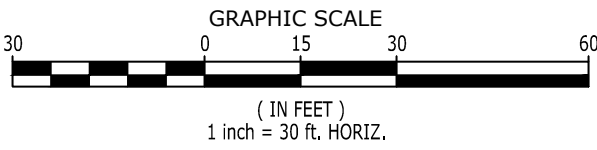
MARLOWE RD. EXISTING
SCALE : 1" = 30'



MARLOWE RD. PROPOSED
SCALE : 1" = 30'

NOTES

1. Striping and Markings shall be installed per the latest Manual on Uniform Traffic Control Devices (MUTCD) and WVDOH specifications.
2. Road marking modifications as per a report prepared by Neil C. Parrott, PE, PTOE, dated July 29, 2021.



REVISIONS

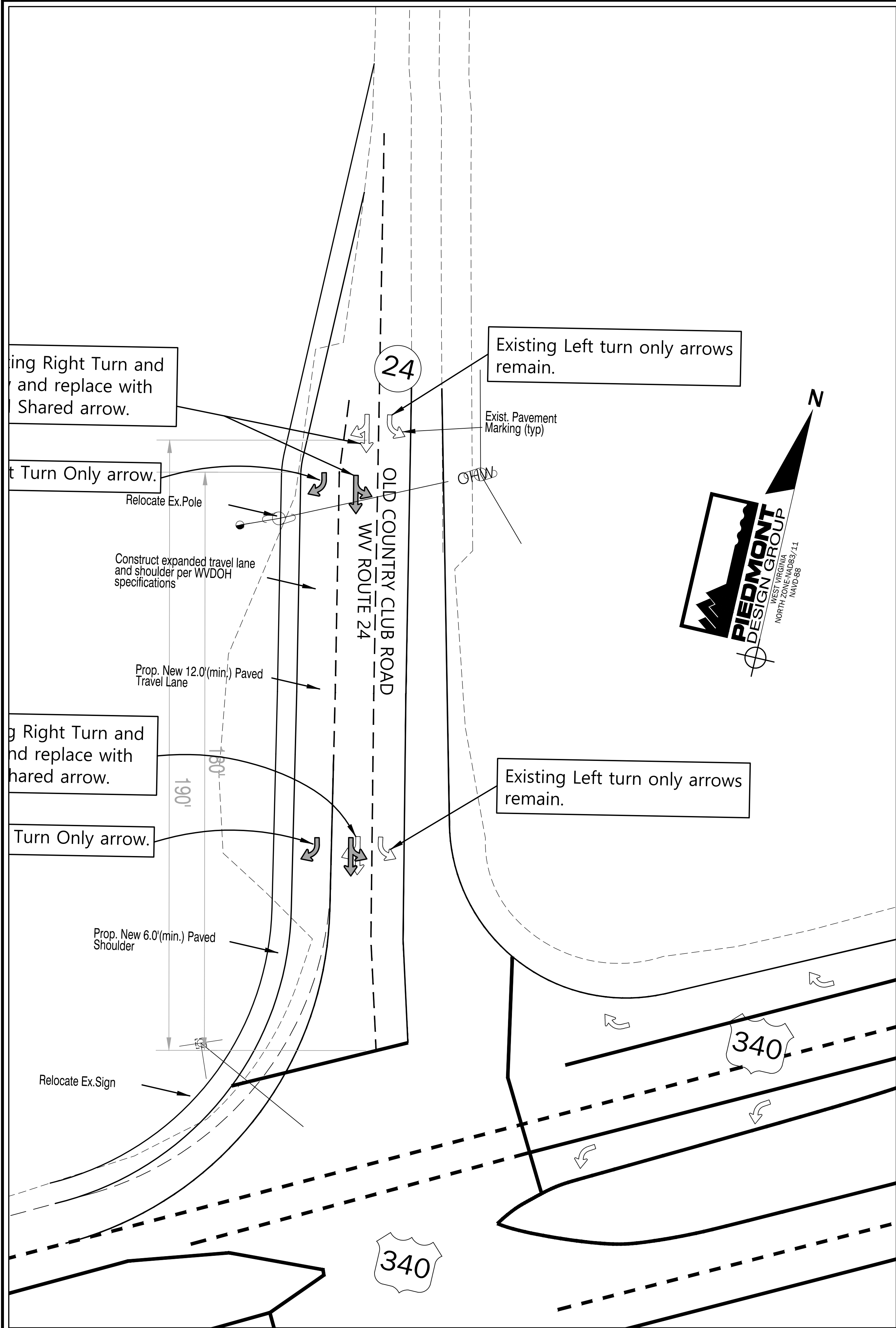
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Striping and Marking Plan
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Jefferson County, WV

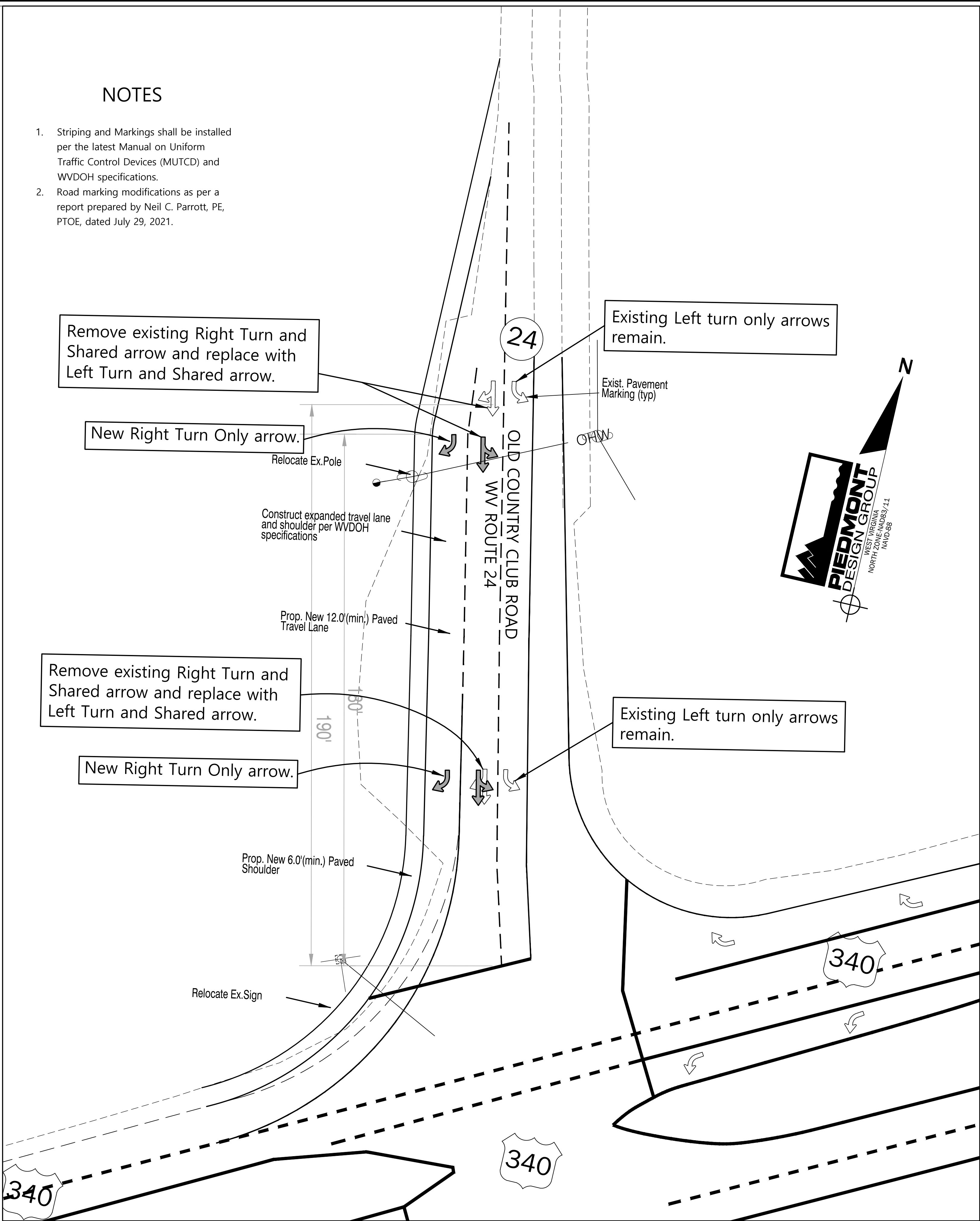
SEAL



OLD COUNTRY CLUB ROAD EXISTING

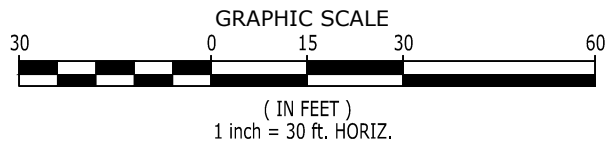
SCALE : 1" = 30'

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HIGHWAYS.



OLD COUNTRY CLUB ROAD PROPOSED

SCALE : 1" = 30'

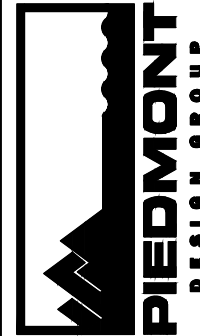


NOTES

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2. Road marking modifications as per a report prepared by Neil C. Parrott, PE, PTOE, dated July 29, 2021.

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Jefferson County, WV

SEAL

SCALE: AS SHOWN

DESIGN: PSA CHECK: APPROVED

SHEET

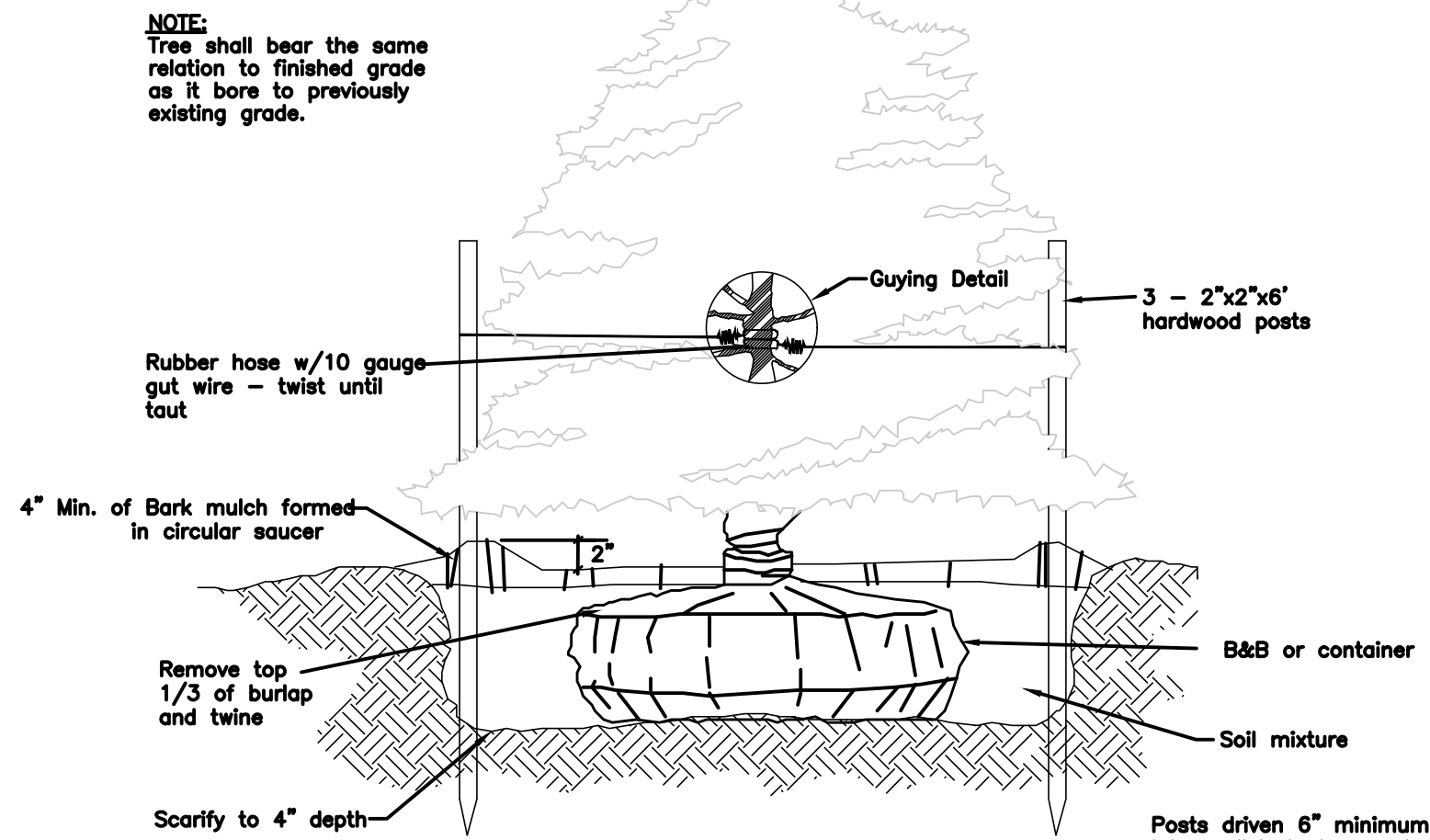
26

DATE: DEC 21, 2021

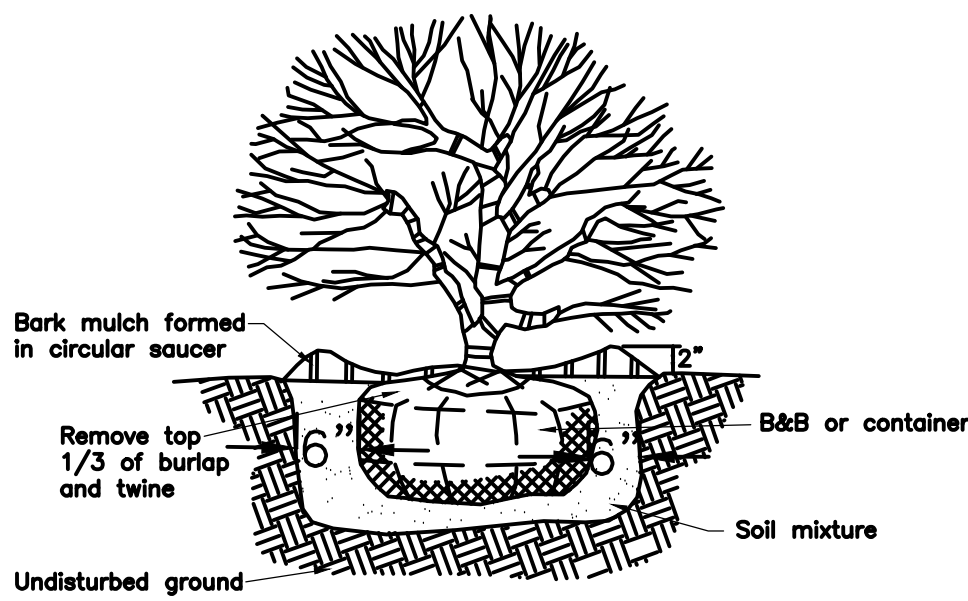
LANDSCAPE SCHEDULE

PC	QTY	SCIENTIFIC NAME	COMMON NAME	CALIPER	HEIGHT	ROOT/SPACING	COMMENTS
EVERGREEN TREES							
PA	3	Picea abies	Norway Spruce		6 to 7 ft *	B&B	FULL TO GROUND, MATCH
SHRUBS							
Ahc	5	Azalea 'Hino Crimson'	Hino Crimson Azalea	18-24"	#3 container		FULL TO GROUND, MATCH
EA	6	Euonymus alata "Compacta"	Dwarf Winged Euonymus	18-24"	#3 container		FILL AREAS AROUND TREES

(* 6 ft minimum height)



EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE

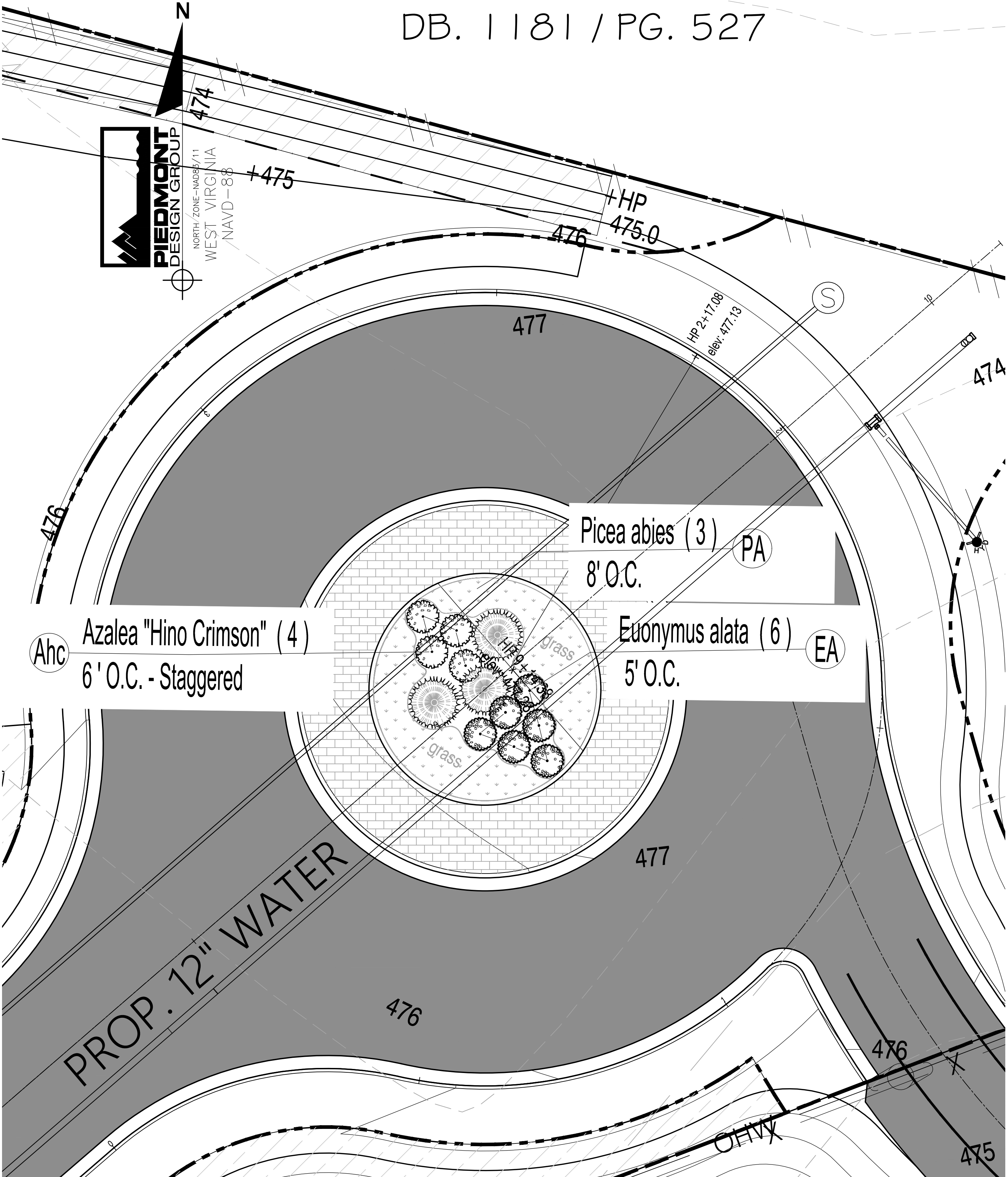


SHRUB PLANTING DETAIL
NOT TO SCALE

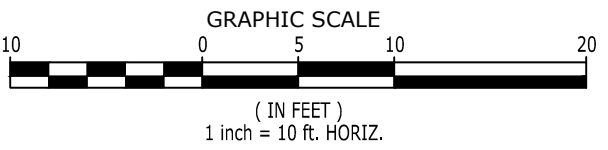
PLANTING NOTES

- All plants shall be of the size and root condition specified in the plant specification or plant list & shall be nursery grown & have dense foliage characteristic of each species. They shall meet all applicable standards of the American Association of Nurserymen.
- All plants shall be guaranteed by the Landscape Contractor for a period of One Year after acceptance. They shall be alive and in satisfactory growth condition at the end of the guarantee period.
- All deciduous trees shall be secured by an appropriate staking method as shown on the Tree Detail using double strand galvanized wire. Rubber hose method covering the tree trunk shall be used. Stakes shall be checked on a routine basis and repaired as required, and be removed after a period of Three Years from installation.
- All tree saucers shall be covered with a minimum of 3" layer of wood chip or shredded bark mulch. All Plants shall be fertilized with a quality balanced blend of shrub fertilizer (evergreen or deciduous) prior to mulching.
- All damaged lawn or paved areas resulting from planting installation shall be repaired to a condition to that existed prior to the disturbance
- Verification of plant quantities & types shall be the responsibility of the Planting Contractor. Quantities shall be as shown, except for groundcover materials which may vary.
- All plants have been located with respect to plan view proposed or existing utilities. However, the contractor shall verify the location and depth of all utilities prior to work. Any damage caused by the contractor during installation of plant materials shall be completely repaired at his expense.
- The Landscape Architect shall be notified of any relocation of plants made necessary by utilities or any other existing or proposed feature preventing the contractor to install the plants as shown. Notification shall be made prior to implementing the field change. No plant materials are allowed to be substituted without prior approval of the Landscape Architect.
- Recommended fertilizers are manufactured by "Espoma" (or equal) and are readily available at all garden/landscape centers, as follows: For Evergreens : Use Holly Tone 4-6-4; For Shrubs Use Plant Tone 5-3-3; For Trees use Tree Tone 9-5-4.
- All existing trees within the areas of disturbance are to be removed.
- All disturbed areas shall be seeded with a permanent groundcover or seed mix as shown on the E & S plans at a minimum.

PARCEL 7
DB. 1181 / PG. 527



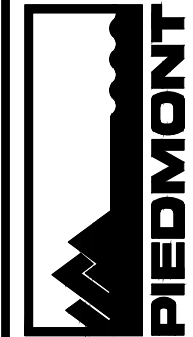
PLANTING PLAN - Cul-De-Sac
Plan View
Scale : 1" = 10'



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Cul-De-Sac Landscape Plan
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Jefferson County, WV

SCALE: 1"=10'		
DESIGN: PSA	CHECK:	APPROV:
SHEET		
27		
DATE: DEC 21, 2021		