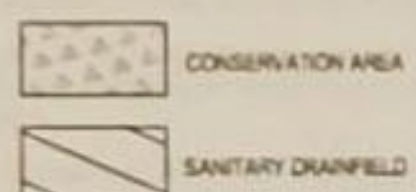


CIVIL LEGEND:

EXISTING	PROPOSED

HATCH LEGEND:



Know what's below.
Call before you dig.

JEFFERSON COUNTY - COMPLETE LIST OF WAIVERS/VARIANCES

ORDINANCE	SECTION OF ORDINANCE	DESCRIPTION OF WAIVER OR VARIANCE	DATE GRANTED
SUBDIVISION	SECT 2.3.A.3	21-11-PCW APP B - ALLOWS SINGLE ENTRANCE	7/13/21
SUBDIVISION	SECT 22.208B	21-12-PCW - EXCEED MAX. LENGTH OF AND # OF LOTS ON CUL-DE-SACS	7/13/21
SUBDIVISION	SECT 24.113.B.10	21-19-PCW ARCHAEOLOGICAL STUDY REQUIREMENT	9/14/21

PRELIMINARY PLAT SHOWING MILTON'S LANDING

JEFFERSON COUNTY FILE NUMBER: #21-22-SD
CHARLES TOWN DISTRICT
JEFFERSON COUNTY, WEST VIRGINIA

DIST 2, MAP 11, PARCEL 30.2 (DB 1271/PG 136)

OWNER/APPLICANT/DEVELOPER
LUTMAN LAND DEVELOPMENT
c/o DAVID LUTMAN
412 WEST BURR BOULEVARD
KEARNEYSVILLE, WV 25430
(304)702-2500



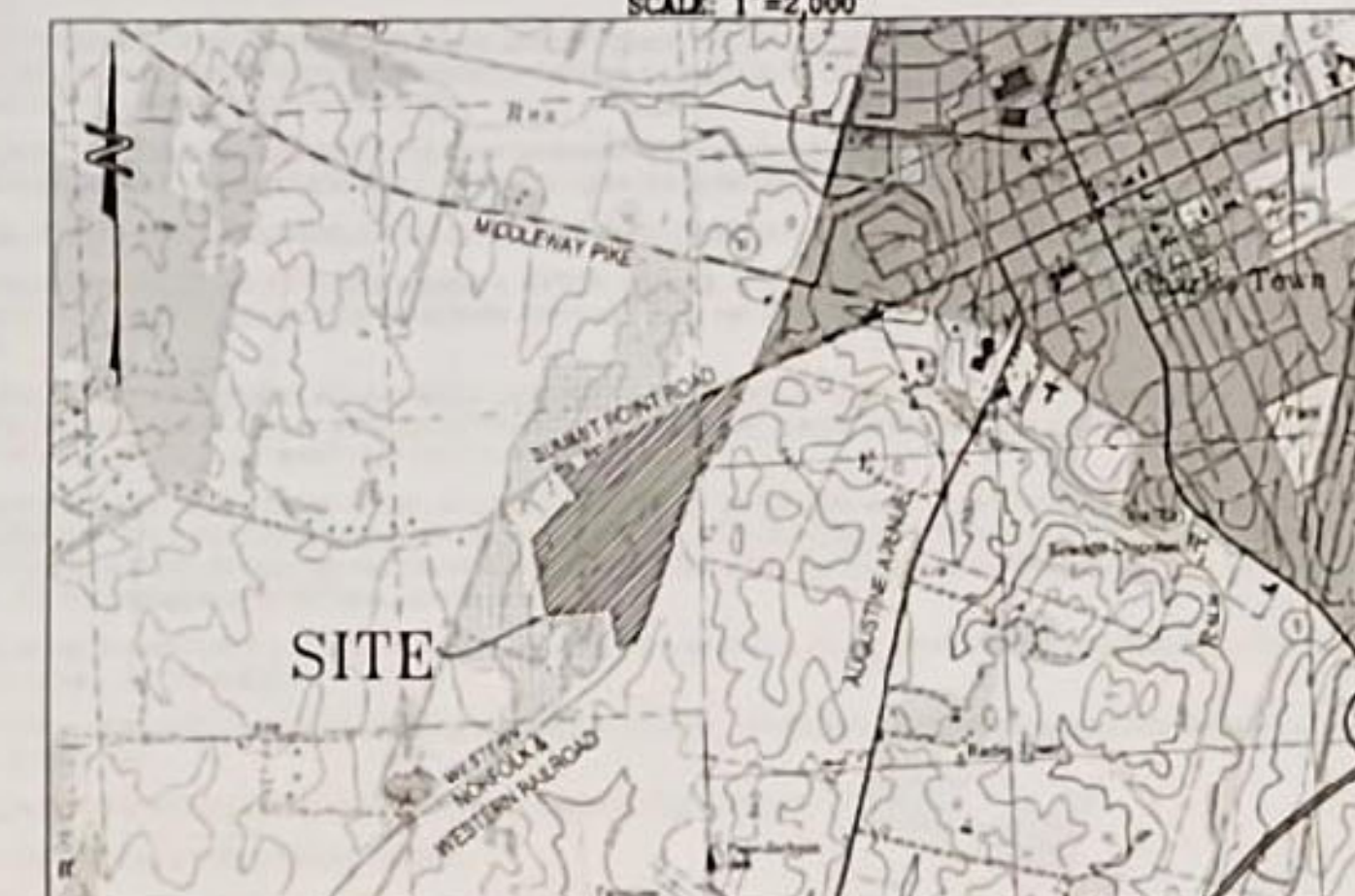
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VICINITY MAP

SCALE: 1"=2,000'



WVDOH VICINITY MAP

SCALE: 1"=1 MILE



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GENERAL DETAILS	03
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Approved for:
Major Subdivision
By: [Signature] Date: 3/1/2022
County Engineer

STATEMENT OF ACCEPTANCE:

THE DEVELOPER, IN SIGNING THIS PLAT, AGREES TO ABIDE BY ALL CONDITIONS, TERMS, AND SPECIFICATIONS PROVIDED HEREON, AND TO COMPLETE ALL THE IMPROVEMENTS REQUIRED BY THE PRELIMINARY PLAT OR SITE PLAN.

LUTMAN LAND DEVELOPMENT
412 WEST BURR BOULEVARD
KEARNEYSVILLE, WV 25430

3-2-22
DATE

JEFFERSON COUNTY, WEST VIRGINIA

- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN APPROVAL

BY: _____ COUNTY ENGINEER _____ DATE _____
BY: _____ COUNTY PLANNER _____ DATE _____

JEFFERSON COUNTY CONSTRUCTION NOTES

(TABLE 12-1)

1	EROSION & SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AND INSPECTED PRIOR TO PERFORMING ANY SIGNIFICANT EARTH DISTURBING ACTIVITIES AND SITE GRADING.
2	EARTH WORK SHALL BE COMPACTED TO THE PERCENTAGES OF MAXIMUM DRY DENSITY IN ACCORDANCE WITH AASHTO 1996, AS SHOWN BELOW: A. ROADWAYS _____ 90% B. PARKING LOTS FOR HEAVY TRUCKS _____ 90% C. PARKING LOTS FOR PASSENGER VEHICLES _____ 90% D. UTILITY LINE TRENCHES _____ 90% E. BUILDING PADS _____ 100% THE ABOVE COMPACTION REQUIREMENTS SHALL BE CERTIFIED BY A PROFESSIONAL ENGINEER OR A SOILS TECHNICIAN UNDER THE DIRECTION OF A PROFESSIONAL ENGINEER, AND ACCEPTABLE TO THE COUNTY ENGINEER.
3	CHANGES AND REVISIONS TO THE CONSTRUCTION PLANS AND SPECIFICATIONS SHALL NOT BE MADE UNLESS FIRST SUBMITTED IN WRITING AND APPROVED BY THE COUNTY ENGINEER AND ANY OTHER AGENCIES AS DEEMED APPROPRIATE.
4	WORK ZONE TEMPORARY TRAFFIC CONTROL ALONG A PUBLIC ROAD SHALL BE IN ACCORDANCE WITH WEST VIRGINIA DIVISION OF HIGHWAY REQUIREMENTS AND APPROVAL.
5	SEVENTY-TWO (72) HOURS PRIOR TO EXCAVATION IN PUBLIC RIGHT-OF-WAYS OR IN AREAS SERVED BY UNDERGROUND UTILITIES, CALL MISS UTILITY 1-800-245-4848.

JEFFERSON COUNTY SITE WORK MILESTONE INSPECTIONS

THE DEVELOPER SHALL REQUEST COUNTY ENGINEER INSPECTIONS A MINIMUM OF 48 HOURS IN ADVANCE (CALL 304-264-1966). INSPECTIONS SHALL BE REQUESTED ACCORDING TO THE TABLE OF MILESTONES SHOWN BELOW:

1	INSTALLATION OF SEDIMENT & EROSION CONTROL DEVICES PRIOR TO BEGINNING SITE GRADING.
2	ROADWAY AND/OR PARKING LOT SUBGRADE PROOF ROLL PRIOR TO PLACING STONE BASE.
3	ROADWAY AND/OR PARKING LOT STONE BASE DEPTH CHECK PRIOR TO PLACING ASPHALT OR CONCRETE PAVEMENT.
4	WATER SYSTEM AND SANITARY SEWER SYSTEM INSPECTION AND APPROVAL BY THE PUBLIC SERVICE DISTRICT/UTILITY PRIOR TO BACKFILLING OF TRENCHES.
5	FINAL INSPECTION INCLUDING BUT NOT LIMITED TO: SEEDING & MULCHING, ROADWAY & PARKING LOT PAVING, SIDEWALKS, STORM DRAINAGE AND STORMWATER MANAGEMENT SYSTEMS, TRAFFIC CONTROL SIGNS & PAVEMENT MARKINGS, LANDSCAPING, ETC.

NOTE: THE COUNTY ENGINEER MAY ACCEPT "THIRD-PARTY" INSPECTION AND CERTIFICATION REPORTS IN PLACE OF INSPECTIONS PERFORMED BY THE OFFICE OF ENGINEERING. UPON PRIOR APPROVAL, THIRD-PARTY INSPECTION REPORTS SHALL BE SUBMITTED IN THE FORMAT SPECIFIED BY THE COUNTY ENGINEER.

LIST OF APPROVALS:

WEST VIRGINIA DEPARTMENT OF TRANSPORTATION
DIVISION OF HIGHWAYS
PERMIT # 26-2021-0706
DATED: FEBRUARY 09, 2022

JEFFERSON COUNTY GIS/ADDRESSING
APPROVED: JUNE 29, 2021

RECEIVED

MAR 01 2022

JEFFERSON COUNTY PLANNING
ZONING & ENGINEERING

WEST VIRGINIA DEPARTMENT OF HEALTH AND HUMAN RESOURCES
STATE HEALTH PERMITS BUREAU FOR PUBLIC HEALTH
PERMIT # 20A-15-2112-0001 (WELL & SEPTIC)
DATE: AUGUST 18, 2021

REVISIONS:

NO	SHEET NUMBER AND REVISION DESCRIPTION	DATE
1	PER WVDOH COMMENTS	10/07/2021
2	PER JEFFERSON COUNTY COMMENTS	11/12/2021
3	PER JEFFERSON COUNTY COMMENTS	11/30/2021
4	PER JEFFERSON COUNTY COMMENTS	12/17/2021

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REVISIONS
1) 2021-10-27 PER WVDOH COMMENTS
2) 2021-11-12 PER JEFFERSON COUNTY COMMENTS
3) 2021-11-30 PER JEFFERSON COUNTY COMMENTS
4) 2021-12-17 PER JEFFERSON COUNTY COMMENTS
5) 2022-01-24 PER JEFFERSON COUNTY COMMENTS

COVER SHEET
MILTON'S LANDING
PRELIMINARY PLAT
DIST 2, MAP 11, PARCEL 30.2 (DB 1271/PG 136)
JEFFERSON COUNTY, WEST VIRGINIA
J.C.P.C. FILE #21-22-SD

SCALE: HORIZ. AS NOTED
DATE: SEPTEMBER 2021
JOB: 3529-0101
DRAWN: [Blank] CHECK: [Blank]
CADD: C-G-001.DWG
NCS: N/A
SHEET: 01 OF 44

GENERAL NOTES:

- THE PROPOSED SITE IMPROVEMENTS FOR MILTON'S LANDING SUBDIVISION (LOTS 1-50)' INCLUDE, BUT ARE NOT LIMITED TO, THE CONSTRUCTION OF 49 SINGLE-FAMILY DETACHED HOMES, SWM FACILITIES AND SEPTIC AND WELL UTILITIES.
- THE SUBJECT PROPERTY IS LOCATED IN THE JEFFERSON COUNTY DISTRICT, IDENTIFIED AS TAX MAP 11, PARCEL 30.2 THE PROPERTY OWNER IS LUTMAN LAND DEVELOPMENT LLC AS RECORDED IN D.B. 1271 PG. 136 (PB26/PG292) AMONG THE LAND RECORDS OF JEFFERSON COUNTY, WEST VIRGINIA.
- THE TOTAL EXISTING SITE ACREAGE FOR PARCEL 30.2 IS 65.03 ACRES. DISTURBED AREA FOR THE PROJECT IS +65.03 ACRES.
- THE TOPOGRAPHIC CONTOUR INTERVAL IS ONE (1) FOOT. TOPOGRAPHIC INFORMATION WAS COMPILED FROM A FIELD TOPOGRAPHIC SURVEY PREPARED BY FOX & ASSOCIATES, INC. DATED MARCH 2021. HORIZONTAL DATUM IS REFERENCED TO THE WEST VIRGINIA COORDINATE SYSTEM OF 1983, NORTH ZONE. VERTICAL DATUM IS REFERENCED TO NAVD 88.
- PERIMETER BOUNDARY INFORMATION SHOWN HEREON IS PER A BOUNDARY LINE ADJUSTMENT PLAT PREPARED BY PETER H. LORENSEN AND RECORDED BY JEFFERSON COUNTY ON NOVEMBER 8, 2021. IT HAS BEEN ESTABLISHED BY A NETWORK OF TRAVERSE CONTROL HAVING A RELATIVE ERROR OF CLOSURE OF 1:7500 OR BETTER (PB26/PG292).
- THE SUBJECT PROPERTY IS LOCATED ON F.E.M.A. MAPS 54037C0120E AND 54037C0136E, DATED DECEMBER 18, 2009. NO PORTION OF THIS PROPERTY IS LOCATED WITHIN THE 100-YEAR FLOODPLAIN AREA (ZONE A). THE PROPERTY IS IN ZONE X.
- THE CURRENT NATIONAL WETLANDS INVENTORY MAP DOES NOT SHOW WETLANDS/SENSITIVE AREAS ON THE SUBJECT PROPERTY.
- CHANGES OR REVISIONS IN CONSTRUCTION PLANS AND SPECIFICATIONS SHALL NOT BE MADE UNLESS FIRST APPROVED BY JEFFERSON COUNTY AND/OR OTHER APPROPRIATE AGENCIES.
- SEE COVER SHEET, SHEET 01, FOR LEGEND OF SYMBOLS USED HEREIN.
- AVERAGE DAILY TRIPS AND PEAK HOUR TRIPS PROVIDED PURSUANT TO THE ITE TRIP GENERATION MANUAL, 8TH EDITION. SINGLE FAMILY TRIPS BASED ON ITS LAND USE CODE 210 (SINGLE FAMILY HOMES).
479 CALCULATED DAILY TRIPS
51 PM PEAK TRIPS TOTAL

CONSTRUCTION NOTES:

- CONTRACTOR SHALL CONTACT "MISS UTILITY" AT 811 OR 1-800-245-4848 A MINIMUM OF SEVENTY-TWO (72) HOURS PRIOR TO ANY EXCAVATION, DEMOLITION OR OTHER EARTH DISTURBING ACTIVITIES WITHIN PUBLIC RIGHT-OF-WAYS OR WITHIN AREAS SERVED BY UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING THE PRESENCE OF ANY UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THERE IS NO EVIDENCE OF ANY GRAVE, OBJECT OR STRUCTURE MARKING A PLACE OF BURIAL ON THIS PROPERTY. THERE ARE NO KNOWN CEMETERIES, ARCHEOLOGICAL SITES, NATURAL FEATURES, NOR HISTORIC SITES LISTED, OR DETERMINED TO BE ELIGIBLE, OR WHICH THE OWNER HAS REASON TO BELIEVE MAY BE ELIGIBLE FOR LISTING ON THE NATIONAL REGISTER OF HISTORIC PLACES WITHIN THE CONSTRUCTION LIMITS.
- INTEGRITY FEDERAL SERVICES DOES NOT CERTIFY TO THE LOCATION OF OR THE EXISTENCE OF ANY EXISTING UNDERGROUND UTILITIES. THE EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE BASED UPON AVAILABLE INFORMATION. THIS DOES NOT CONSTITUTE A GUARANTEE OF THEIR ACTUAL LOCATIONS OR THAT THEY HAVE ALL BEEN SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK AND FOR ANY DAMAGES WHICH OCCUR BY THEIR FAILURE TO LOCATE OR PRESERVE THESE UNDERGROUND UTILITIES. IF DURING CONSTRUCTION OPERATIONS THE CONTRACTOR SHOULD ENCOUNTER UTILITIES OTHER THAN THOSE SHOWN ON THE PLAN, THEY SHALL IMMEDIATELY NOTIFY THE ENGINEER AND TAKE NECESSARY AND PROPER STEPS TO PROTECT THE FACILITY AND INSURE THE CONTINUANCE OF SERVICE. IF NECESSARY, THE SITE PLAN WILL BE MODIFIED TO ELIMINATE THE CONFLICT AT THE DEVELOPER'S EXPENSE.
- INTEGRITY FEDERAL SERVICES DOES NOT CERTIFY TO THE SUB-SURFACE CONDITIONS OF THE SITE, THE LOCATION OF UNDERLYING ROCK, OR THE LOCATION OF POTENTIAL SINKHOLES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DIGGING OF TEST HOLES TO VERIFY SUB-SURFACE CONDITIONS PRIOR TO BEGINNING ANY CONSTRUCTION. IF SINKHOLES ARE FOUND IN THE FIELD, REMEDIATION WILL BE REQUIRED AS SPECIFIED BY THE WVDEP AND/OR A QUALIFIED GEOTECHNICAL ENGINEERING FIRM.
- EROSION AND SEDIMENT CONTROL DEVICES ARE TO BE IN PLACE PRIOR TO ANY CONSTRUCTION. REFER TO EROSION AND SEDIMENT CONTROL PLAN FOR PHASING AND DETAILS.
- ALL LAND, ON OR OFF SITE, WHICH IS DISTURBED BY THIS DEVELOPMENT, AND WHICH IS NOT BUILT UPON OR SURFACED, SHALL BE ADEQUATELY STABILIZED TO CONTROL EROSION AND SEDIMENTATION.
- DEVELOPMENT OF THE SITE INCLUDING CONSTRUCTION AND MATERIALS SHALL BE IN CONFORMANCE TO CURRENT JEFFERSON COUNTY, CHARLES TOWN UTILITY BOARD, AND THE WEST VIRGINIA DEPARTMENT OF TRANSPORTATION DIVISION OF HIGHWAYS STANDARDS AND SPECIFICATIONS.
- ALL TESTS, STUDIES, ETC., REQUIRED DURING CONSTRUCTION WILL BE CARRIED OUT BY A THIRD PARTY ENGINEERING FIRM AND PAID FOR BY THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER AND THE ENGINEER OF ANY CHANGES OR CONDITIONS ATTACHED TO PERMITS REQUIRED FOR CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE ADEQUATE MEANS OF CLEANING TRUCKS AND/OR OTHER EQUIPMENT OF MUD PRIOR TO ENTERING THE RIGHT-OF-WAY, AND IT IS THE CONTRACTORS RESPONSIBILITY TO CLEAN STREETS OF MUD AND/OR ALLAY DUST AND TO TAKE WHATEVER MEASURES NECESSARY TO ENSURE THAT THE STREETS ARE KEPT IN A CLEAN AND DUST FREE CONDITION AT ALL TIMES.
- THE CONTRACTOR SHALL NOTIFY OPERATORS WHO MAINTAIN EXISTING UNDERGROUND UTILITY LINES IN THE AREA OF PROPOSED EXCAVATION OR BLASTING AT LEAST TWO (2) WORKING DAYS, BUT NOT MORE THAN TEN (10) WORKING DAYS, PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION.
- THE CLIENT, CONTRACTOR, AND/OR SURVEYOR SHALL BE RESPONSIBLE FOR NOTIFYING INTEGRITY FEDERAL SERVICES OF ANY CONDITIONS FOUND IN THE FIELD THAT VARY FROM WHAT IS SHOWN ON THE APPROVED PLANS. OBSERVATIONS REGARDING APPARENT INCONSISTENCIES IN THE PLANS SHALL BE BROUGHT TO INTEGRITY FEDERAL SERVICES' ATTENTION FOR VERIFICATION PRIOR TO TAKEOUT.
- THE CLIENT AND CONTRACTOR ARE RESPONSIBLE FOR REVIEWING THE PLANS PRIOR TO CONSTRUCTION AND NOTIFYING INTEGRITY FEDERAL SERVICES OF ANY CIRCUMSTANCES FOUND WITHIN THESE PLANS IN NEED OF VERIFICATION SO THAT APPROPRIATE REVISIONS CAN BE MADE, IF WARRANTED.
- ALL HANDICAPPED PARKING SPACES SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT. (ADA - CURRENT VERSION).
- CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH PERFORMANCE OF ITS WORK AND THE WORK OF ITS SUBCONTRACTORS. INTEGRITY FEDERAL SERVICES SHALL NOT HAVE CONTROL OVER, CHARGE OF, OR RESPONSIBILITY FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
- THE CONTRACTOR SHALL VISIT THE SITE AND FIELD VERIFY EXISTING CONDITIONS AND GRADES PRIOR TO STARTING CONSTRUCTION.
- THE CONTRACTOR SHALL CLEAR THE SITE OF ALL APPLICABLE VEGETATION, BUILDINGS, FOUNDATIONS, ETC. WITHIN THE LIMITS OF CONSTRUCTION AND SHALL BE RESPONSIBLE FOR COORDINATING ANY DISCONNECTION AND/OR ABANDONMENT OF EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND ABANDONING ALL EXISTING WELLS AND/OR SEPTIC DRAIN FIELDS AND COORDINATING THEIR ABANDONMENT WITH THE HEALTH DEPARTMENT
- ALL PROPOSED GRADES AS SHOWN HEREIN ARE FINISHED GRADE UNLESS OTHERWISE NOTED ON THE PLAN.
- MAINTAIN A MINIMUM VERTICAL CLEARANCE OF ONE (1) FOOT SIX (6) INCHES BETWEEN CROSSINGS OF ALL UTILITY LINES UNLESS OTHERWISE NOTED.
- THE APPROVAL OF THESE PLANS SHALL IN NO WAY GRANT PERMISSION BY THE APPROVING JURISDICTION FOR THE CONTRACTOR TO TRESPASS ON OFF-SITE PROPERTIES. THE APPROVAL OF THESE PLANS SHALL IN NO WAY RELIEVE THE OWNER OF COMPLYING WITH OTHER APPLICABLE LOCAL, STATE AND FEDERAL REQUIREMENTS.
- WHERE THE ORDINANCES DIFFER BETWEEN LOCAL, STATE, AND FEDERAL REQUIREMENTS, THE MOST RESTRICTIVE SHALL APPLY.
- CONTRACTOR TO REFERENCE GEOTECHNICAL REPORT OR A PROFESSIONAL ENGINEER OR CERTIFIED TECHNICIAN FOR SUITABLE BACKFILL MATERIAL REQUIREMENTS AND COMPACTION REQUIREMENTS. CBR TESTS SHALL BE PERFORMED PRIOR TO DETERMINATION OF FINAL SUBGRADE ELEVATION FOR PAVEMENT AREAS. SOILS TESTS OF SUBGRADE MUST BE SUBMITTED FOR ACTUAL DETERMINATION OF REQUIRED PAVEMENT SECTION THICKNESS PRIOR TO CONSTRUCTION. ALL SUBGRADE SHALL BE COMPACTED TO THE PERCENTAGES OF MAXIMUM DRY DENSITY (ASHSTO 1990) UNLESS OTHERWISE DIRECTED BY AN APPROVED GEOTECHNICAL REPORT. (SEE JEFFERSON COUNTY CONSTRUCTION NOTE 2, SHEET 01.)
- BUILDING FOOTPRINTS AS SHOWN ARE APPROXIMATE IN BUILDING SIZE AND DO NOT REPRESENT FINAL ARCHITECTURALS.
- CHANGES IN THE TOP & BOTTOM OF SLOPES SHALL BE A MINIMUM OF FIVE FEET (5') FROM PROPERTY OR RIGHT-OF-WAY LINE.
- ALL GRADING SHALL PROVIDE PROPER DRAINAGE & DISPOSAL OF STORM WATER WITHOUT PONDING.
- ALL FILL SHALL BE COMPACTED TO PREVENT EROSION.
- GRADING SHALL NOT BE DONE IN SUCH A WAY TO DIVERT WATER ONTO THE PROPERTY OF ANOTHER LAND OWNER.
- LOTS SHALL BE GRADED TO SECURE PROPER DRAINAGE AWAY FROM BUILDINGS AND TO PREVENT POOLING OR COLLECTION OF STORM WATER.
- EXCAVATION OR FILL SHALL NOT ENDANGER AN ADJOINING PROPERTY.
- ALL CLEARING, GRADING, DRAINAGE, CONSTRUCTION, AND DEVELOPMENT SHALL BE CONDUCTED IN STRICT ACCORDANCE WITH THE APPROVED PLAN.
- FIELD VERIFY EXISTING GRADES PRIOR TO CONSTRUCTION.
- CONTRACTOR TO ENSURE POSITIVE DRAINAGE THROUGHOUT CONSTRUCTION.

SUBDIVISION ORDINANCE SUMMARY:

- PROPERTY CORNERS ARE TO BE SET WITH 5/8" x 3/32" REBARS WITH I.D. CAPS UNLESS OTHERWISE NOTED.
- THE DEVELOPMENT IS SUBJECT TO SPECIAL REQUIREMENTS BY THE JEFFERSON COUNTY PLANNING COMMISSION IN THE FORM OF A SIDEWALK/PEDESTRIAN EASEMENT ALONG SUMMIT POINT ROAD - C.R. 13.
- SITE GRADING: FILL SLOPES SHALL NOT EXCEED (3:1) 3' HORIZONTAL TO 1' VERTICAL. FILL SECTIONS NEED NOT HAVE DITCHES UNLESS THE FILL SLOPE EXCEEDS SIX FEET IN HEIGHT. CUT SLOPES SHALL NOT EXCEED (2:1) 2' VERTICAL TO 1' HORIZONTAL.
- ALL UTILITY TRANSMISSION LINES (E.G. ELECTRIC, PHONE, CABLE, WATER, SEWER, ETC.) AND SERVICE LINES WITHIN THE SUBDIVISION OR SITE DEVELOPMENT AREA SHALL BE UNDERGROUND.
- MINIMUM COVER OVER CULVERTS IS 1' UNLESS OTHERWISE SHOWN.
- AT THIS TIME NO OFF-SITE BORROW PITS ARE ANTICIPATED FOR THIS PROJECT.
- CONTACT JEFFERSON COUNTY 5911 COORDINATOR FOR INSTALLATION OF STREET SIGNS. ALL SIGNS SHALL COMPLY WITH COUNTY ADDRESSING REQUIREMENTS.
- A BUILDING PERMIT SHALL BE OBTAINED FOR SIGNAGE AND SHALL BE IN CONFORMANCE WITH ALL EXISTING ORDINANCES IN JEFFERSON COUNTY AND/OR STATE AND FEDERAL LAW.
- THERE ARE PROPOSED EASEMENTS AND RIGHTS-OF-WAY PROPOSED WITH THIS SITE PLAN. SEE SHEET 05 THROUGH 14.
- THERE ARE NO KNOWN EXISTING EASEMENTS ON THE PROPERTY.
- THERE ARE NO FUTURE EASEMENTS PLANNED FOR THE PROPERTY.
- PROPOSED DEVELOPMENT IS NOT WITHIN 500' OF A STREAM. NO GRADING, EXCAVATING, REMOVAL OR DESTRUCTION OF TOPSOIL, TREES OR OTHER VEGETATIVE COVER, OR CONSTRUCTION ACTIVITY SHALL RESULT IN POINT OR NON-POINT LOADING OF SUSPENDED MATTER SUCH THAT TURBIDITY STANDARDS SPELLED OUT IN THE WATER RESOURCES BOARD LEGISLATIVE RULES ARE VIOLATED. SAID STANDARDS STATE THAT TURBIDITY SHALL NOT EXCEED 10 NTUS OVER BACKGROUND TURBIDITY WHEN THE BACKGROUND IS 50 NTUS OR LESS; OR HAVE MORE THAN A 10 PERCENT INCREASE IN TURBIDITY (PLUS 10 NTU MINIMUM) WHEN THE BACKGROUND TURBIDITY IS MORE THAN 50 NTUS
- THERE ARE NO KNOWN CABLE, SEWER OR WATER UTILITIES EXISTING ON SITE OTHER THAN THOSE IDENTIFIED ON EXISTING CONDITIONS AND SITE PLAN.
- ALL SERVICE LATERALS ARE TO BE INSTALLED PRIOR TO PAVING.
- ALL FIRE HYDRANT THREADS AND SPECIFICATIONS SHALL BE ACCEPTABLE TO THE WV STATE FIRE MARSHALL AND JEFFERSON COUNTY VOLUNTEER FIREMANS ASSOCIATION.
- EXISTING TREES ARE TO REMAIN IN THEIR NATURAL CONDITION THROUGHOUT THE PROJECT WHEREVER PRACTICAL.
- LANDSCAPING BUFFER WILL CONSIST OF VEGETATION. NO OPAQUE SCREEN/FENCE IS PROPOSED. ANY FENCING WITHIN THE BRL OR OTHER BUFFERS CANNOT EXCEED 6' IN HEIGHT.
- THERE ARE NO KNOWN RESERVATIONS OF LAND FOR PUBLIC/SEMI-PUBLIC USE PROPOSED ON THE SUBJECT PROPERTY.
- A COMMON INTEREST OWNERSHIP AGREEMENT MUST BE ESTABLISHED TO PROVIDE FOR THE MAINTENANCE OF COMMONLY OWNED LAND, INCLUDING BUT NOT LIMITED TO THE PRIVATE ROAD SYSTEM AND STORMWATER MANAGEMENT FACILITIES WITHIN THE SUBDIVISION. THIS COMMON INTEREST OWNERSHIP AGREEMENT MUST BE DEVELOPED IN ACCORDANCE WITH THE UNIFORM COMMON INTEREST OWNERSHIP ACT OF WEST VIRGINIA.
- THERE ARE NO KNOWN OFF-SITE MAN-MADE STRUCTURES LOCATED WITHIN 200' DOWNSTREAM OF ANY DRAINAGE PIPE OR STORMWATER MANAGEMENT FACILITY OUTFALL. THEREFORE, NO OFF-SITE STRUCTURES AND ASSOCIATED TOPOGRAPHY HAS BEEN SHOWN.
- ALL RESIDENTIAL AND NON-RESIDENTIAL BUILDING LOTS SHALL HAVE A STABILIZED CONSTRUCTION ENTRANCE INSTALLED PRIOR TO BEGINNING CONSTRUCTION ON THE LOT.
- A HOMEOWNERS ASSOCIATION MUST BE ESTABLISHED WITHOUT DELAY AS SOON AS 50% OF PROPERTIES ARE SOLD. MEMBERSHIP IN THE ASSOCIATION IS MANDATORY FOR ALL PROPERTY OWNERS WITHIN THE SUBDIVISION. THE DEVELOPERS SHALL DEDICATE ALL COMMON LANDS (SWM BASIN, ROADS, RIGHT-OF-WAYS, ETC.) TO THE ASSOCIATION
- RETAINING WALLS FOUR (4) FEET OR GREATER IN HEIGHT REQUIRE A BUILDING PERMIT UNDER THE JEFFERSON COUNTY BUILDING CODE ENFORCEMENT ORDINANCE THAT MUST BE OBTAINED BY THE OWNER/DEVELOPER. THESE WALLS MUST BE DESIGNED AND CERTIFIED BY A LICENSED WEST VIRGINIA ENGINEER.
- NO PERMANENT STRUCTURES SHALL BE PERMITTED WITHIN EXISTING OR PROPOSED EASEMENTS WITHOUT PRIOR APPROVAL FROM THE JEFFERSON COUNTY PLANNING COMMISSION.
- VERIFICATION FROM A WELL DRILLER THAT A PRESSURE GROUTED WELL IS DRILLED AND IS PRODUCING WATER A A QUANTITY APPROVED BY THE JEFFERSON COUNTY HEALTH DEPARTMENT AND /OR THE WEST VIRGINIA BUREAU OF HEALTH SHALL BE SUBMITTED TO THE PLANNING COMMISSION PRIOR TO THE ISSUANCE OF AN IMPROVEMENT LOCATION PERMIT. CERTIFICATION THAT THE WATER IS POTABLE MUST BE SUBMITTED THE PLANNING COMMISSION OFFICE WITHIN 6 MONTHS OF THE ISSUANCE OF AN IMPROVEMENT LOCATION PERMIT.
- THE PUBLIC SERVICE DISTRICT MAY REQUIRE IN THE FUTURE EACH PROPERTY OWNER TO ABANDON EXISTING WELL AND SEPTIC SYSTEMS AND TO CONNECT TO A CENTRALIZED SYSTEM WHEN AND IF IT BECOMES AVAILABLE.
- A BLANKET EASEMENT IS GRANTED TO THE APPROPRIATE PUBLIC SERVICE DISTRICT IN ALL ROAD RIGHT-OF-WAYS FOR CONSTRUCTION AND MAINTENANCE OF WATER AND SANITARY SEWER LINES.
- SIGHT LIGHTING IS NOT REQUIRED WHEN LOTS ARE MORE THAN 15,000 SQUARE FEET.
- SEPTIC HAS BEEN APPROVED FOR SUITABILITY BY THE WEST VIRGINIA DEPARTMENT OF HEALTH AND HUMAN RESOURCES. PERMIT NUMBER IS SDA-19-2122-0001.

STANDARD W.V.D.O.H. NOTES:

- ALL UTILITIES, INCLUDING ALL POLES, ARE TO BE RELOCATED AS NECESSARY AT EITHER THE DEVELOPER OR UTILITY OWNER'S EXPENSE PRIOR TO CONSTRUCTION.
- THE DEVELOPER IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING ROADS AND UTILITIES WHICH OCCUR AS A RESULT OF PROJECT CONSTRUCTION WITHIN OR CONTIGUOUS TO EXISTING RIGHT-OF-WAY.
- OPEN CUTTING OF PAVED OR SURFACE TREATED STATE ROADS IS NOT PERMITTED UNLESS APPROVED BY THE WEST VIRGINIA DEPARTMENT OF TRANSPORTATION.
- THE DEVELOPER IS RESPONSIBLE FOR ALL TRAFFIC CONTROL.
- IF APPLICABLE, A SMOOTH GRADE SHALL BE MAINTAINED FROM THE CENTERLINE OF THE EXISTING ROAD TO THE PROPOSED EDGE OF PAVEMENT TO PRECLUDE THE FORMING OF FALSE GUTTERS AND/OR THE PONDING OF ANY WATER IN THE ROADWAY.
- OVERLAY OF EXISTING PAVEMENT SHALL BE A MINIMUM OF 1.5". ANY COSTS ASSOCIATED WITH PAVEMENT OVERLAY, OR THE MILLING OF EXISTING PAVEMENT TO OBTAIN REQUIRED DEPTH, SHALL BE THE RESPONSIBILITY OF THE DEVELOPER.
- STORMWATER DITCHES SHALL BE SEEDED AND MULCHED TO ACHIEVE STABILIZATION. ADDITIONAL DITCH LININGS SHALL BE PROVIDED IF WARRANTED TO ACHIEVE STABILIZATION.
- ALL TRAFFIC CONTROL SIGNS AND THE MAINTENANCE OF TRAFFIC SHALL COMPLY WITH THE STANDARDS OF THE WEST VIRGINIA DEPARTMENT OF TRANSPORTATION.
- IF APPLICABLE, ALL GUARDRAILS SHALL BE IN ACCORDANCE WITH WVDOT STANDARD DETAILS BOOK VOLUME 1. THE GUARDRAIL POST SHALL BE PRESSURE-TREATED.
- CONTRACTOR SHALL CONTACT WVDOT AT LEAST 48 HOURS PRIOR TO COMMENCING ANY WORK WITHIN WVDOT RIGHT-OF-WAY.

GOV'T. AGENCIES/UTILITIES:

- | | |
|---|--|
| <ul style="list-style-type: none">JEFFERSON COUNTY ENGINEERING
116 E. WASHINGTON STREET
CHARLES TOWN, WV 25414
(304) 728-3257JEFFERSON COUNTY PLANNING
116 E. WASHINGTON STREET
CHARLES TOWN, WV 25414
(304) 728-3228WATER & SEWER
CITY OF CHARLES TOWN UTILITY BOARD
108 W. CONGRESS STREET
CHARLES TOWN, WV 25414
(304) 729-2316ELECTRIC
THE POTOMAC EDISON COMPANY
18444 NORTHWESTERN TURNPIKE
AUGUSTA, WV 26704
(800) 686-0011 | <ul style="list-style-type: none">TELECOMMUNICATIONS
FRONTIER COMMUNICATIONS
1108 N. MILDRED STREET
RANSON, WV 25438
(304) 728-8500GAS
MOUNTAINEER GAS
67 AERO STREET
MARTINSBURG, WV 25401
(800) 834-2070TRANSPORTATION
WEST VIRGINIA DIVISION OF HIGHWAYS,
DISTRICT FIVE
2120 NORTHWESTERN TURNPIKE
BURLINGTON, WV 26710
(304) 289-3521OTHER
MISS UTILITY
5608 MACCORKLE AVE, SW
SOUTH CHARLESTON, WV 25309
(800) 245-4848 OR 811 |
|---|--|

NOTES:
THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES PRIOR TO CONSTRUCTION.

GENERAL C.T.U.B. UTILITY NOTES:

- REFER TO THE CHARLES TOWN UTILITY BOARD (CTUB) WATER SYSTEM SPECIFICATIONS DATED APRIL 2015, SANITARY SEWER SYSTEM SPECIFICATIONS DATED MAY 2016, AND THE LATEST MODIFICATIONS OR REVISIONS THERETO, FOR WATER MAIN AND SANITARY SEWER CONSTRUCTION METHODS, MATERIALS, FIELD QUALITY CONTROL, AND FOR ALL DETAILS AND SPECIFICATIONS FOR ALL WATER LINES AND SANITARY SEWER LINES TO BE SERVED BY THE CHARLES TOWN UTILITY BOARD.
- SEPARATION OF WATER MAINS / SANITARY SEWERS: ALL NEW WATER MAINS SHALL CONFORM TO THE WEST VIRGINIA BUREAU FOR PUBLIC HEALTH, OFFICE OF ENVIRONMENTAL HEALTH SERVICES, ENVIRONMENTAL ENGINEERING DIVISION, PUBLIC WATER SYSTEM DESIGN STANDARDS 64CSR77 10.7 SEPARATION OF WATER MAINS, SANITARY SEWERS AND STORM SEWERS INCLUDING:
 - PARALLEL INSTALLATION - WATER MAINS SHALL BE LAID AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED SEWER. THE DISTANCE SHALL BE MEASURED EDGE TO EDGE.
 - CROSSINGS - WATER MAINS SHALL CROSS ABOVE SEWERS AND SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN THE BOTTOM OF THE WATER MAIN AND TOP OF THE SEWER. AT CROSSINGS, ONE FULL LENGTH (20 FEET) OF WATER PIPE SHALL BE LOCATED SO BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. SPECIAL STRUCTURAL SUPPORT FOR THE WATER AND SEWER PIPES MAY BE REQUIRED.
 - HORIZONTAL SEPARATION - A MINIMUM OF 10 FEET SEPARATION BETWEEN SEWER LINES AND WATER LINES MUST BE MAINTAINED. IN CASES WHERE THE 10 FEET MINIMUM CANNOT BE MAINTAINED, THE SEWER PIPE SHALL BE 18" LOWER THAN THE WATER LINE AND CONSTRUCTED OF A PRESSURE TYPE PIPE. WHEN LINES ARE PLACED WITHIN 5 FEET OF EACH OTHER, PERMANENT IDENTIFICATION TAPE MUST BE BURIED DIRECTLY ABOVE THE LINES DENOTING "SEWER LINE" OR POTABLE WATER LINE.
 - VERTICAL SEPARATION - A MINIMUM OF 18" OF SEPARATION BETWEEN THE TOP OF THE SEWER LINES AND THE BOTTOM OF WATER LINES MUST BE MAINTAINED. IN CASES WHERE THE 18" CANNOT BE MAINTAINED, THE SEWER LINE SHALL CROSS AT MIDPOINT OF A 20' LONG JOINT OF THE WATER LINE AND BE CONSTRUCTED OF PRESSURE TYPE PIPE. A SEWER LINE SHALL NOT BE CONSTRUCTED OVER TOP OF A WATER LINE. IF THE STANDARD VERTICAL INSTALLATION REQUIREMENTS CANNOT BE MAINTAINED, THE SEWER LINE SHALL BE ENCASED SO THAT THE CASING EXTENDS AT LEAST 15 FEET EACH SIDE OF THE CROSSING WITH A MINIMUM OF 18" VERTICAL SEPARATION.
- THERE SHALL BE NO PHYSICAL CONNECTION BETWEEN THE WATER DISTRIBUTION SYSTEM AND A SANITARY SEWER SYSTEM, ANY PIPES, PUMPS, HYDRANTS OR TANKS WHEREBY UNSAFE WATER OR OTHER CONTAMINATING MATERIALS MAY BE DISCHARGED OR DRAWN INTO THE SYSTEM.
- PIPE BEDDING - NO. 8 OR NO. 10 LIMESTONE SHALL BE USED FOR ALL PIPE BEDDING UNLESS OTHERWISE APPROVED BY CTUB. ALL WATER MAIN, SANITARY SEWER MAIN AND SANITARY LATERALS SHALL BE INSTALLED WITH MINIMUM 6" BEDDING BELOW PIPE AND 12" OVER PIPE.
- REFER TO THE CTUB WATER SYSTEM & SEWER SYSTEM SPECIFICATIONS, AND THE LATEST MODIFICATIONS OR REVISIONS THERETO, FOR:
 - A LIST OF MATERIALS REPRESENTING THE MINIMUM REQUIREMENTS ACCEPTABLE FOR USE BY CTUB.
 - ALL PIPE, FITTINGS, AND OTHER RELATED MATERIALS USED IN THE CONSTRUCTION OF LINES
 - FIRE HYDRANT STANDARDS AND SPECIFICATIONS
 - DISINFECTING NEW AND REPAIRED WATER MAINS. (ALL NEW WATER MAINS SHALL BE DISINFECTED BEFORE THEY ARE PLACED IN SERVICE. ALL WATER MAINS TAKEN OUT OF SERVICE FOR INSPECTING, REPAIRING, OR OTHER ACTIVITY THAT MIGHT LEAD TO CONTAMINATION OF WATER SHALL BE DISINFECTED BEFORE THEY ARE RETURNED TO SERVICE)
 - GRAVITY SEWER CONSTRUCTION METHODS & PIPELINE TESTING.
 - MAN-HOLES SUBMITTALS, DELIVERY, STORAGE & HANDLING, INSPECTION, PREPARATION, CONSTRUCTION METHODS, AND VACUUM TESTING.
 - CAST IN-PLACE CONCRETE SPECIFICATIONS AND REQUIREMENTS.

WATER:

- INSTALLATION OF MAINS:
 - BEFORE ANY PIPE IS INSTALLED IN TRENCHES, IT SHALL BE INSPECTED FOR DAMAGE AND THE INSIDE OF THE PIPE SHALL BE SWABBED TO REMOVE LOOSE DIRT AND FOREIGN OBJECTS. NO DAMAGED PIPE WILL BE PERMITTED TO BE INSTALLED.
 - BEDDING: CONTINUOUS AND UNIFORM BEDDING SHALL BE PROVIDED IN THE TRENCH FOR ALL BURIED PIPE. BACKFILL MATERIAL SHALL BE TAMPED IN LAYERS AROUND THE PIPE AND TO A SUFFICIENT HEIGHT ABOVE THE PIPE TO ADEQUATELY SUPPORT AND PROTECT THE PIPE. STONES FOUND IN THE TRENCH SHALL BE REMOVED FOR A DEPTH OF AT LEAST 6" BELOW THE BOTTOM OF THE PIPE. SEE TYPICAL WATER LINE TRENCH DETAIL.
 - COVER: ALL WATER MAINS SHALL BE COVERED WITH A MINIMUM OF 48" OF EARTH COVERING TO PREVENT FREEZING. ALL MAINS LESS THAN 8" IN DIAMETER AND WITHIN 5 FEET OF A HEAVILY TRAVELED HIGHWAY SHALL HAVE A MINIMUM OF 42" OF COVERING.
 - BLOCK: ALL TEES, BENDS, PLUGS AND HYDRANTS SHALL BE PROVIDED WITH TIE RODS OR JOINTS DESIGNED TO PREVENT MOVEMENT.
 - PRESSURE AND LEAKAGE TESTING: ALL TYPES OF INSTALLED PIPE SHALL BE PRESSURE TESTED AND LEAK TESTED IN ACCORDANCE WITH AWWA STANDARD C600. DEVELOPER SHALL SUBMIT PLAN OF PROPOSED TESTING.
 - DISINFECTION: ALL NEW, CLEANED OR REPAIRED WATER MAINS SHALL BE DISINFECTED IN ACCORDANCE WITH AWWA STANDARD C651. THE SPECIFICATIONS SHALL INCLUDE MICROBIOLOGICAL TESTING OF ALL WATER MAINS.
 - ALL NON-METALIC MAINS SHALL BE PROVIDED WITH TRACER WIRE OR METALLIC TAPE. AS DIRECTED BY CTUB.
- WATER SERVICE LINES SHOWN ARE APPROXIMATE AND SUBJECT TO CHANGE BASED ON BUILDING ARCHITECTURAL DRAWINGS AND UTILITY CONNECTION LOCATIONS.

SANITARY SEWER:

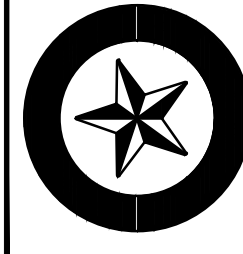
- ALL SANITARY SEWER LINES SHALL BE COVERED WITH A MINIMUM OF 48" OF EARTH COVERING OVER THE TOP OF PIPE.
- WATER SERVICE LINES SHALL BE LAID IN STRAIGHT LINE WITH UNIFORM SLOPE BETWEEN MANHOLES. SEWERS ON 20% SLOPE OR GREATER SHALL BE ANCHORED SECURELY WITH CONCRETE ANCHORS, OR APPROVED EQUAL (SEE CTUB SEWER SYSTEM SPECIFICATIONS FOR SPACING REQUIREMENTS).
- MANHOLES - SHALL BE PRE-CAST CONCRETE MEETING REQUIREMENTS OF AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM). THE MINIMUM BASE DIAMETER SHALL BE 48" (MINIMUM OPENING 24"). THE INSIDE BASE OF THE MANHOLE SHALL BE FILLED WITH CONCRETE TO FORM A BENCH SLOPING TOWARD THE FLOW CHANNEL. WATERTIGHT MANHOLE COVERS ARE TO BE USED WHEREVER THE MANHOLE COVERS MAY BE FLOODED BY STREET RUNOFF OR HIGH WATER. PIPE CONNECTIONS TO MANHOLES AND JOINTS ON MANHOLES SHALL BE WATERTIGHT. CONCRETE MANHOLES SHALL BE WATERPROOFED ON THE EXTERIOR WHERE GROUNDWATER CONDITIONS ARE UNFAVORABLE.
- GRAVITY SEWER LINES SHALL BE PVC PIPE, SCHEDULE SDR-35. ALL PIPES AND FITTINGS SHALL MEET OR EXCEED ALL REQUIREMENTS OF ASTM SPECIFICATIONS D-3034 AND/OR OTHER REQUIREMENTS OF UNI-BELL UNI-84. JOINTS SHALL BE EITHER O-RING TYPE "OR" MECHANICAL SEAL JOINT MEETING MATERIAL REQUIREMENTS OF ASTM 1784 AND JOINT REQUIREMENTS OF ASTM 3212. NO SOLVENT CEMENT JOINTS WILL BE PERMITTED IN FIELD CONSTRUCTION, EXCEPT AS SPECIFICALLY AUTHORIZED BY CTUB.
- LATERAL PIPING AND FITTINGS, IN SIZES 4" THROUGH 6", SHALL BE PVC PIPE, SCHEDULE 40.
- THE DEVELOPER SHALL FURNISH AND INSTALL THE WYE BRANCHES, RISER PIPE, SERVICE LATERALS, TRANSITION FITTINGS, AND INCIDENTALS WHERE SHOWN ON THE PLANS OR WHERE DIRECTED BY THE CTUB.
- HOME OWNER INSTALLED SERVICE LATERALS - PIPE SHALL BE 4" MINIMUM SDR-35 OR SCHEDULE 40 INSTALLED AT 2% MINIMUM SLOPE. LATERAL SHOULD BE PLACED WITH 3 FEET MINIMUM COVER UNLESS OTHERWISE APPROVED BY CTUB. CONNECTION OF HOME OWNER LATERAL TO EXISTING LATERAL SHALL BE BY FITTING OF SAME TYPE OF PIPE. BEDDING SHALL BE NO. 8 OR NO. 10 LIMESTONE OR OTHER MATERIAL AS APPROVED BY CTUB. THE LATERAL AND CONNECTIONS SHALL BE INSPECTED AND APPROVED BY A REPRESENTATIVE OF CTUB PRIOR TO COVERINGS WITH BEDDING.

ZONING ORDINANCE SUMMARY:

- ZONING REQUIREMENTS:
CURRENT ZONE: RESIDENTIAL GROWTH (RG)
PROPOSED USE: SINGLE-FAMILY DETACHED DWELLINGS (49 LOTS)
- ENVIRONMENTAL:
ENVIRONMENTAL STANDARDS CONTAINED IN SECTIONS 8.9.A.1 THROUGH 8.9.A.8 OF THE JEFFERSON COUNTY ZONING AND LAND DEVELOPMENT ORDINANCE WILL APPLY.
- SITE LIGHTING:
STREET LIGHTING IS NOT REQUIRED WHEN LOTS ARE MORE THAN 15,000 SQUARE FEET.
- USE REQUIREMENTS: REQUIRED

LOT WIDTH:	N/A
BUILDING HEIGHT:	40' (MAX.)
BUILDING SETBACK: FRONT: SIDE: STREET SIDE: REAR:	25' (MIN.) 12' (MIN.) 15' (MIN.) 20' (MIN.)
AREA PER DWELLING UNIT:	N/A
MINIMUM LOT AREA:	40,000 SF
PARKING / DRIVE AISLE SETBACK:	N/A
- PROVIDED AREAS
LOT AREA: 54.38 ACRES
ROW AREA: 5.23 ACRES
STORMWATER AREAS: 5.42 ACRES
- MODEL HOMES WITH A STAFFED SALES OFFICE FOR SALES EXCLUSIVELY WITHIN THE RESIDENTIAL SUBDIVISION THAT ARE LOCATED ARE PERMITTED PROVIDED THAT THERE ARE CONTAINED ON THE FIRST LOT ON EITHER OR BOTH SIDES OF ANY ROAD/RIGHT - OF -WAY THAT ENTERS THE SUBDIVISION. MODEL HOMES WITH STAFFED SALES OFFICE PERMITTED ON LOTS 1, 50, 8, & 30.

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3)	2021-11-30	PER JEFFERSON COUNTY COMMENTS		
4)	2021-12-17	PER JEFFERSON COUNTY COMMENTS		
5)	2022-01-04	PER JEFFERSON COUNTY COMMENTS		

GENERAL NOTES

MILTON'S LANDING
PRELIMINARY PLAT

DIST 2, MAP 11, PARCEL 30.2 (DB 1271/PG 136)
JEFFERSON COUNTY, WEST VIRGINIA

J.C.P.C. FILE #XX-XX

SCALE:	HORIZ.: N/A VERT.:
DATE:	SEPTEMBER 2021
JOB:	3529-0101
DRAWN:	CHECK:
CADD:	C-GI-002.DWG
NCS:	N/A
SHEET:	02 OF 44

NOT TO SCALE

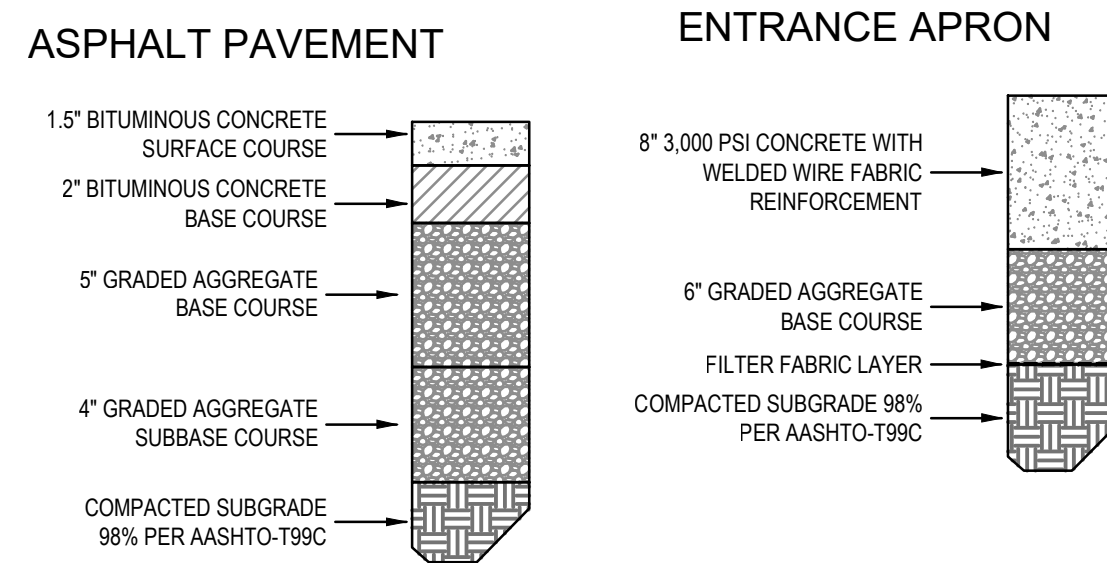


<u>MATERIAL</u>	<u>MAX. 10-YR VELOCITY:</u>	<u>MAX. SLOPE</u>
SEED & MULCH (GRASS)	2.0 FPS	3.5%
MESH DITCH LINER	3.0 FPS	5.0%
SOLID SODDING	5.0 FPS	10.0%
LOOSE RIP-RAP	7.0 FPS	10.0%
CONCRETE CHANNEL	GOVERNED BY ENERGY DISSIPATION	
		—

NOTES:

1. TYPICAL ROAD SECTIONS WERE APPROVED FOR SWM PURPOSES AS PART OF WAIVER REQUEST FOR OPEN DITCH SECTION IN LIEU OF CURBS & GUTTERS (APPROVED 04/10/2018 FOR ORDINANCE SECTION 2.2.K.1.A).

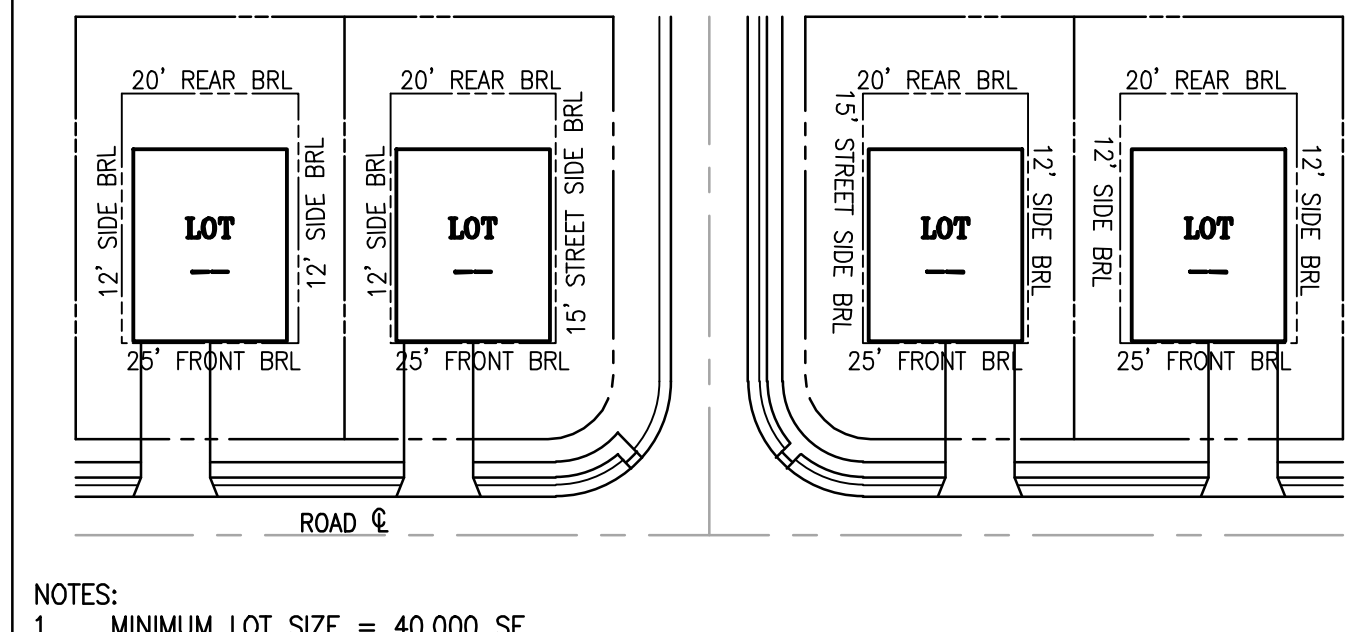
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NOTES

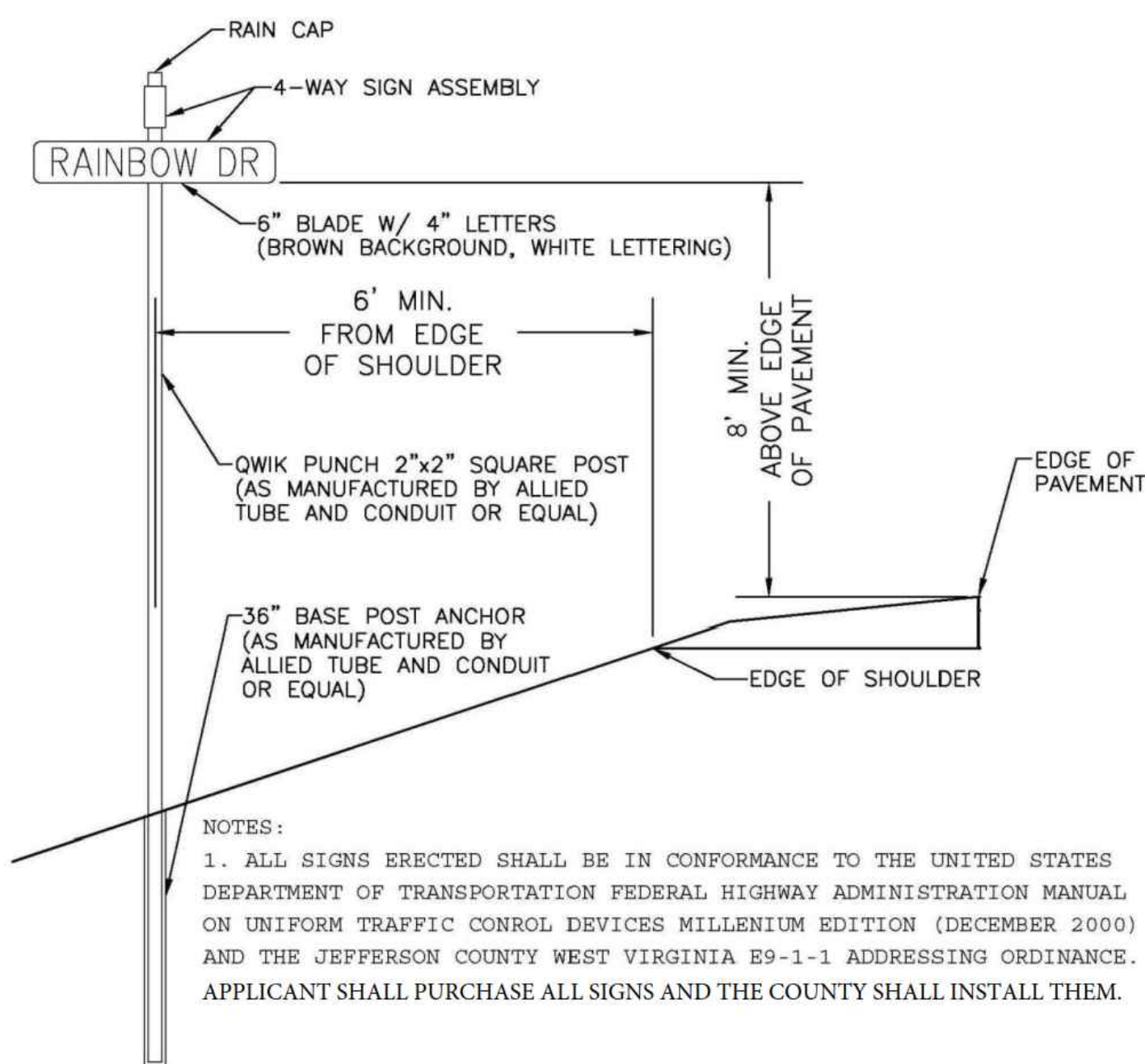
1. PAVEMENT SECTION BASED ON THE FOLLOWING SUBGRADE SUPPORT CLASS: C (POOR).
2. SIZE RANGE OF AGGREGATES (BASED ON WOODH. STD. SPECIFICATION TABLES 703.4 & 704.6.2:
 BASE COURSE: SIZE NUMBERS 4 TO 57 OR CLASSES 1, 2, 4, 6 OR 8
 SUBBASE COURSE: SIZE NUMBERS 1 TO 357
3. SOILS TESTS OF SUBGRADE MUST BE SUBMITTED FOR ACTUAL DETERMINATION BASED ON CBR OF REQUIRED PAVEMENT SECTION THICKNESS PRIOR TO CONSTRUCTION.
4. ALL SUBGRADE MATERIAL SHALL BE COMPACTED TO 98% OF MAXIMUM DRY DENSITY AS DETERMINED BY AASHTO T99C.
5. ALL BASE AND SUBBASE MATERIAL SHALL BE COMPACTED TO 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY AASHTO T99C.
6. BITUMINOUS CONCRETE BASE COURSE SHALL BE APPLIED TO THE PREPARED GRAVEL BASE SURFACE FOLLOWING THE APPLICATION OF A LIQUID ASPHALT PRIME COAT.
7. ASPHALT MATERIAL SHALL COMPLY WITH THE MINIMUM SPECIFICATIONS REQUIRED BY THE WOODH FOR PUBLIC ROADS.
8. A CBR VALUE OF 4 AND A RESILIENCY FACTOR OF 1.0 FOR THE NATIVE SOIL MATERIAL IS RECOMMENDED PER GEOTECHNICAL ENGINEERING REPORT TITLED "MAGNOLIA SPRINGS SUBDIVISION" PREPARED BY ECS MID-ATLANTIC, LLC. DATED AUGUST 15, 2018.

NOT TO SCALE



NOTES

1. MINIMUM LOT SIZE = 40,000 SF.

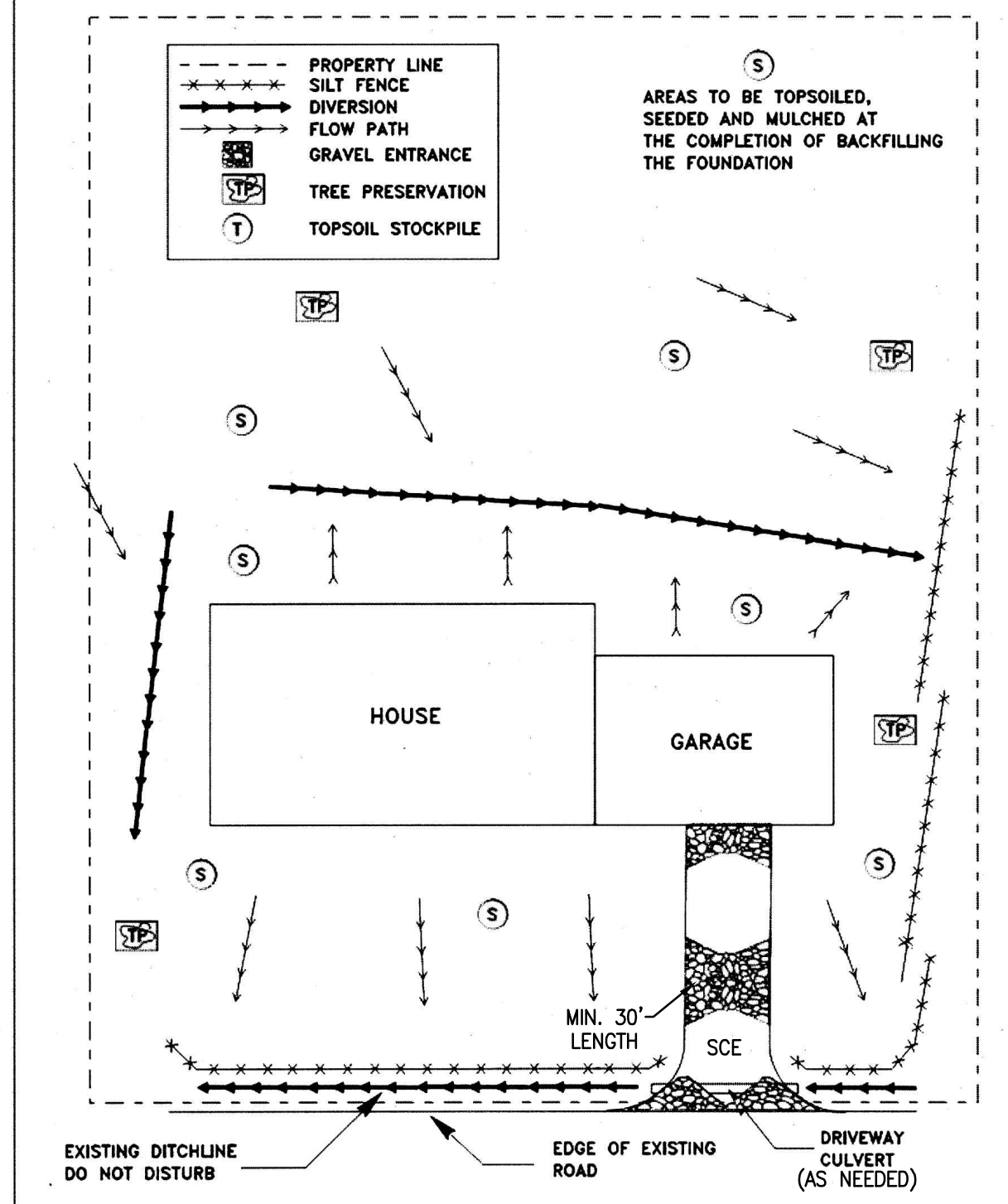


STREET SIGN DETAILS

NOT TO SCALE

FIGURE 6.1

*INDIVIDUAL HOUSE LOT
SEDIMENT CONTROL PLAN*



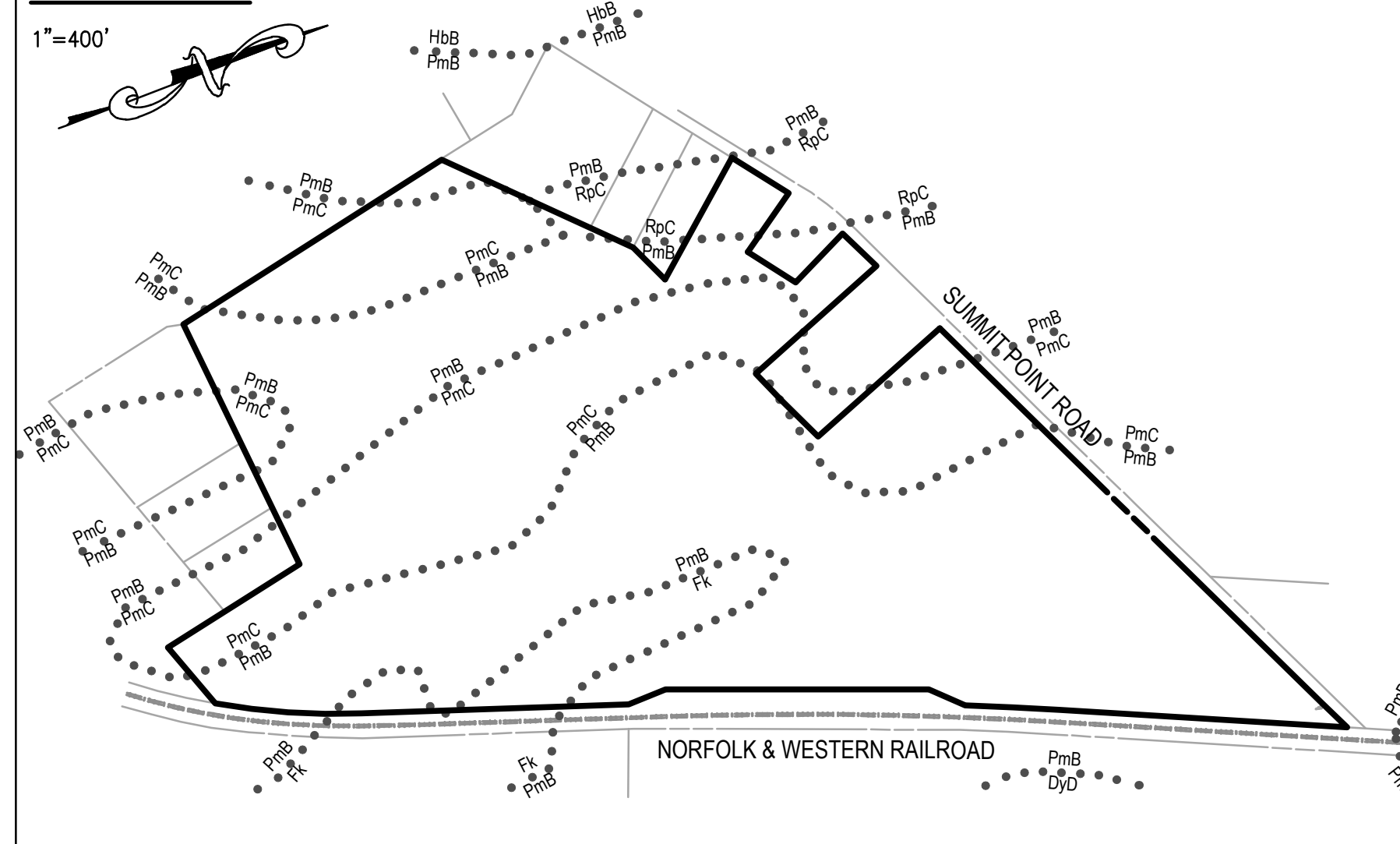
NOTES:

1. FINAL LIMITS OF CONSTRUCTION WILL BE DETERMINED DURING HOUSE SITING.
2. AREAS OF DISTURBANCE ARE TO BE TOPSOILED, SEEDED AND MULCHED AT THE COMPLETION OF BACKFILLING THE FOUNDATION

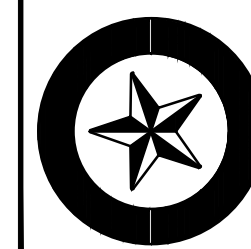
SOIL NAME	MAPPING UNIT	DEPTH TO RESTRICTIVE FEATURE	DRAINAGE CLASS	PERMEABILITY (IN/HR)	DEPTH TO WATER TABLE	HS
DUFFIELD-RYDER COMPLEX, 15-25% SLOPES	DyD	MORE THAN 80"	WELL DRAINED	Moderately High-High 0.6-2.0	MORE THAN 80"	B
FUNKSTOWN SILT LOAM	Fk	MORE THAN 80"	Moderately Well DRAINED	0.57-1.98	20"-28"	C
HAGERSTOWN SILT LOAM, 3-8% SLOPES	HbB	43"-98" TO BEDROCK	WELL DRAINED	Moderately High-High 0.6-2.0	MORE THAN 80"	B
POPLIMENTON SILT LOAM, 3-8% SLOPES	PmB	MORE THAN 80"	WELL DRAINED	Moderately High-0.2-0.57	MORE THAN 80"	B
POPLIMENTON SILT LOAM, 8-15% SLOPES	PmC	MORE THAN 80"	WELL DRAINED	Moderately High-0.2-0.57	MORE THAN 80"	B
RYDER-POPLIMENTON COMPLEX, 8-15% SLOPES	RpC	MORE THAN 80"	WELL DRAINED	Moderately High-0.2-0.57	MORE THAN 80"	B
URBAN LAND-HAGERSTOWN COMPLEX, 0-15% SLOPES	UwC	MORE THAN 80"	WELL DRAINED	Moderately High-High 0.6-2.0	MORE THAN 80"	B

SOILS INFORMATION PROVIDED BY THE USDA SOIL SURVEY OF JEFFERSON COUNTY, WEST VIRGINIA.

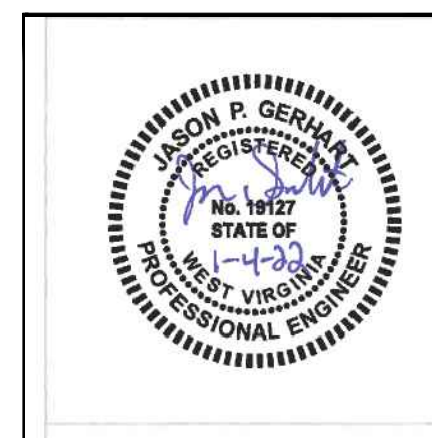
SOILS MAP:



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GENERAL DETAILS

MILTON'S LANDING PRELIMINARY PLAT

DIST 2, MAP 11, PARCEL 30.2 (DB 1271/PG 136)
JEFFERSON COUNTY, WEST VIRGINIA

J.C.P.C. FILE #XX-XX

SCALE:	HORIZ.: AS NOTED VERT.:
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DATE: SEPTEMBER 2021

JOB: 3529-0101

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CADD: C-GI-002.DWG

NCS: N/A

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3)	2021-11-30 PER JEFFERSON COUNTY COMMENTS
4)	2021-12-17 PER JEFFERSON COUNTY COMMENTS
5)	2022-01-04 PER JEFFERSON COUNTY COMMENTS

EXISTING CONDITIONS AND DEMOLITION PLAN

MILTON'S LANDING

PRELIMINARY PLAT

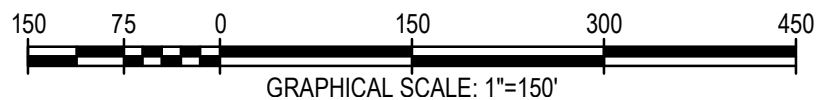
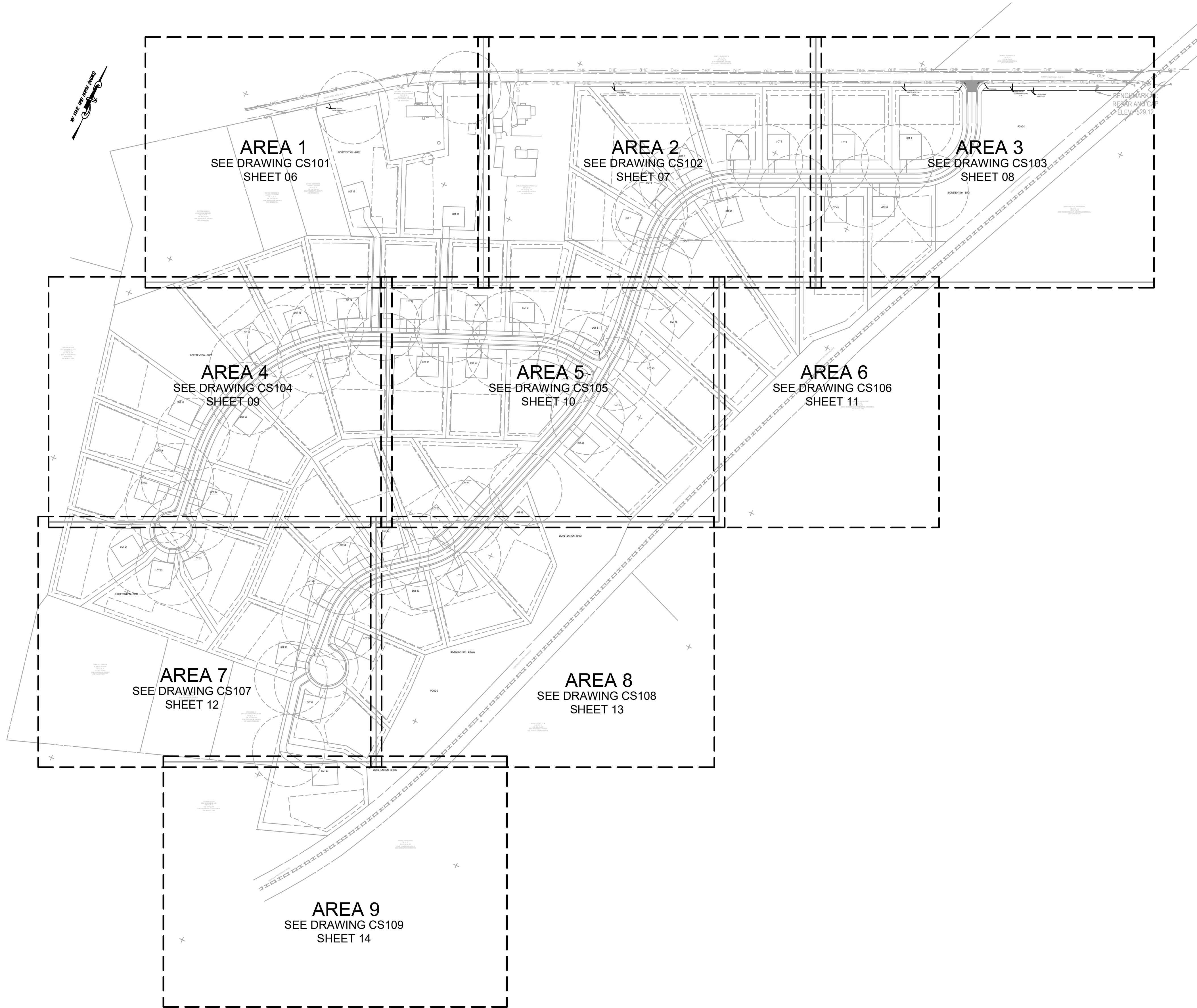
DIST 2, MAP 11, PARCEL 30.2 (DB 1271/PG 136)

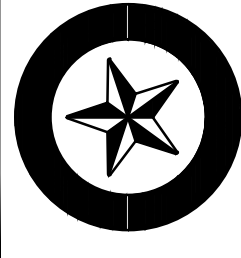
JEFFERSON COUNTY, WEST VIRGINIA

J.C.P.C. FILE #XX-XX

SCALE:	HORIZ.: 1" = 100'
DATE:	SEPTEMBER 2021
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NCS:	N/A
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4)	2021-12-17 PER JEFFERSON COUNTY COMMENTS
5)	2022-01-04 PER JEFFERSON COUNTY COMMENTS

PRELIMINARY PLAT KEY MAP

MILTON'S LANDING
PRELIMINARY PLAT
DIST 2, MAP 11, PARCEL 30.2 (DB 1271/PG 136)
JEFFERSON COUNTY, WEST VIRGINIA

J.C.P.C. FILE #XX-XX

SCALE:	HORIZ.: 1" = 150'
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NCS:	N/A
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4)	2021-12-17 PER JEFFERSON COUNTY COMMENTS
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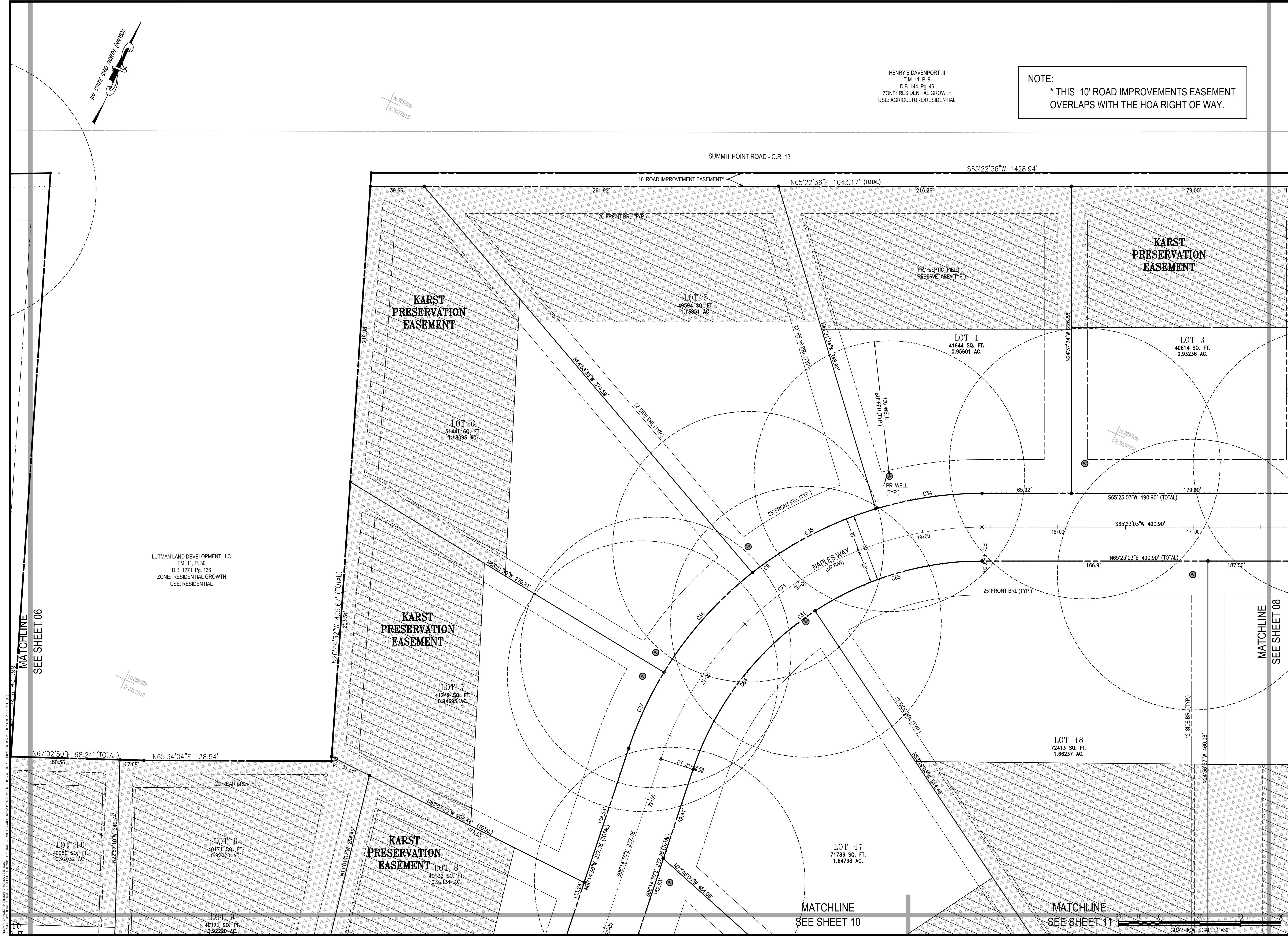
PRELIMINARY PLAT AREA 1

MILTON'S LANDING
PRELIMINARY PLAT

DIST 2, MAP 11, PARCEL 30.2 (DB 1271/PG 136)
JEFFERSON COUNTY, WEST VIRGINIA

J.C.P.C. FILE #XX-XX

SCALE:	HORIZ.: 1" = 30'
	VERT.: 1" = 30'
DATE:	SEPTEMBER 2021
JOB:	3529-0101
DRAWN:	CHECK:
CADD:	C-CS-101.DWG
NCS:	N/A
SHEET:	06 OF 44



HENRY B DAVENPORT III
T.M. 11, P. 9
D.B. 144, Pg. 46
ZONE: RESIDENTIAL GROWTH
USE: AGRICULTURE/RESIDENTIAL

NOTE:
* THIS 10' ROAD IMPROVEMENTS EASEMENT
OVERLAPS WITH THE HOA RIGHT OF WAY.

LUTMAN LAND DEVELOPMENT LLC
T.M. 11, P. 30
D.B. 1271, Pg. 136
ZONE: RESIDENTIAL GROWTH
USE: RESIDENTIAL

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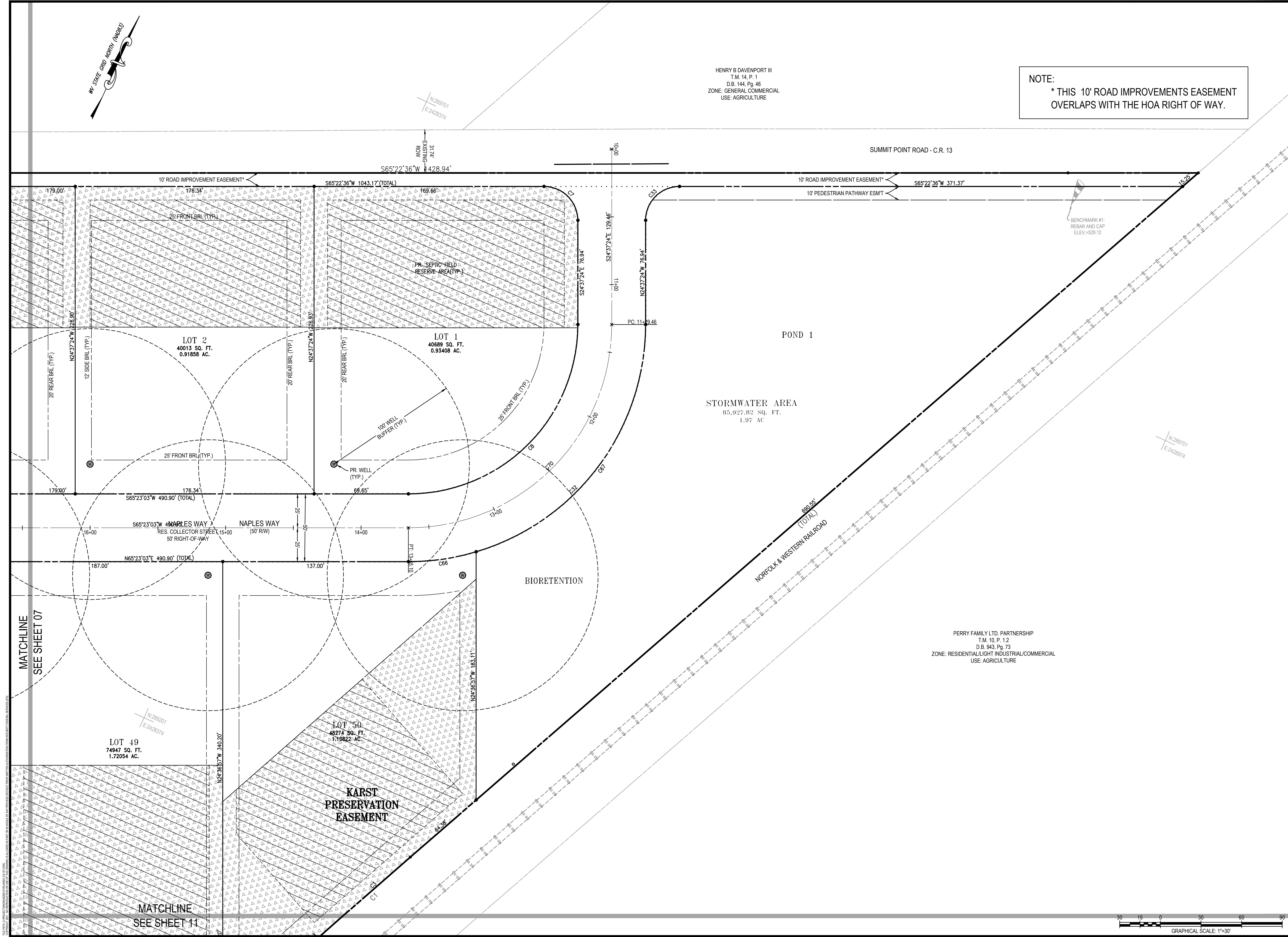
REVISIONS	
1)	2021-10-07 PER WDOH COMMENTS
2)	2021-11-12 PER JEFFERSON COUNTY COMMENTS
3)	2021-11-30 PER JEFFERSON COUNTY COMMENTS
4)	2021-12-17 PER JEFFERSON COUNTY COMMENTS
5)	2022-01-04 PER JEFFERSON COUNTY COMMENTS

PRELIMINARY PLAT AREA 2

MILTON'S LANDING
PRELIMINARY PLAT
DIST 2, MAP 11, PARCEL 30.2 (DB 1271/PG 136)
JEFFERSON COUNTY, WEST VIRGINIA

J.C.P.C. FILE #XX-XX

SCALE:	HORIZ.: 1" = 30'
	VERT.:
DATE:	SEPTEMBER 2021
JOB:	3529-0101
DRAWN:	CHECK:
CADD:	C-CS-101.DWG
NCS:	N/A
SHEET:	
07 OF 44	



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4) 2021-12-17 PER JEFFERSON COUNTY COMMENTS	
5) 2022-01-04 PER JEFFERSON COUNTY COMMENTS	

PRELIMINARY PLAT AREA 3

MILTON'S LANDING

PRELIMINARY PLAT

DIST 2, MAP 11, PARCEL 30.2 (DB 1271/PG 136)

JEFFERSON COUNTY, WEST VIRGINIA

J.C.P.C. FILE #XX-XX

SCALE:	HORIZ.: 1" = 30'
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DATE:	SEPTEMBER 2021
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DRAWN:	CHECK:
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SHEET:	08 OF 44

1) 2021-10-07 PER WDDOH COMMENTS	
2) 2021-11-12 PER JEFFERSON COUNTY COMMENTS	
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5) 2022-01-04 PER JEFFERSON COUNTY COMMENTS	
	REVISIONS

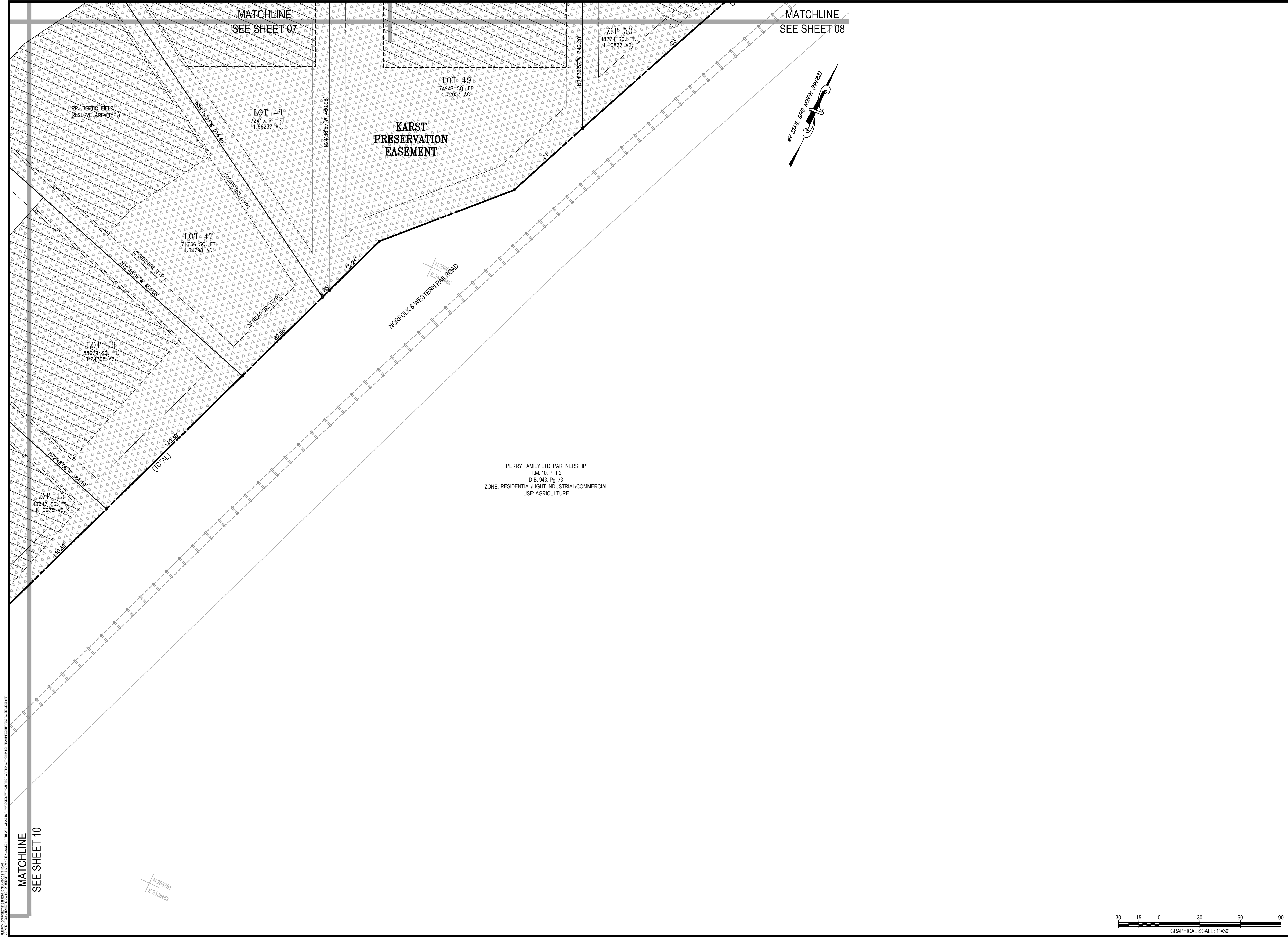
PRELIMINARY PLAT AREA 5

**MILTON'S LANDING
PRELIMINARY PLAT**

DIST 2 MAP 11, PARCEL 30.2 (DB 1271/PG 136)
JEFFERSON COUNTY, WEST VIRGINIA

J.C.P.C. FILE #XX-XX

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4) 2021-12-17	PER JEFFERSON COUNTY COMMENTS
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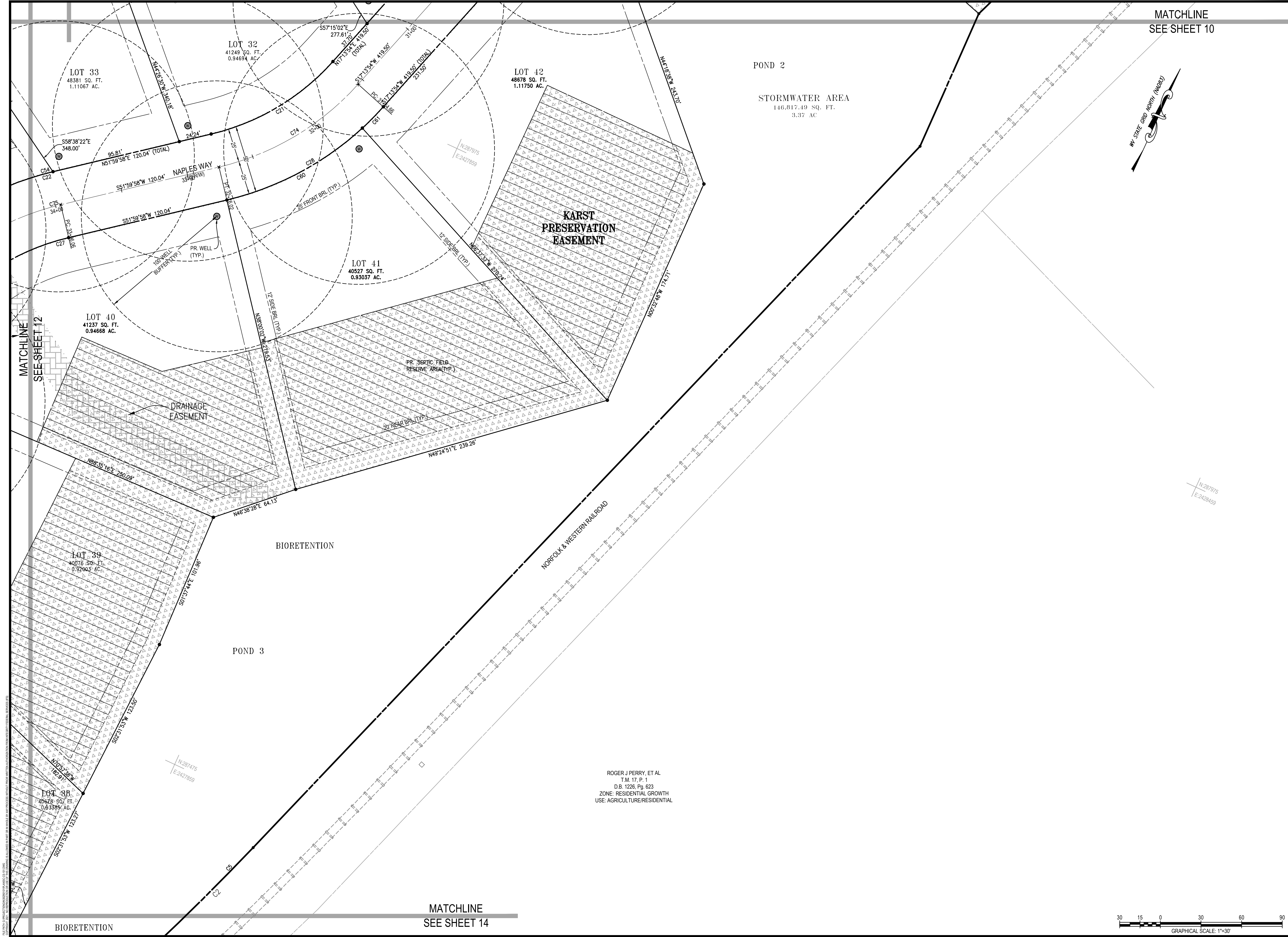
PRELIMINARY PLAT AREA 6

MILTON'S LANDING
PRELIMINARY PLAT

DIST 2, MAP 11, PARCEL 30.2 (DB 1271/PG 136)
JEFFERSON COUNTY, WEST VIRGINIA

J.C.P.C. FILE #XX-XX

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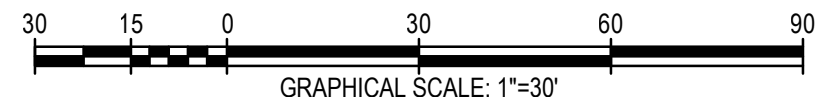
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SEE SHEET 10



MATCHLINE
SEE SHEET 12

MATCHLINE
SEE SHEET 14

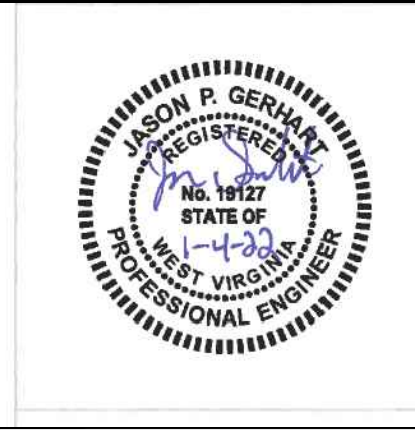
ROGER J. PERRY, ET AL
T.M. 17, P. 1
D.B. 1226, Pg. 623
ZONE: RESIDENTIAL GROWTH
USE: AGRICULTURE/RESIDENTIAL



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5)	2022-01-04 PER JEFFERSON COUNTY COMMENTS

PRELIMINARY PLAT AREA 8

**MILTON'S LANDING
PRELIMINARY PLAT**

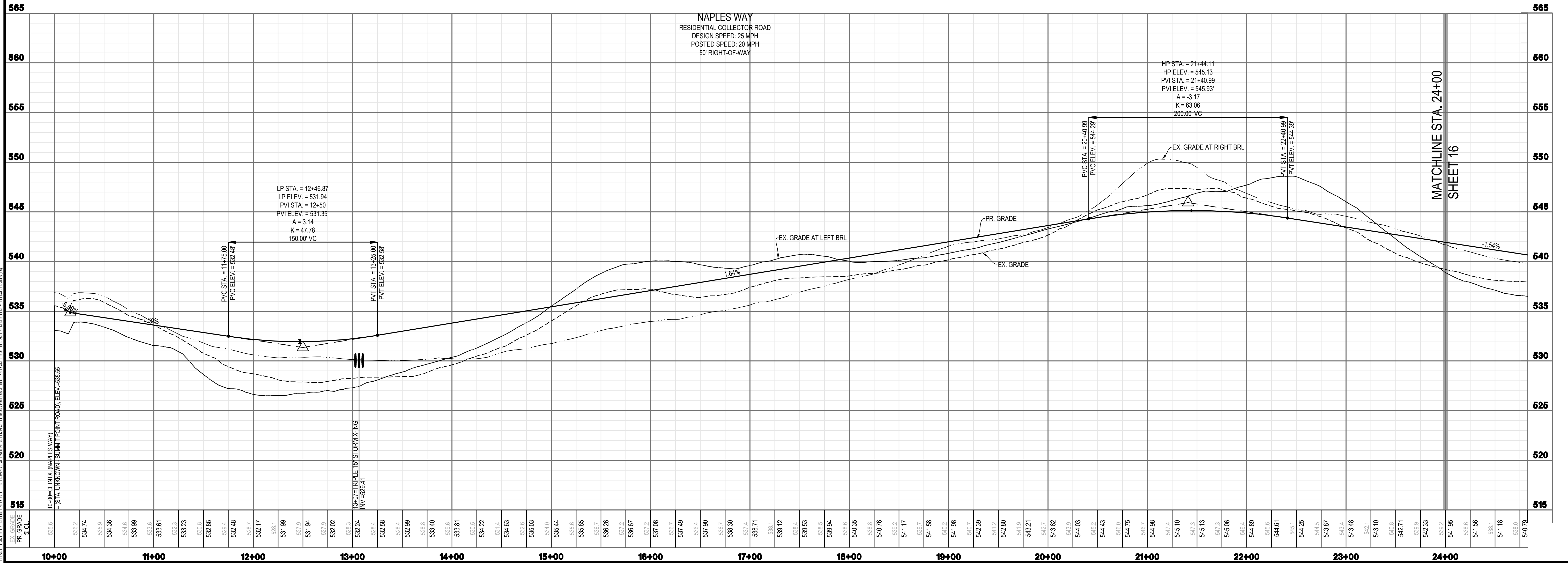
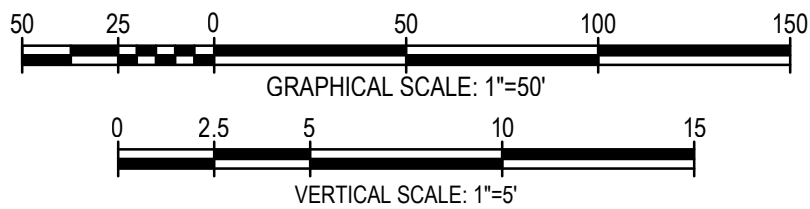
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JEFFERSON COUNTY, WEST VIRGINIA

J.C.P.C. FILE #XX-XX

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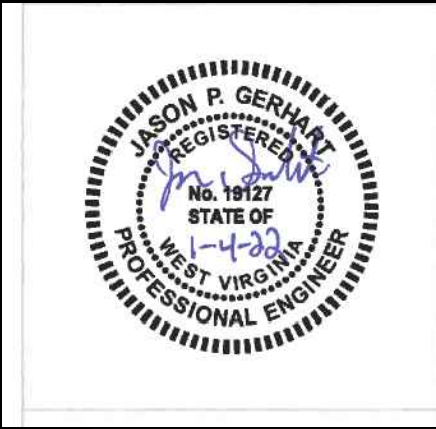
NAPLES WAY (STA. 10+00 - 24+00)
50' RIGHT-OF-WAY
RESIDENTIAL COLLECTOR STREET
DESIGN SPEED: 25 MPH
POSTED SPEED: 20 MPH



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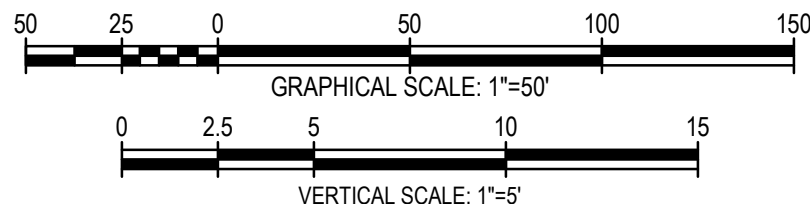
NAPLES WAY PLAN AND PROFILE

MILTON'S LANDING
PRELIMINARY PLAT
DIST 2, MAP 11, PARCEL 30.2 (DB 1271PG 136)
JEFFERSON COUNTY, WEST VIRGINIA

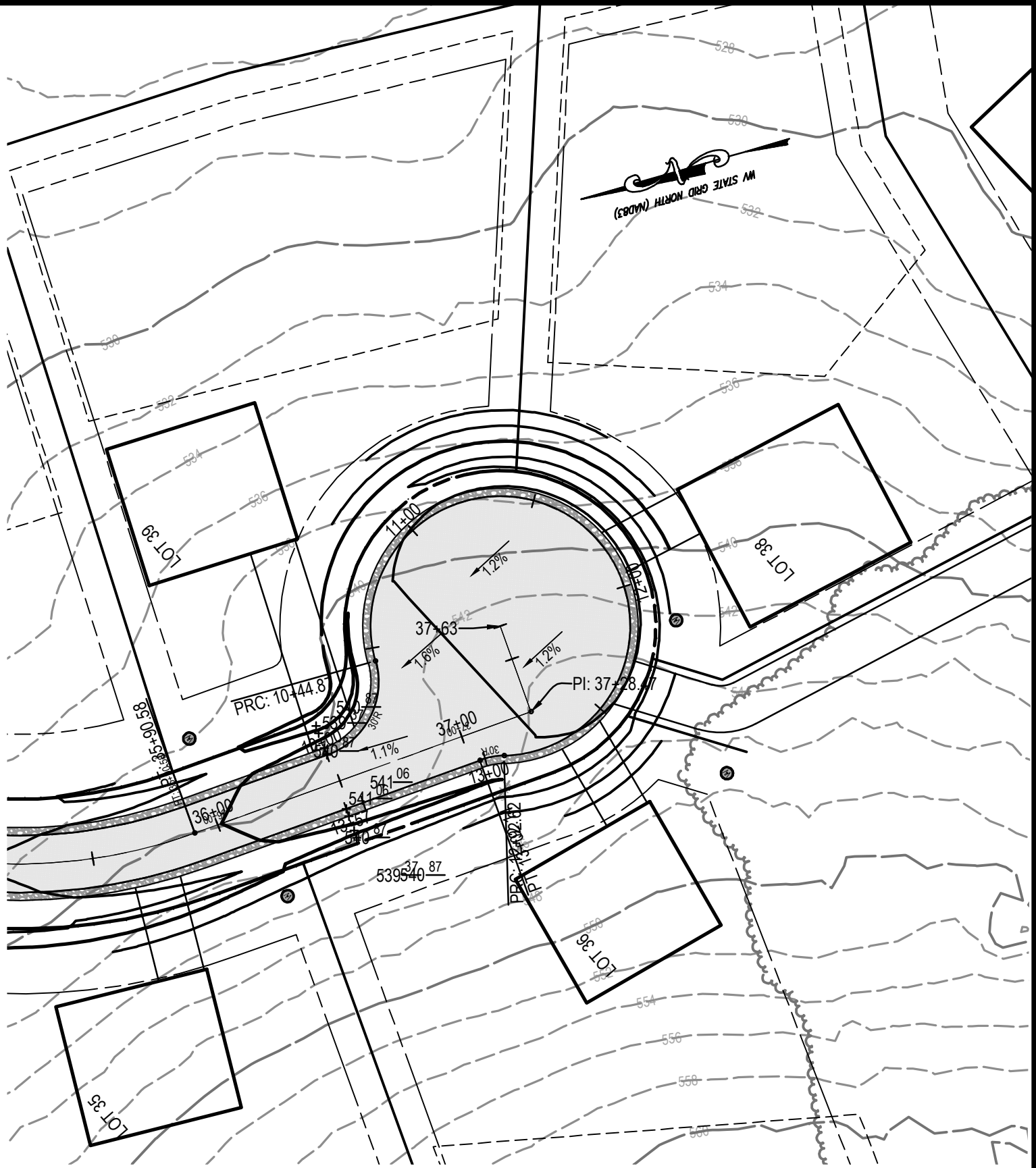
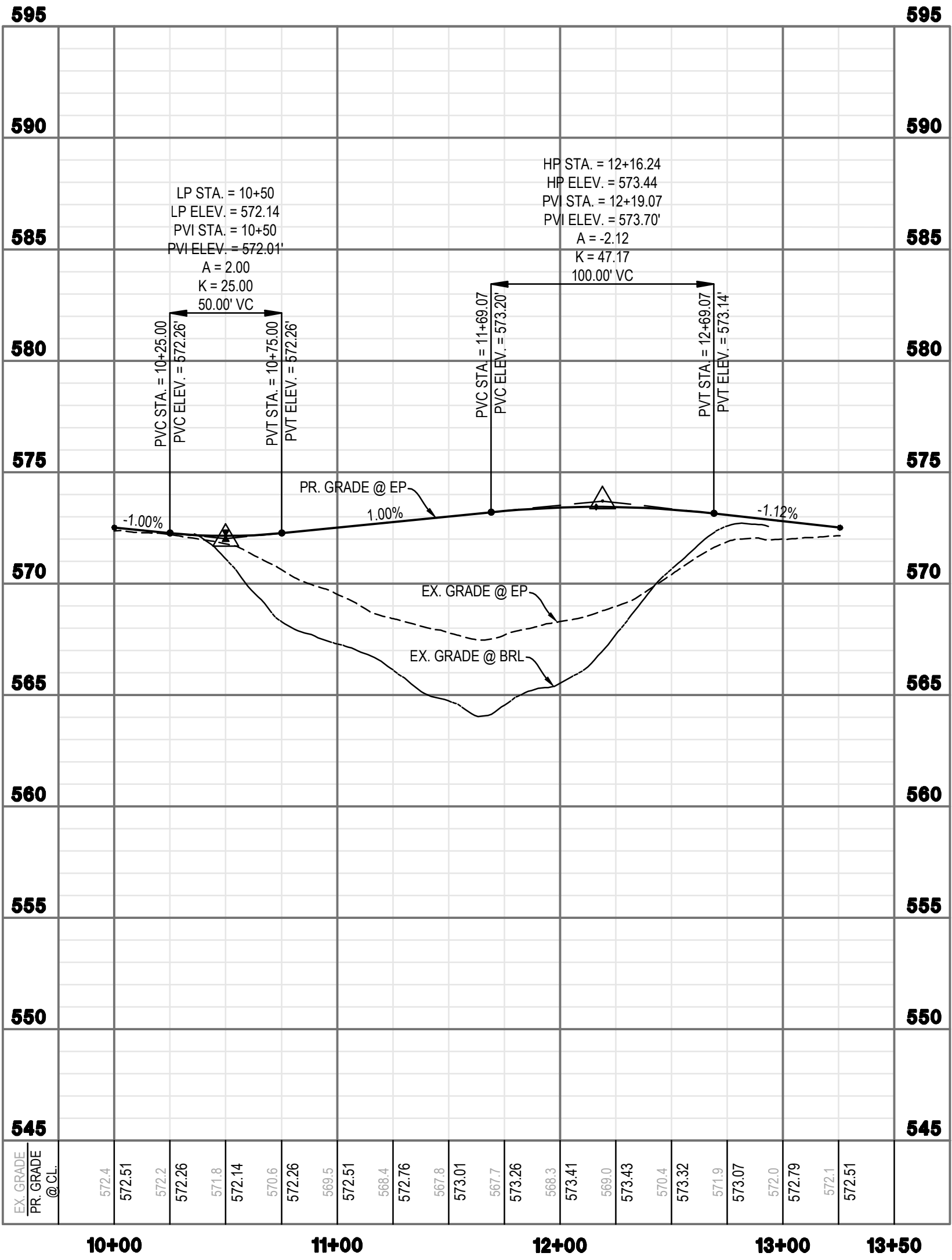
J.C.P.C. FILE #XX-XX

SCALE:	HORIZ.: 1" = 50'
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DATE:	SEPTEMBER 2021
JOB:	3529-0101
DRAWN:	CHECK:
CADD:	C-CT-201.DWG
NCS:	N/A
SHEET:	15 OF 44

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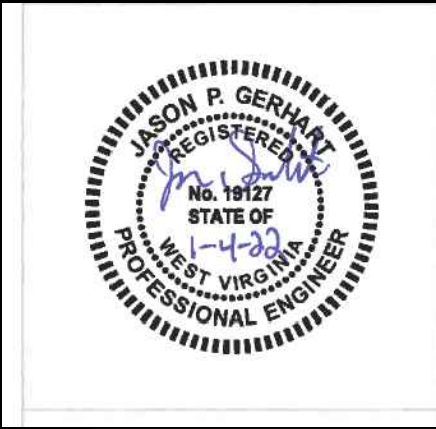
NAPLES WAY (STA. 36+00 - END)
50' RIGHT-OF-WAY
RESIDENTIAL COLLECTOR STREET
DESIGN SPEED: 25 MPH
POSTED SPEED: 20 MPH



REVISIONS	
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NAPLES WAY PLAN AND PROFILE	
MILTON'S LANDING PRELIMINARY PLAT	
DIST 2, MAP 11, PARCEL 30.2 (DB 1271PG 136) JEFFERSON COUNTY, WEST VIRGINIA	
J.C.P.C. FILE #XX-XX	

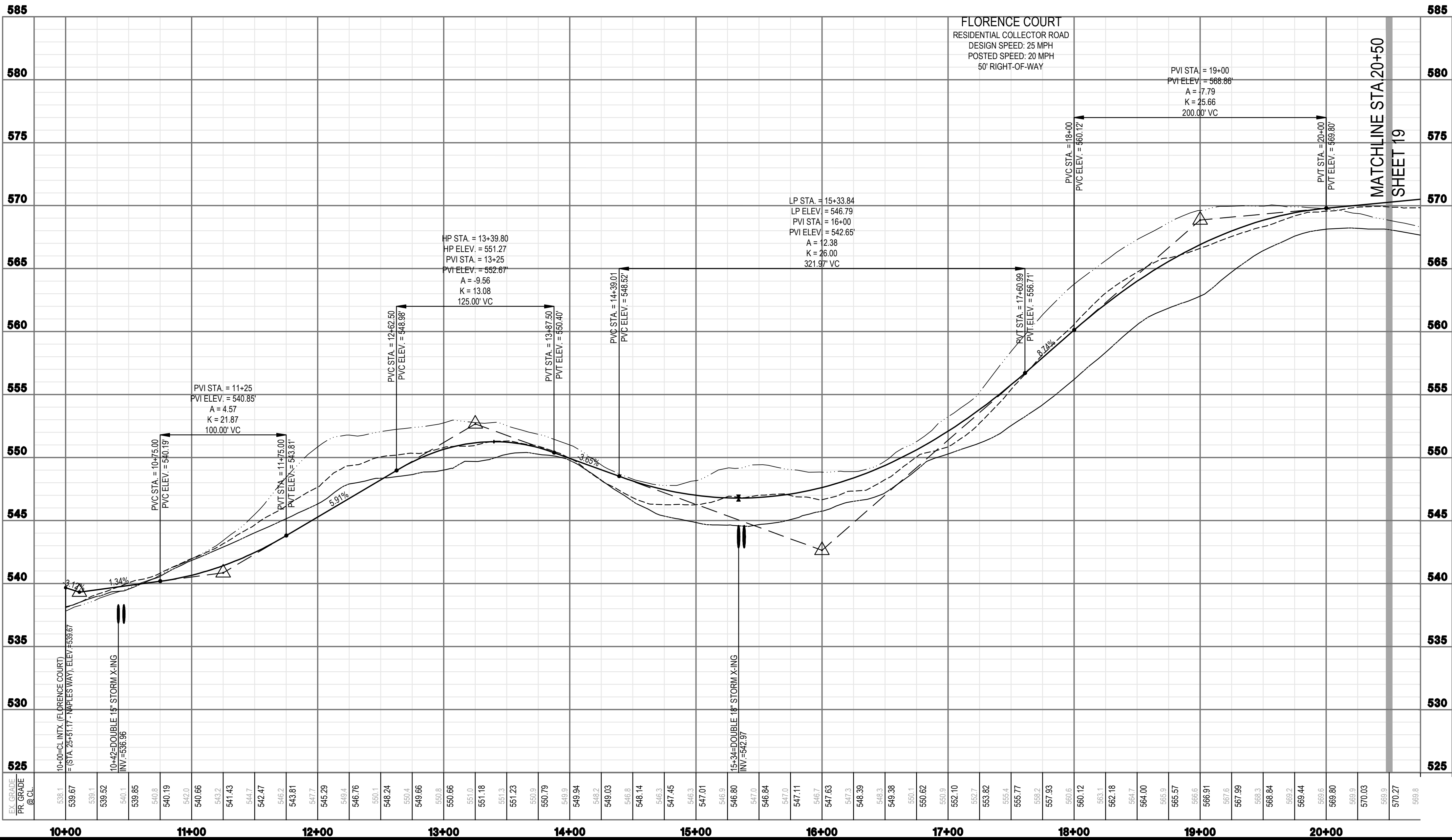
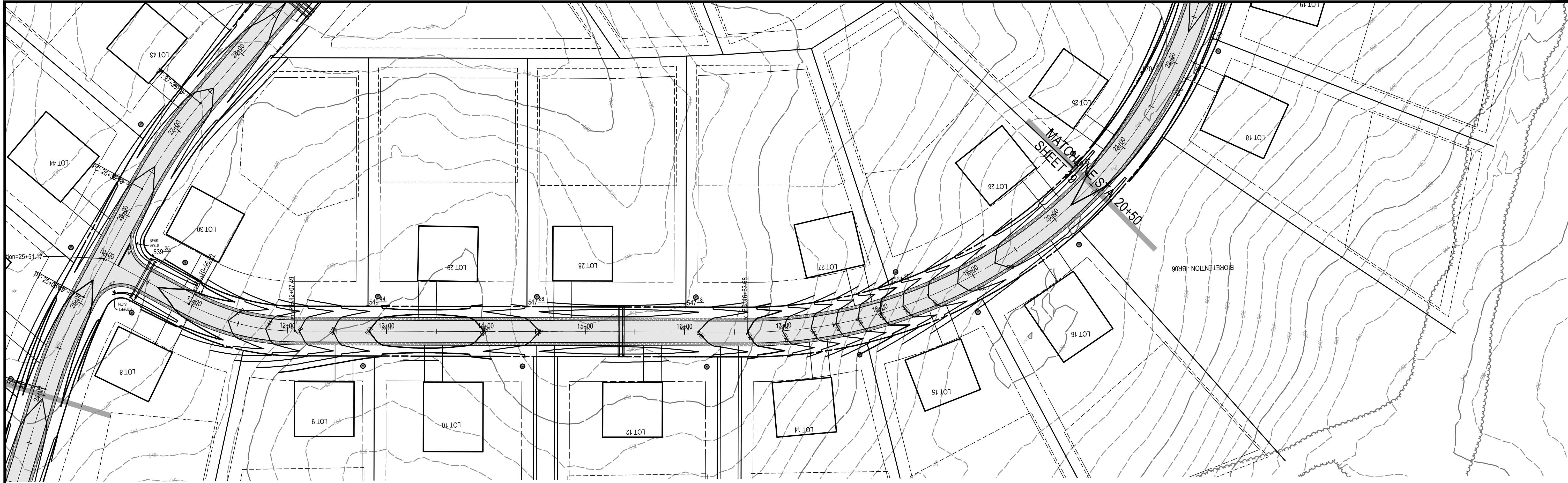
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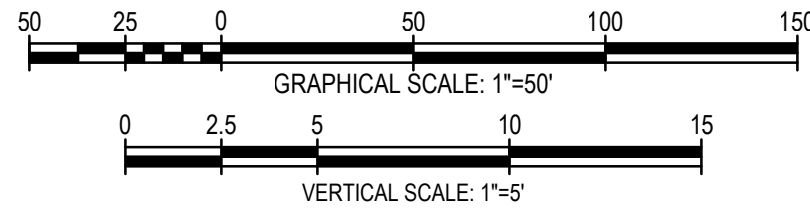
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FLORENCE COURT (STA. 10+00 - 20+50)
50' RIGHT-OF-WAY
RESIDENTIAL COLLECTOR STREET
DESIGN SPEED: 25 MPH
POSTED SPEED: 20 MPH



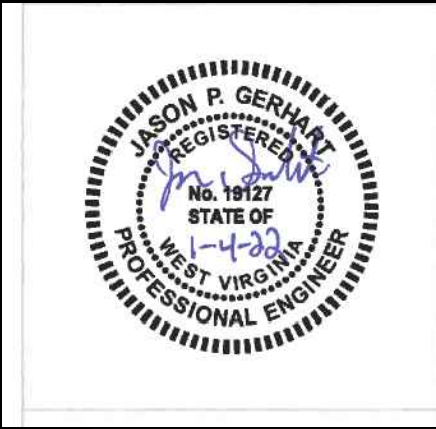
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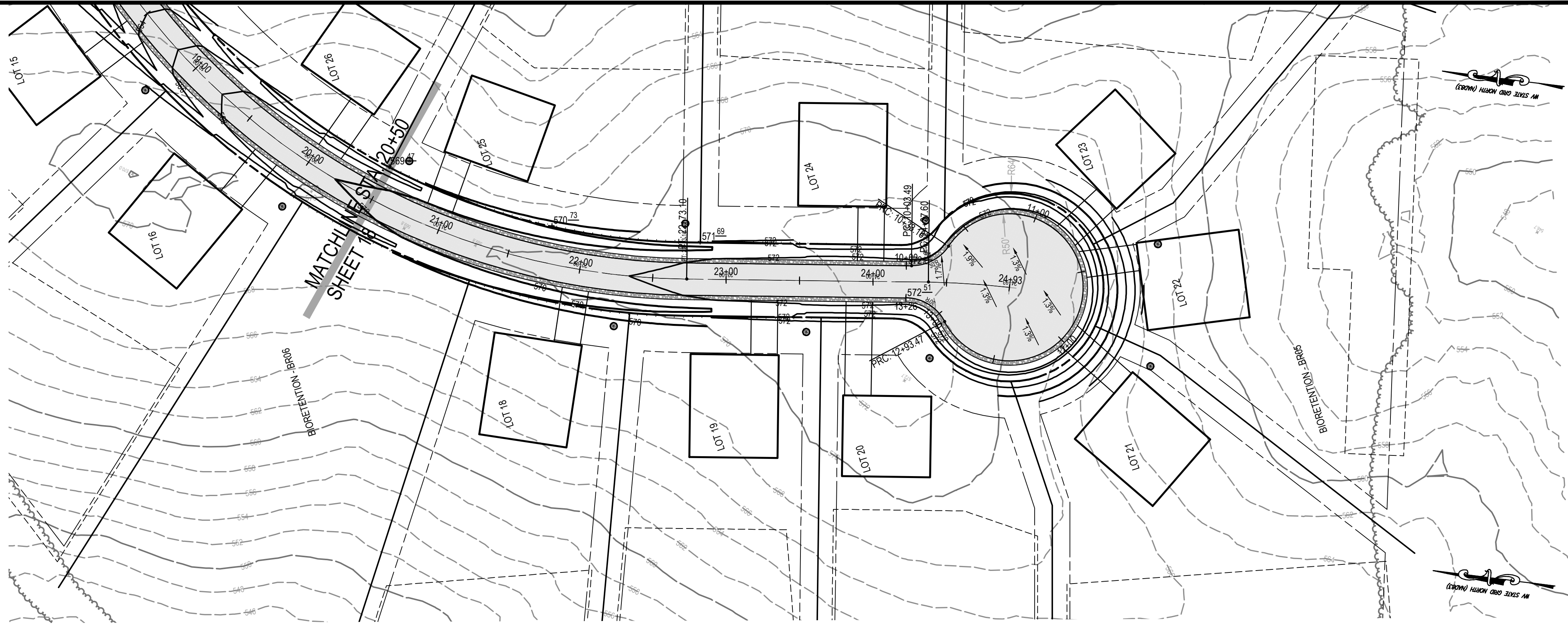
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FLORENCE COURT PLAN AND PROFILE

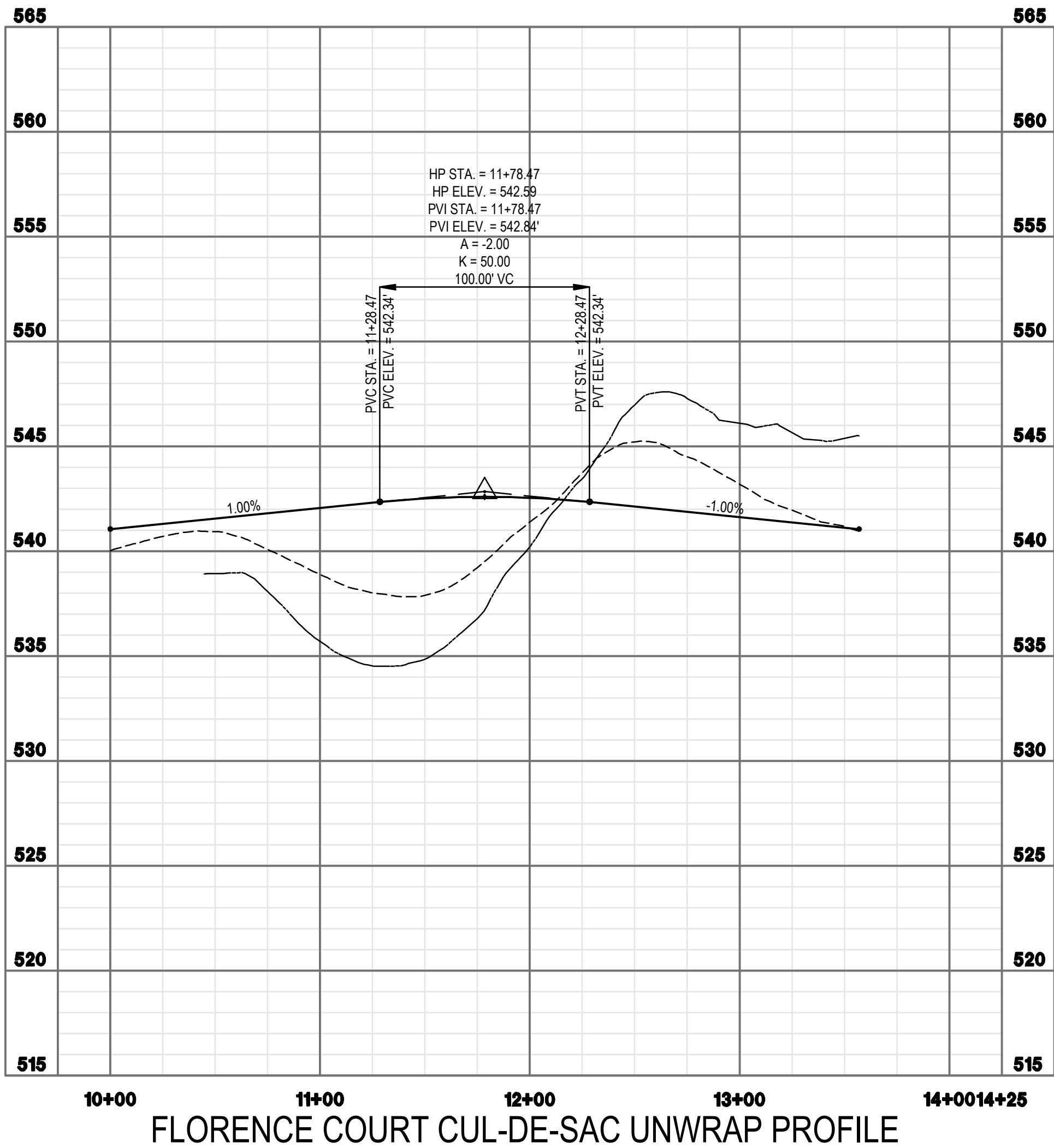
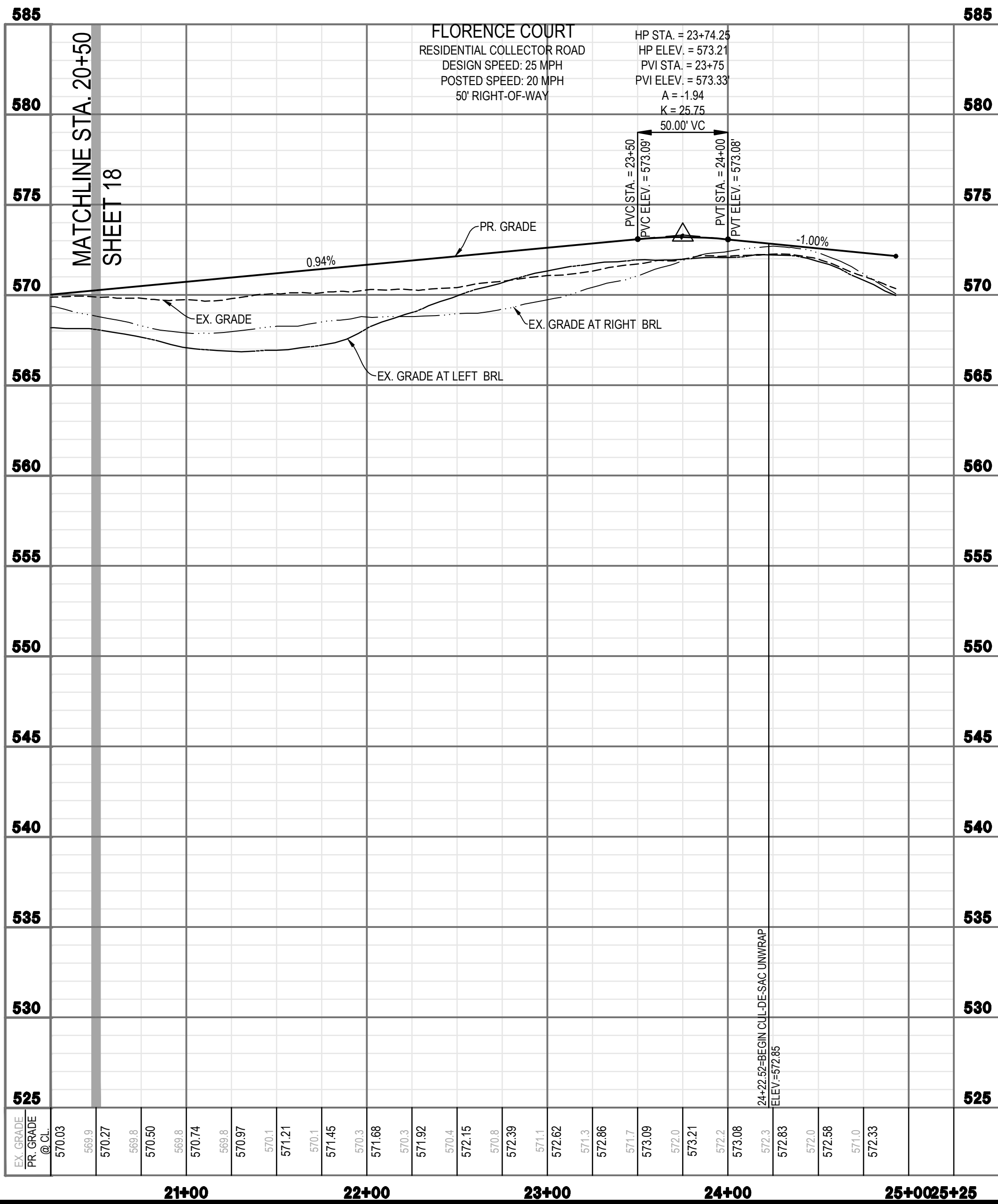
MILTON'S LANDING
PRELIMINARY PLAT
DIST 2, MAP 11, PARCEL 30.2 (DB 1271/PG 136)
JEFFERSON COUNTY, WEST VIRGINIA

J.C.P.C. FILE #XX-XX

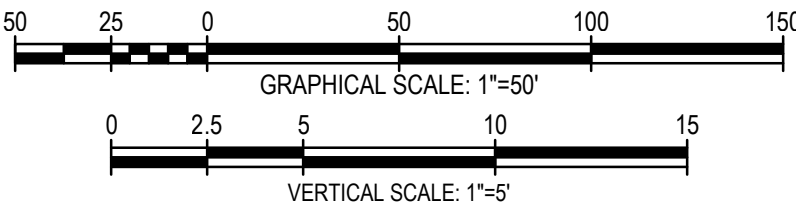
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DATE:	SEPTEMBER 2021
JOB:	3529-0101
DRAWN:	CHECK:
CADD:	C-CT-201.DWG
NCS:	N/A
SHEET:	18 OF 44



FLORENCE COURT (STA. 20+50 - END)
50' RIGHT-OF-WAY
RESIDENTIAL COLLECTOR STREET
DESIGN SPEED: 25 MPH
POSTED SPEED: 20 MPH



FLORENCE COURT CUL-DE-SAC UNWRAP PROFILE



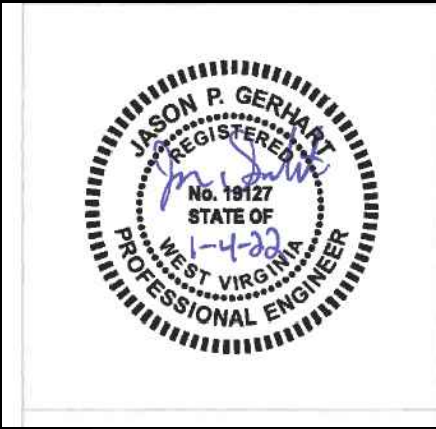


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FLORENCE COURT PLAN AND PROFILE

MILTON'S LANDING

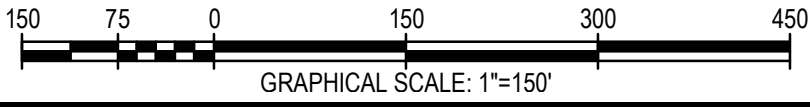
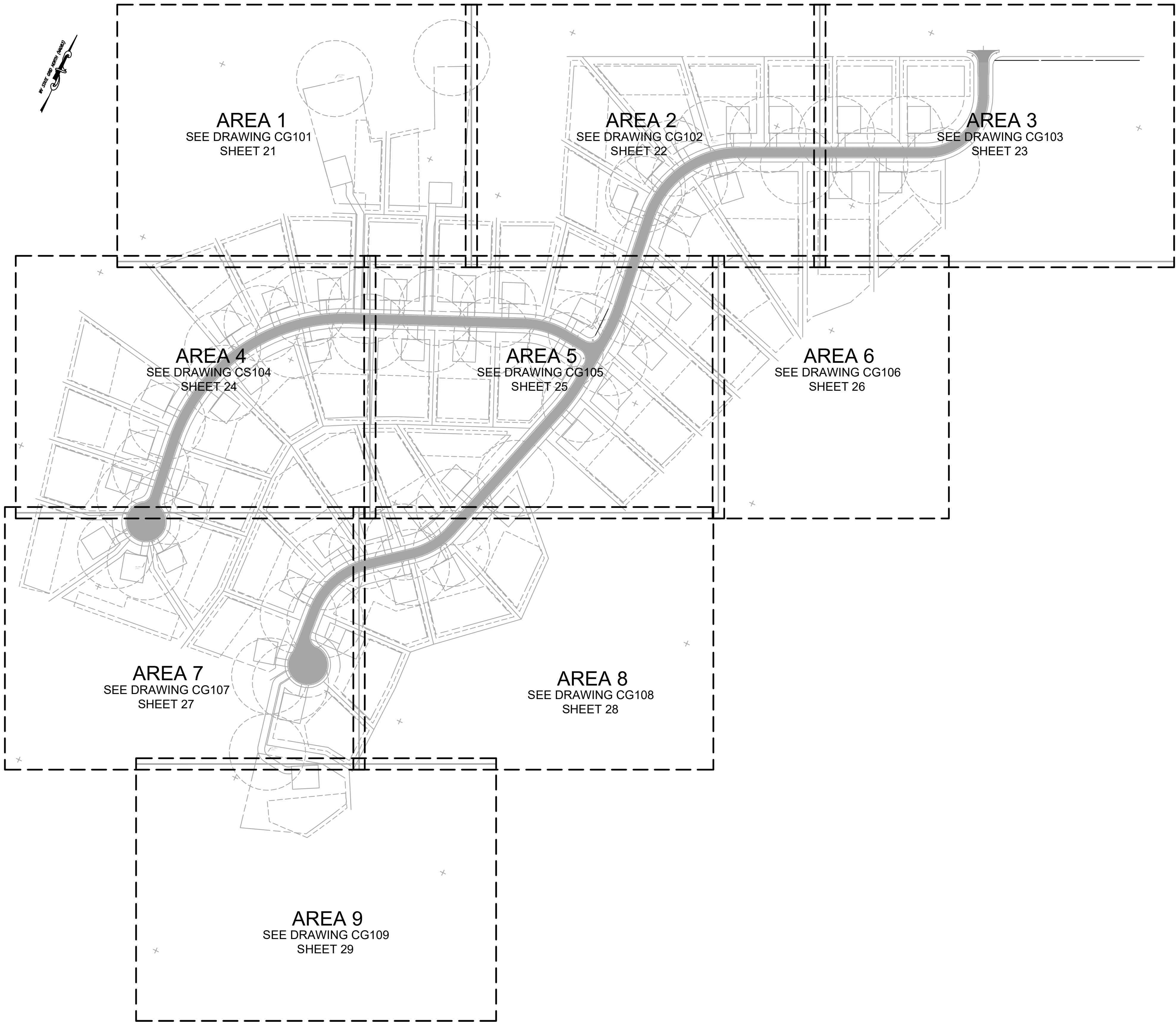
PRELIMINARY PLAT

DIST 2, MAP 11, PARCEL 30.2 (DB 1271/PG 136)
JEFFERSON COUNTY, WEST VIRGINIA

J.C.P.C. FILE #XX-XX

SCALE:	HORIZ.: 1" = 50'
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DATE:	SEPTEMBER 2021
JOB:	3529-0101
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CADD:	C-CT-201.DWG
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SHEET:	19 OF 44

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GRADING PLAN KEY MAP

**MILTON'S LANDING
PRELIMINARY PLAT**
DIST 2, MAP 11, PARCEL 30.2 (DB 1271/PG 136)
JEFFERSON COUNTY, WEST VIRGINIA

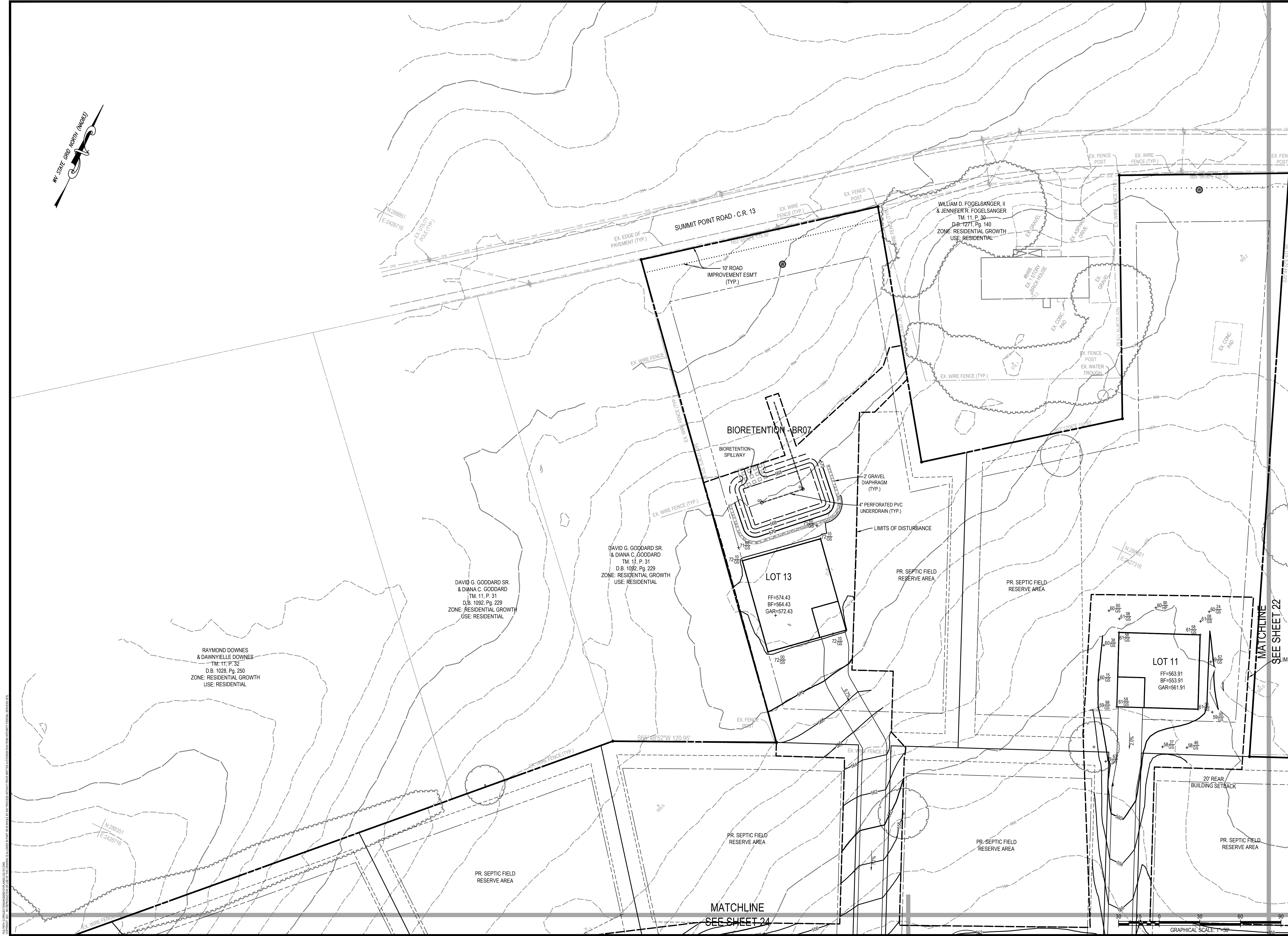
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GRADING PLAN AREA 1

MILTON'S LANDING

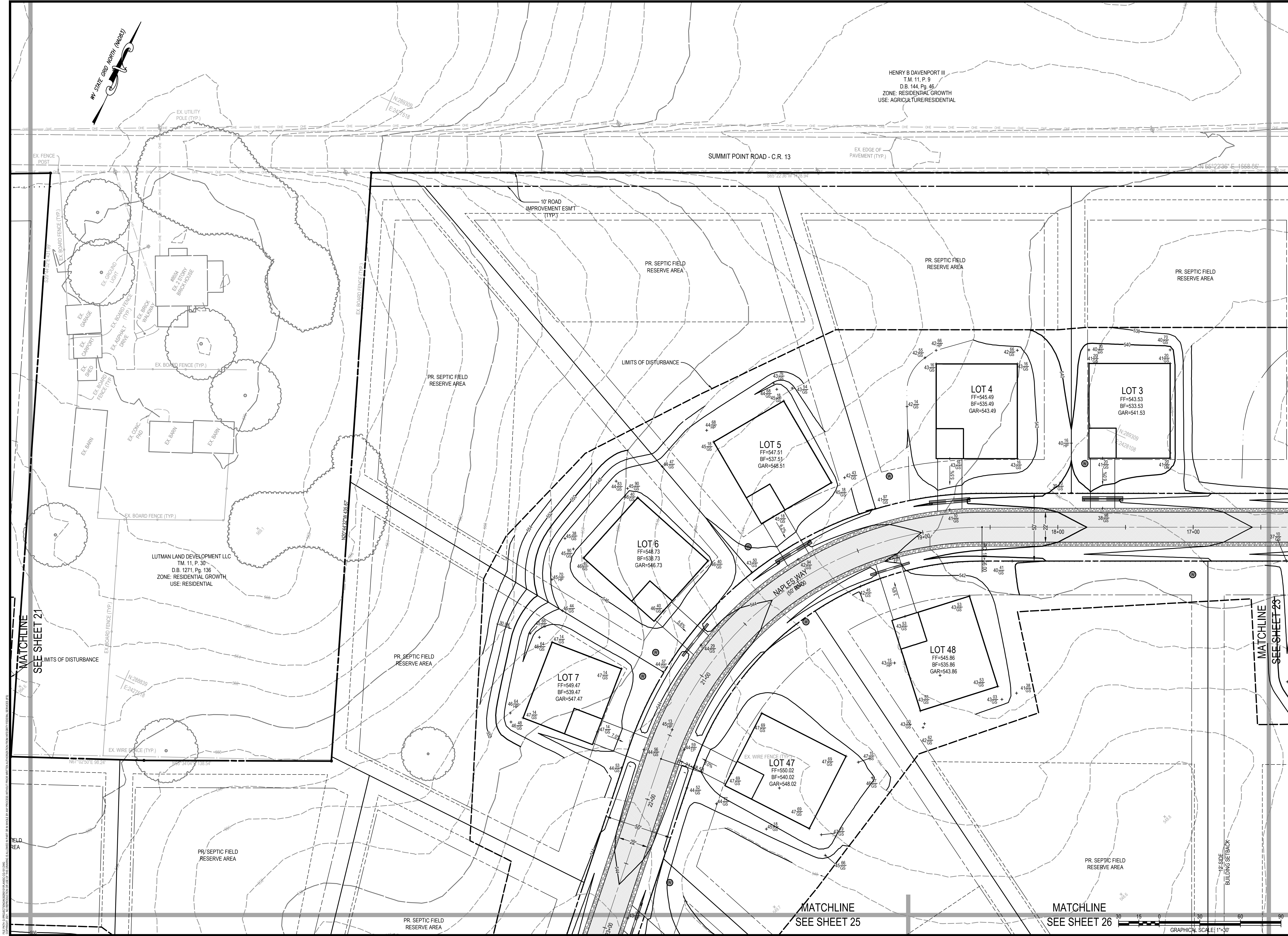
PRELIMINARY PLAT

DIST 2, MAP 11, PARCEL 30.2 (DB 1271/PG 136)

JEFFERSON COUNTY, WEST VIRGINIA

J.C.P.C. FILE #XX-XX

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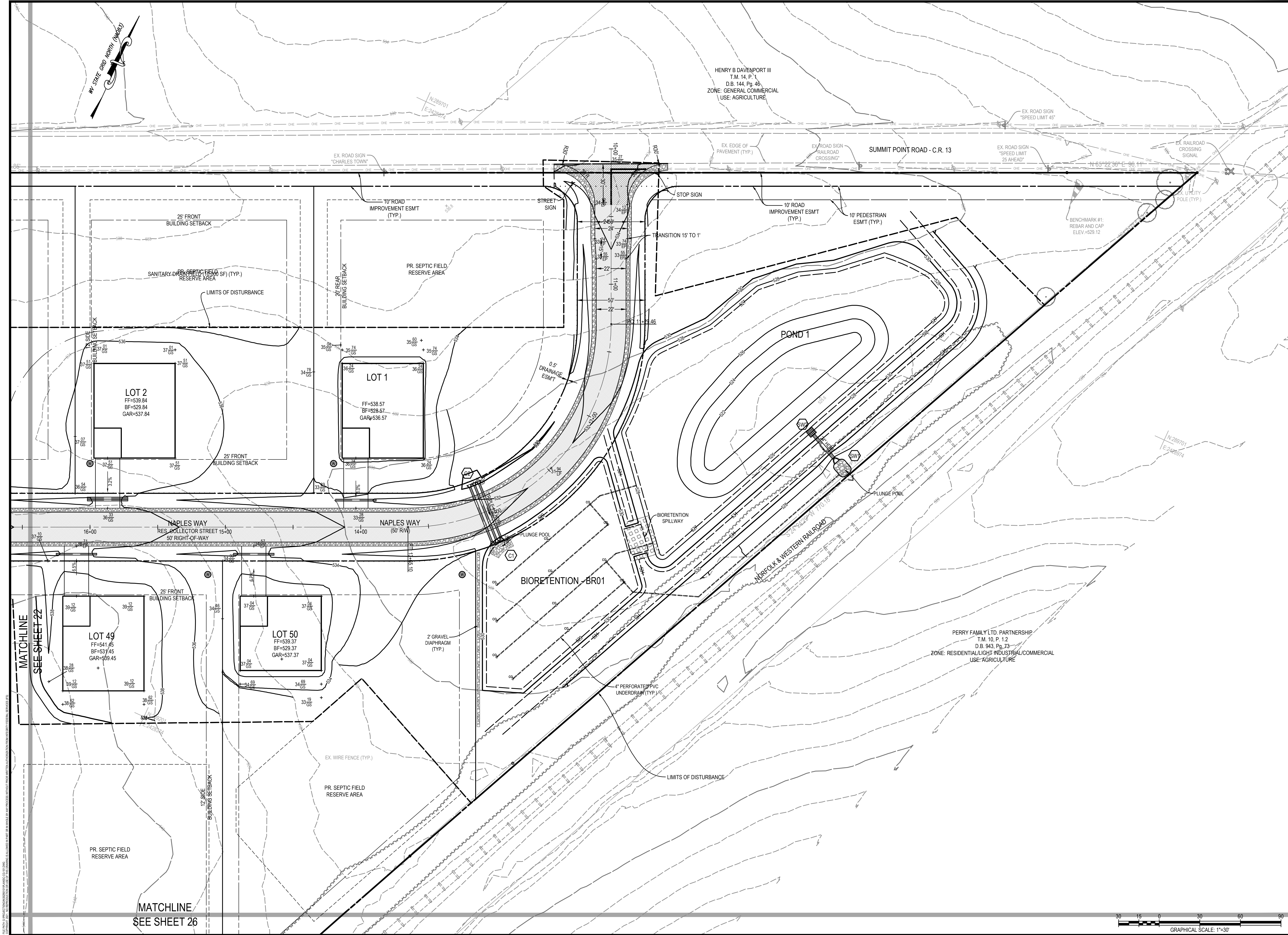
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GRADING PLAN AREA 2

MILTON'S LANDING
PRELIMINARY PLAT
DIST 2, MAP 11, PARCEL 30.2 (DB 1271/PG 136)
JEFFERSON COUNTY, WEST VIRGINIA

J.C.P.C. FILE #XX-XX

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JOB:	3529-0101
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SHEET:	22 OF 44



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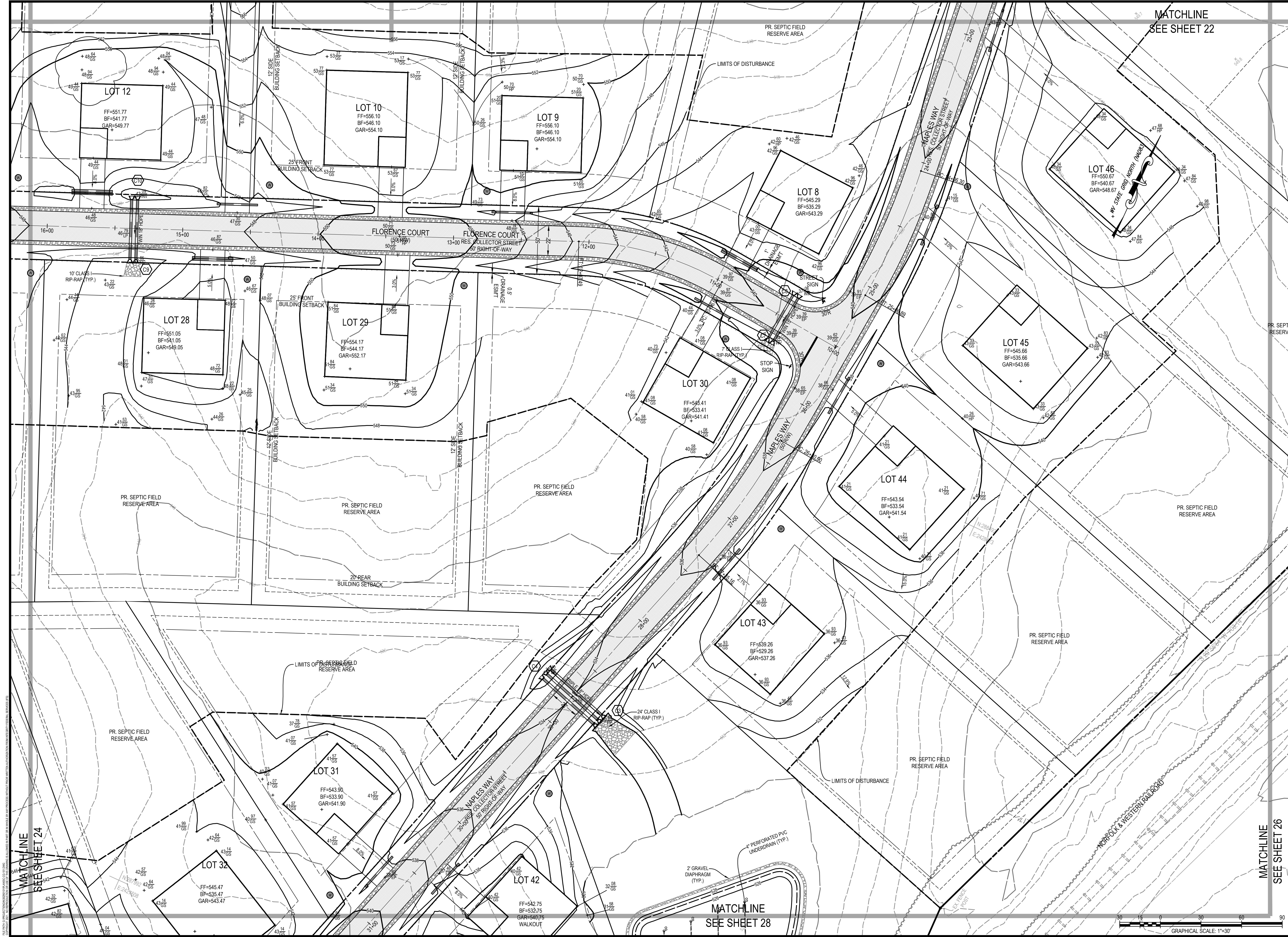
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GRADING PLAN AREA 3

MILTON'S LANDING
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JEFFERSON COUNTY, WEST VIRGINIA

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SHEET:	23 OF 44



MATCHLINE
SEE SHEET 22

MATCHLINE
SEE SHEET 24

MATCHLINE
SEE SHEET 26

MATCHLINE
SEE SHEET 28

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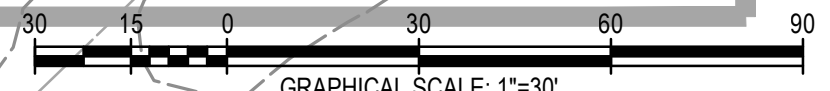
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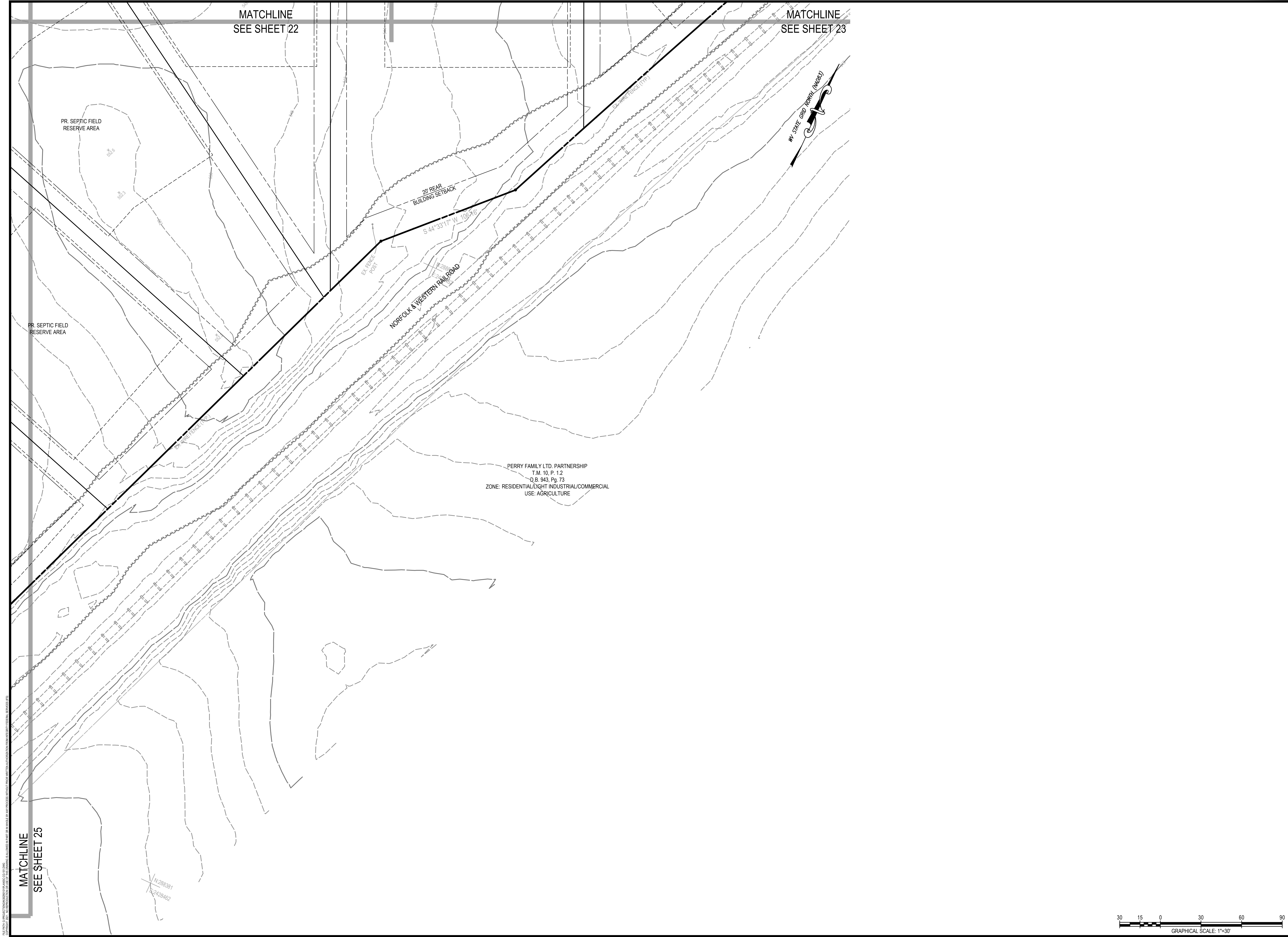
MILTON'S LANDING
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JEFFERSON COUNTY, WEST VIRGINIA

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	VERT.: 1" = 10'
DATE:	SEPTEMBER 2021
JOB:	3529-0101
DRAWN:	C-CG-101.DWG
CADD:	C-CG-101.DWG
NCS:	N/A
SHEET:	25 OF 44





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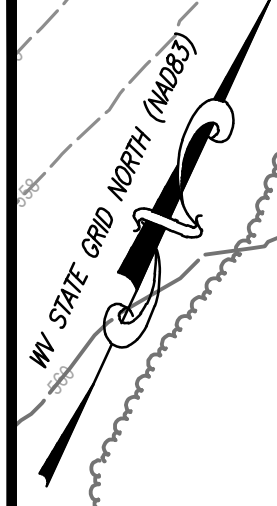
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GRADING PLAN AREA 6

MILTON'S LANDING
PRELIMINARY PLAT
DIST 2, MAP 11, PARCEL 30.2 (DB 1271/PG 136)
JEFFERSON COUNTY, WEST VIRGINIA

J.C.P.C. FILE #XX-XX

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DATE:	SEPTMBER 2021
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CADD:	C-CG-101.DWG
NCS:	N/A
SHEET:	26 OF 44



CHARLES E. JACKSON
& JANE T. JACKSON
T.M. 11, P. 33
D.B. 421, Pg. 579
ZONE: RESIDENTIAL GROWTH
USE: VACANT/FORESTED

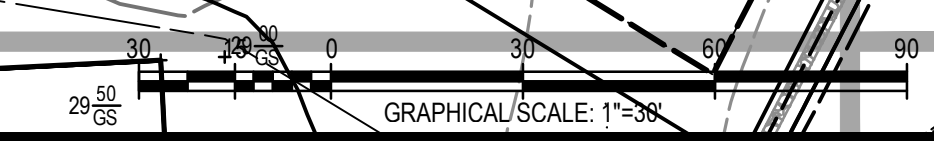
ROBERT E. BARRAT
T.M. 11, P. 34
D.B. 1216, Pg. 581
ZONE: RESIDENTIAL GROWTH
USE: VACANT/FORESTED

STAR LODGE #1
FREE & ACCEPTED MASON, PHA
T.M. 11, P. 35
D.B. 1073, Pg. 204
ZONE: RESIDENTIAL GROWTH
USE: VACANT/FORESTED

MATCHLINE
SEE SHEET 24

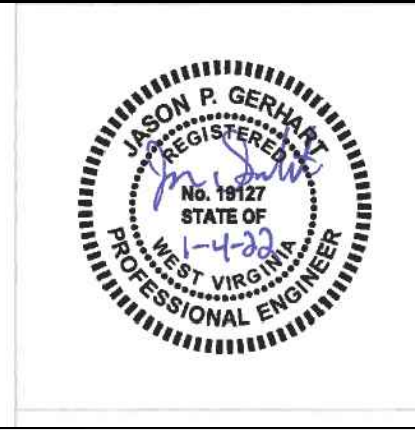
MATCHLINE
SEE SHEET 28

MATCHLINE
SEE SHEET 29



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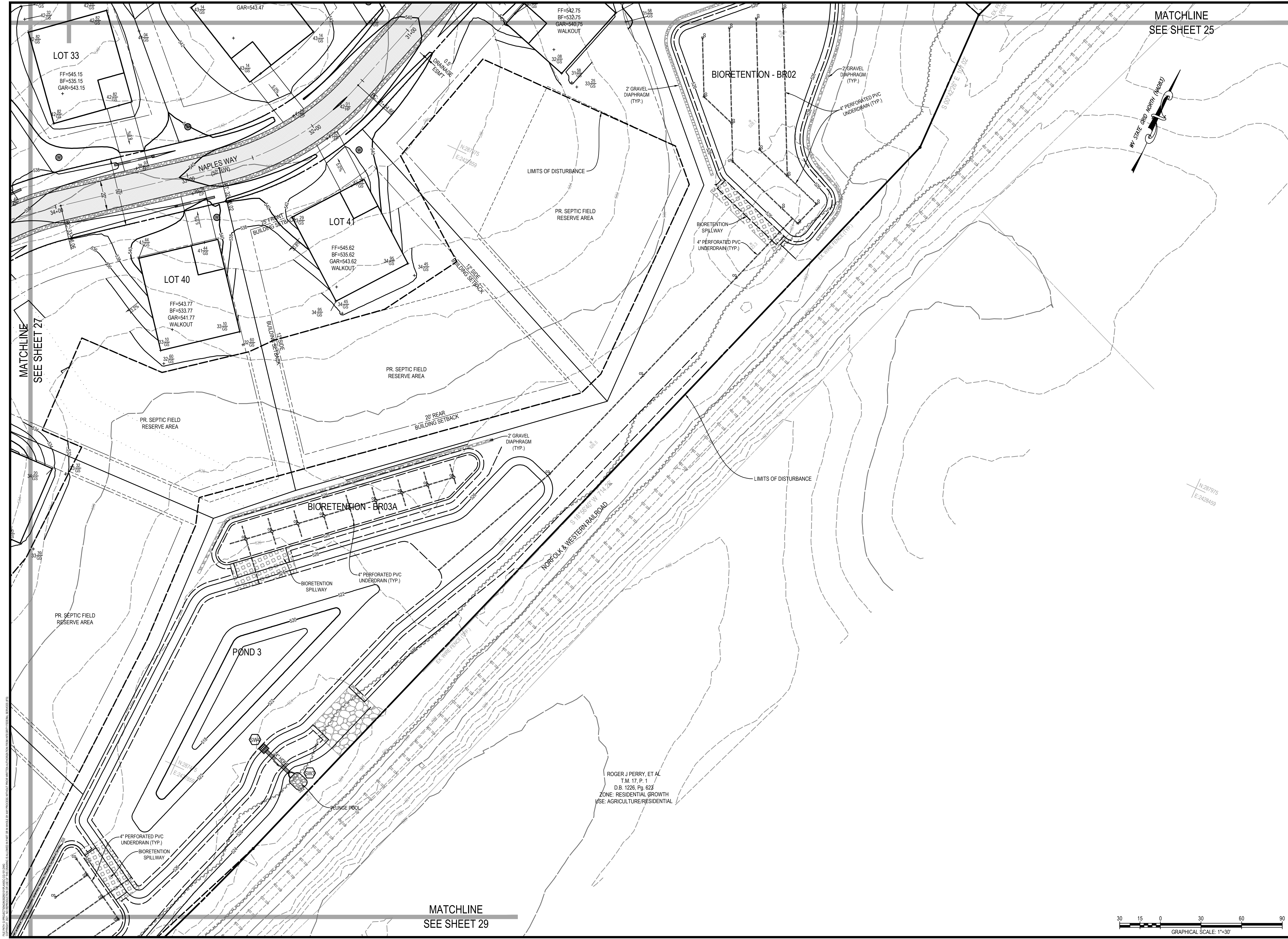
REVISIONS	
1)	2021-10-07 PER WDOH COMMENTS
2)	2021-11-12 PER JEFFERSON COUNTY COMMENTS
3)	2021-11-30 PER JEFFERSON COUNTY COMMENTS
4)	2021-12-17 PER JEFFERSON COUNTY COMMENTS
5)	2022-01-04 PER JEFFERSON COUNTY COMMENTS

GRADING PLAN AREA 7

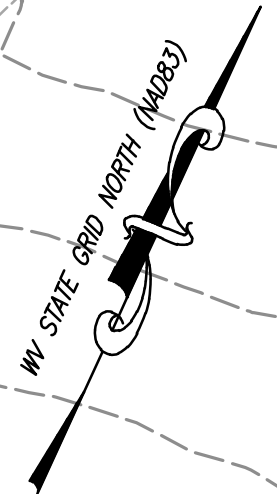
MILTON'S LANDING
PRELIMINARY PLAT
DIST 2, MAP 11, PARCEL 30.2 (DB 1271/PG 136)
JEFFERSON COUNTY, WEST VIRGINIA

J.C.P.C. FILE #XX-XX

SCALE:	HORIZ.: 1" = 30'
	VERT.:
DATE:	SEPTEMBER 2021
JOB:	3529-0101
DRAWN:	CHECK:
CADD:	C-CG-101.DWG
NCS:	N/A
SHEET:	
27 OF 44	

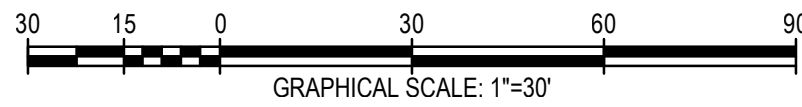


MATCHLINE
SEE SHEET 25



MATCHLINE
SEE SHEET 27

MATCHLINE
SEE SHEET 29



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4)	2021-12-17 PER JEFFERSON COUNTY COMMENTS
5)	2022-01-04 PER JEFFERSON COUNTY COMMENTS

GRADING PLAN AREA 8

MILTON'S LANDING
PRELIMINARY PLAT

DIST 2, MAP 11, PARCEL 30.2 (DB 1271/PG 136)
JEFFERSON COUNTY, WEST VIRGINIA

J.C.P.C. FILE #XX-XX

SCALE:	HORIZ.: 1" = 30'
	VERT.: 1" = 10'
DATE:	SEPTEMBER 2021
JOB:	3529-0101
DRAWN:	CHECK:
CADD:	C-CG-101.DWG
NCS:	N/A
SHEET:	28 OF 44



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4)	2021-12-17 PER JEFFERSON COUNTY COMMENTS
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GRADING PLAN AREA 9

MILTON'S LANDING

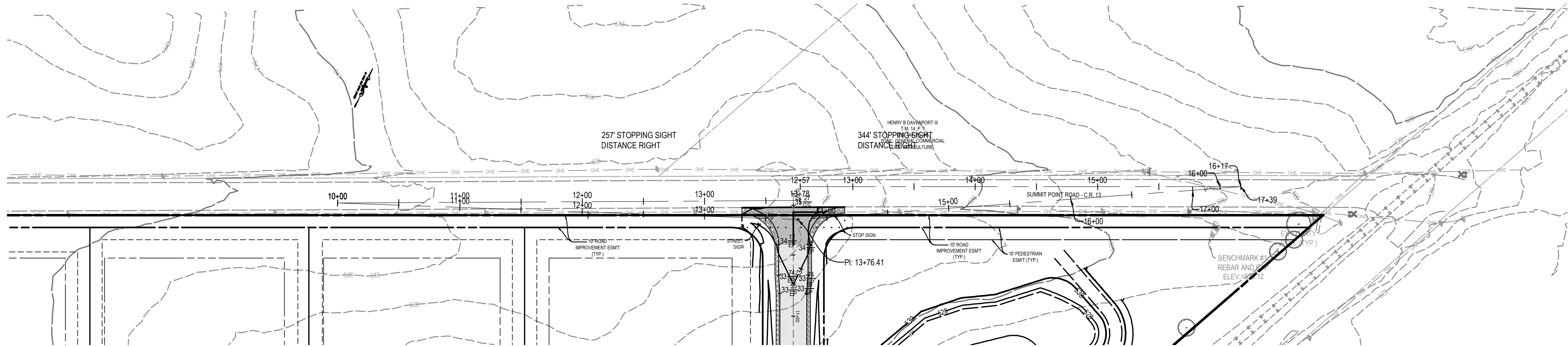
PRELIMINARY PLAT

DIST 2, MAP 11, PARCEL 30.2 (DB 1271/PG 136)

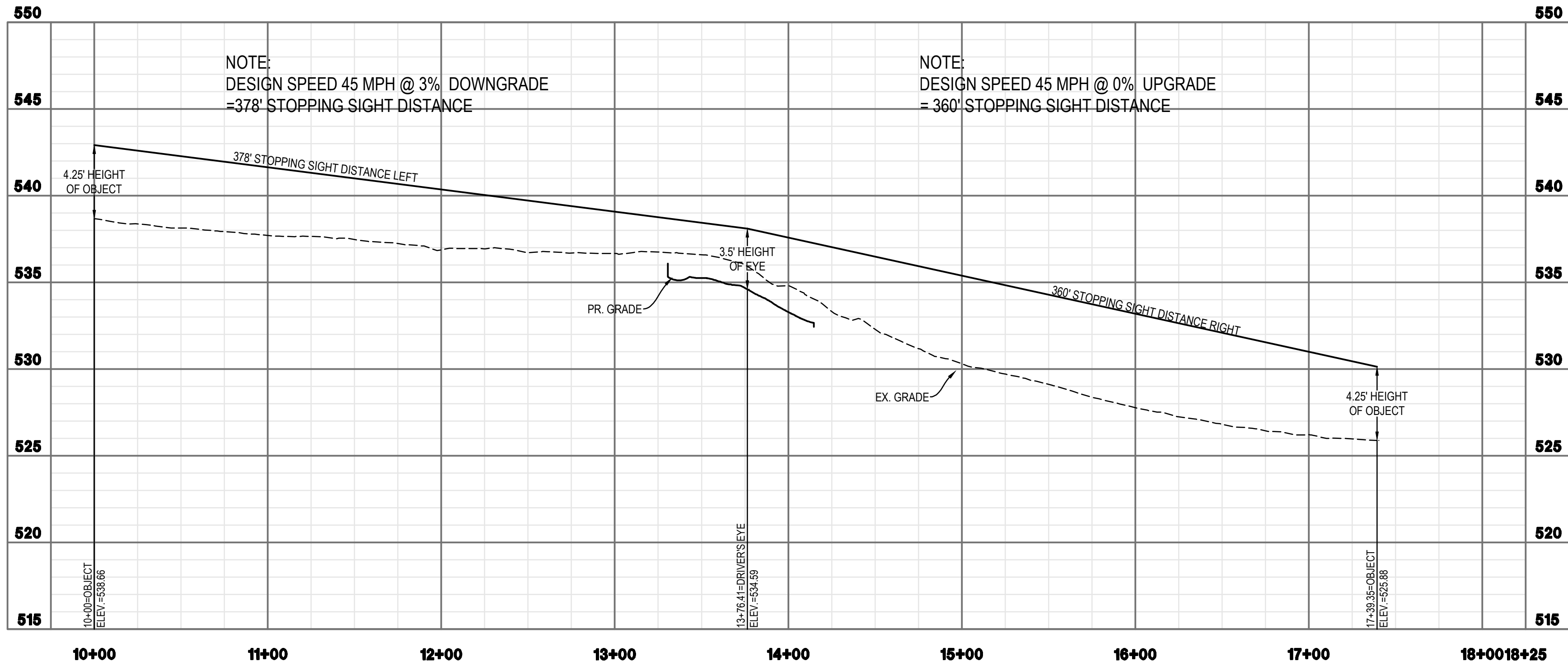
JEFFERSON COUNTY, WEST VIRGINIA

J.C.P.C. FILE #XX-XX

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NCS:	N/A
SHEET:	29 OF 44



SUMMIT POINT ROAD (WV - RTE 13) SIGHT DISTANCE PLAN
POSTED SPEED: 45 MPH
SCALE: 1"=50'



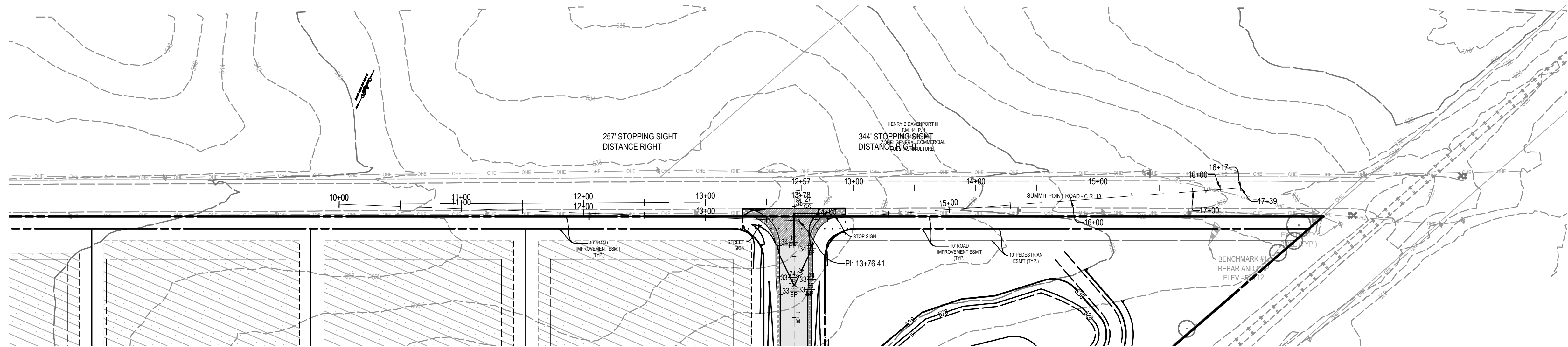
SUMMIT POINT ROAD (WV - RTE 13) SIGHT DISTANCE PROFILES
HORIZONTAL SCALE 1"= 50'
VERTICAL SCALE: 1"=5'



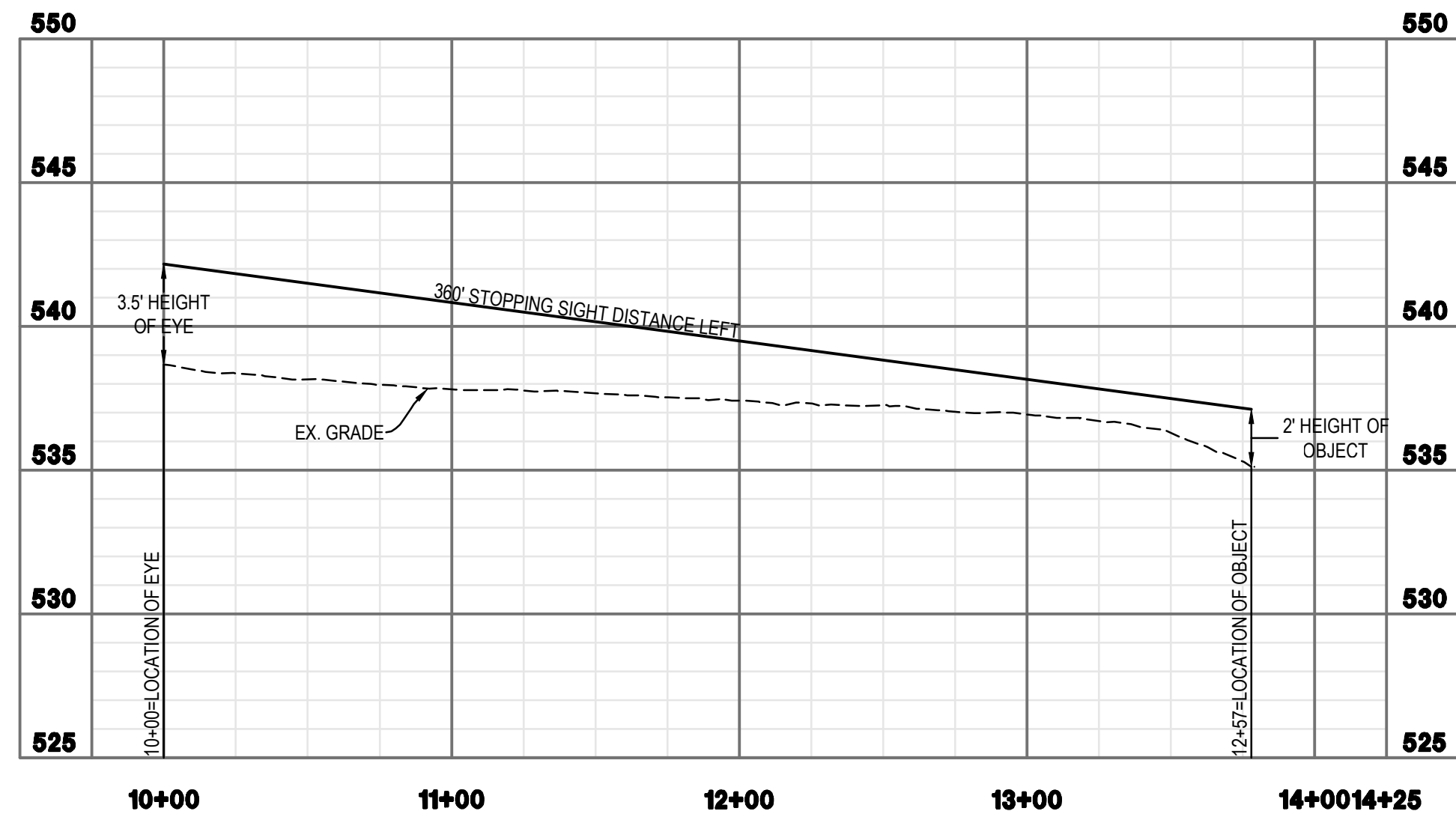
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SIGHT DISTANCE PLAN AND PROFILES
MILTON'S LANDING PRELIMINARY PLAT DIST 2, MAP 11, PARCEL 30.2 (DB 1271/PG 136) JEFFERSON COUNTY, WEST VIRGINIA
J.C.P.C. FILE #XX-XX

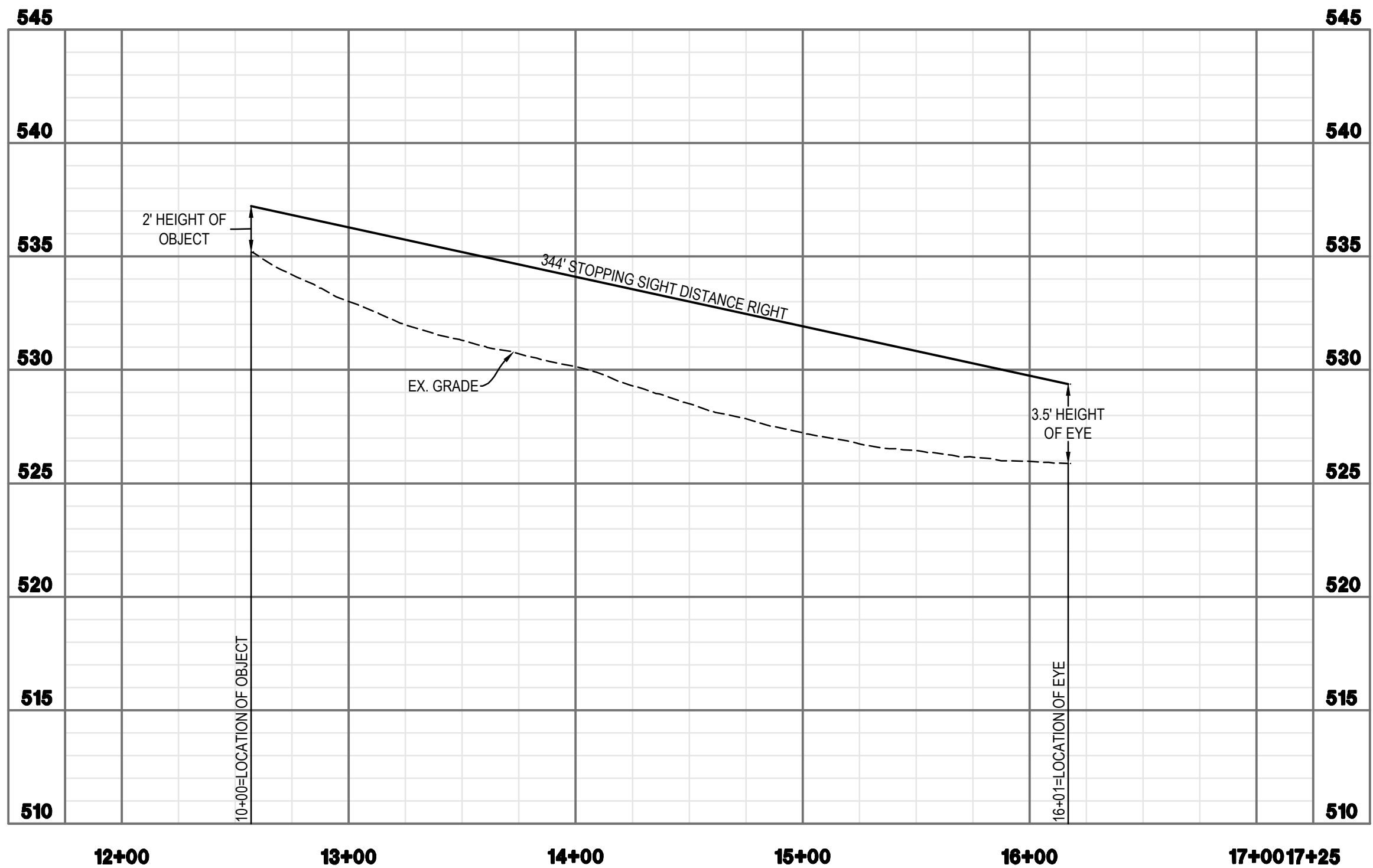
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DATE:	SEPTMBER 2021
JOB:	3529-0101
DRAWN:	CHECK:
CADD:	C-CTSD-1.DWG
NCS:	N/A
SHEET:	30 OF 44



SUMMIT POINT ROAD (CO -13) SIGHT DISTANCE PLAN
POSTED SPEED: 45 MPH
SCALE: 1"=50'



SUMMIT POINT ROAD (WV - RTE 13) LEFT STOPPING DISTANCE PLAN
HORIZONTAL SCALE: 1"=50'
VERTICAL SCALE 1"=5'



SUMMIT POINT ROAD (WV - RTE 13) RIGHT STOPPING DISTANCE PLAN
HORIZONTAL SCALE: 1"=50'
VERTICAL SCALE 1"=5'

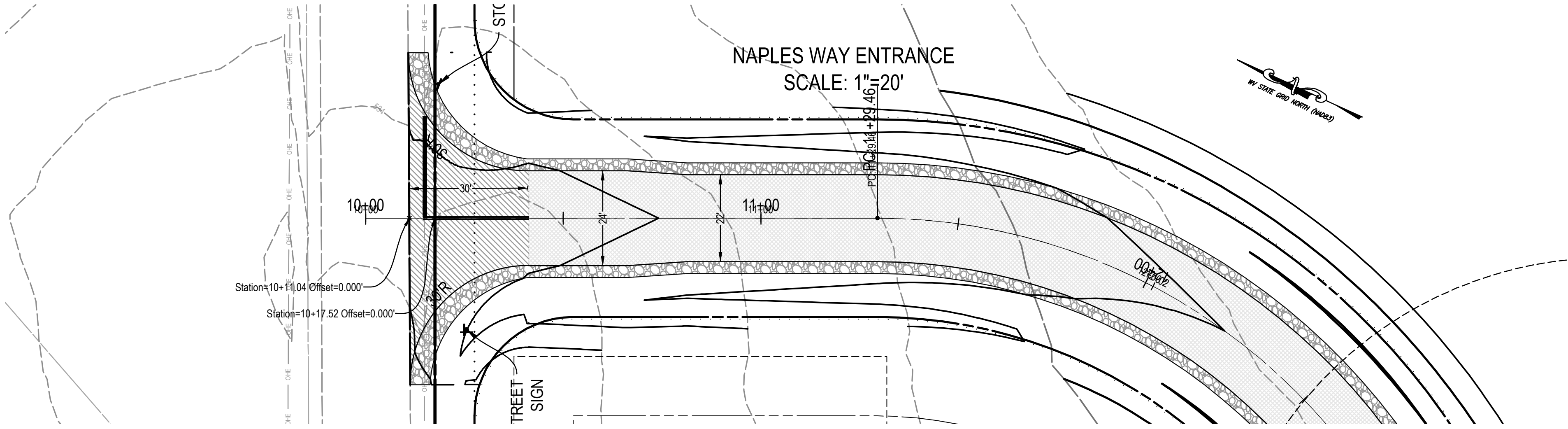
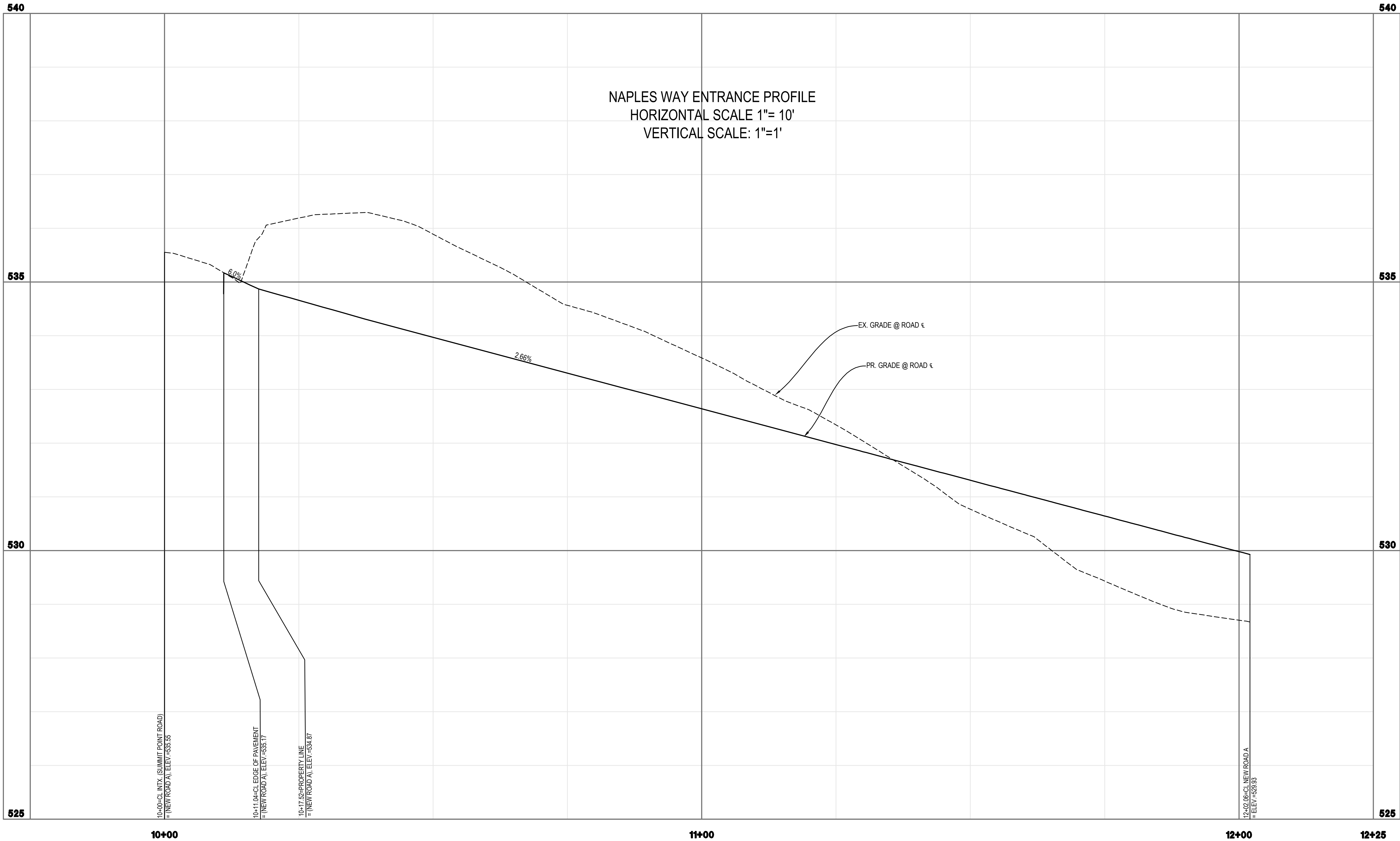


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SIGHT STOPPING DISTANCE PROFILES	
MILTON'S LANDING	
PRELIMINARY PLAT	
DIST 2, MAP 11, PARCEL 30.2 (DB 1271/PG 136)	
JEFFERSON COUNTY, WEST VIRGINIA	
J.C.P.C. FILE #XX-XX	

SCALE:	HORIZ.: 1" = 150'
	VERT.: 1" = 5'
DATE:	SEPTEMBER 2021
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DRAWN:	CHECK:
CADD:	C-CTSD-1.DWG
NCS:	N/A
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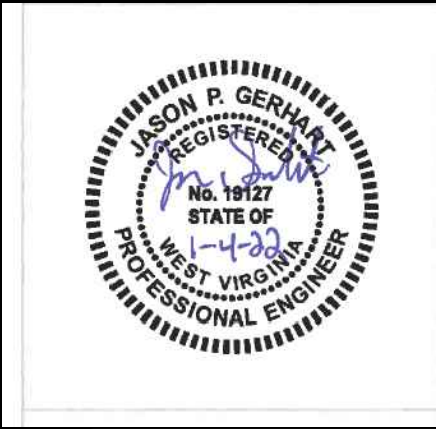
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NAPLES WAY ENTRANCE PROFILE

MILTON'S LANDING
PRELIMINARY PLAT
DIST 2, MAP 11, PARCEL 30.2 (DB 1271/PG 136)
JEFFERSON COUNTY, WEST VIRGINIA

J.C.P.C. FILE #XX-XX

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NCS:	N/A
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1. ALL SIGNS, TEMPORARY AND PERMANENT, SHALL BE COMPLIANT WITH THE "WEST VIRGINIA DIVISION OF HIGHWAYS SIGN FABRICATION DETAILS, 2005 EDITION".

SIGNAGE NOTES:

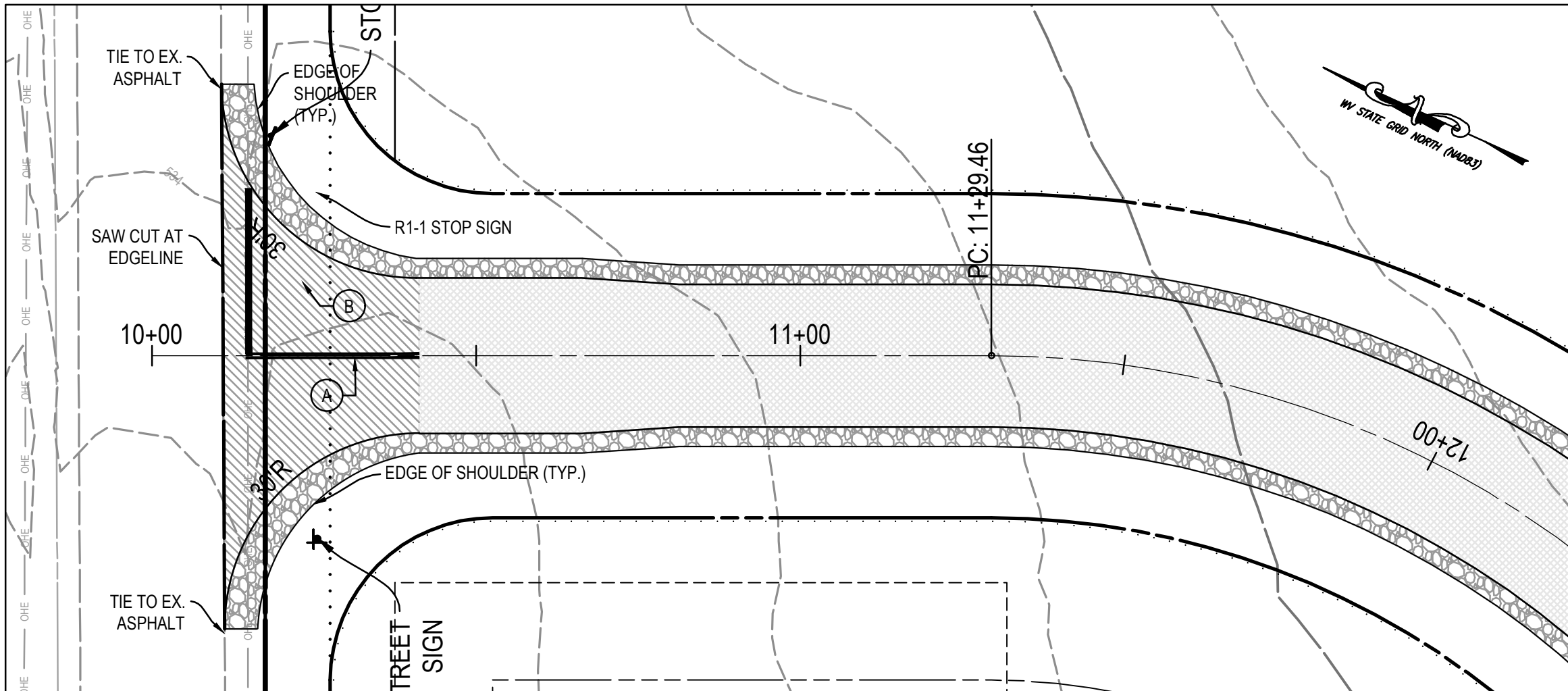
- ALL SIGNS, TEMPORARY AND PERMANENT, SHALL BE COMPLIANT WITH THE "WEST VIRGINIA DIVISION OF HIGHWAYS SIGN FABRICATION DETAILS, 2005 EDITION".

SIGNING & PAVEMENT MARKING NOTES:

- ALL PROPOSED SIGNING AND PAVEMENT MARKING SHALL BE IN ACCORDANCE WITH THE MOST CURRENT EDITION OF EACH OF THE FOLLOWING AND ANY REVISION THERETO:
 - MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS 2009 EDITION.
 - THE WEST VIRGINIA DIVISION OF HIGHWAYS DESIGN GUIDE FOR SIGNING.
 - THE WEST VIRGINIA DIVISION OF HIGHWAYS SIGN FABRICATION MANUAL.
 - THE WEST VIRGINIA DIVISION OF HIGHWAYS TRAFFIC ENGINEERING DIRECTIVES REGARDING SIGNING.
 - THE WEST VIRGINIA DIVISION OF HIGHWAYS SPECIFICATIONS (SECTIONS 657, 658, 659 AND 661.
 - THE WEST VIRGINIA DIVISION OF HIGHWAYS STANDARD DETAILS BOOK, VOLUME II, SIGNING, SIGNALS, LIGHTING AND MARKING.
 - THE WEST VIRGINIA DIVISION OF HIGHWAYS TRAFFIC CONTROL FOR STREET AND HIGHWAY CONSTRUCTION AND MAINTENANCE OPERATIONS.
- ALL PAVEMENT MARKINGS SHALL BE WVDOT TYPE II OR V PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
- PROPOSED SIGN LOCATIONS ARE APPROXIMATE AND SHALL BE MODIFIED IN THE FIELD TO AVOID CONFLICT WITH UNDERGROUND UTILITIES OR OTHER OBSTRUCTIONS, AND TO COMPLY WITH STANDARDS REFERENCED IN NOTE 1.
- ANY EXISTING PAVEMENT MARKINGS, WHICH WILL CONFLICT WITH PROPOSED PAVEMENT MARKINGS, SHALL BE COMPLETELY ERADICATED.
- LIMITS SHOWN OF PROPOSED MARKINGS ARE APPROXIMATE AND SHALL BE MODIFIED IN THE FIELD TO INSURE THAT PROPOSED PAVEMENT MARKINGS CONTINUE UNTIL EXISTING PAVEMENT MARKINGS CAN BE MATCHED.
- NO MARKINGS SHALL BE PLACED ON EXPANSION JOINTS ON STRUCTURES OR ON LONGITUDINAL CONSTRUCTION JOINTS UNLESS SO DIRECTED BY THE ENGINEER.
- POST REMOVAL FOR GROUND MOUNTED SIGNS ON EXISTING BREAKAWAY SUPPORTS SHALL INCLUDE EITHER CONCRETE REMOVAL OF THE EXISTING STUB(S) OR THE CUTTING OFF OF THE EXISTING STUB(S) TO A MINIMUM OF SIX (6) INCHES BELOW GROUND AND THE RESTORATION OF THE GROUND TO ITS ORIGINAL CONDITION.
- REFER TO APPROVED TRAFFIC SIGNAL PLAN FOR PROPER LOCATIONS OF STOP LINES AND CROSSWALKS WHEN APPLICABLE.
- CONTRACTOR SHALL ENSURE THAT ANY SIGNS TO BE RELOCATED ARE IN GOOD CONDITION. IF EXISTING SIGN ARE DAMAGED NEW SIGNS SHALL BE RELOCATED PER THIS PLAN AND SPECIFICATIONS INCLUDED HEREIN.
- REFER TO WVDOT STANDARD DETAILS BOOK VOLUME II, DETAILS TEM-1, TEM-2, AND TEM-3 FOR PAVEMENT MARKING SPECIFICATIONS.

GENERAL NOTES:

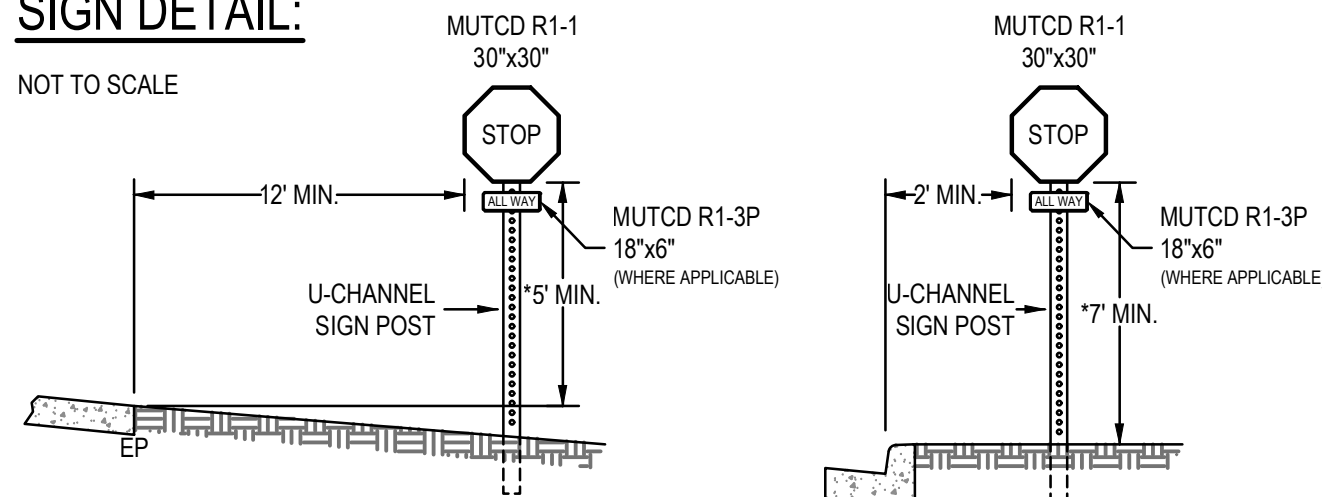
- ALL TRAFFIC CONTROL SHALL BE THE RESPONSIBILITY OF THE DEVELOPER. TRAFFIC CONTROL SIGNS AND MAINTENANCE OF TRAFFIC SHALL COMPLY WITH THE STANDARDS OF THE WEST VIRGINIA DEPARTMENT OF TRANSPORTATION. STANDARD TEMPORARY TRAFFIC CONTROL CASE A6 FROM THE WEST VIRGINIA DEPARTMENT OF TRANSPORTATION DIVISION OF HIGHWAYS, 2006 MANUAL ON TEMPORARY TRAFFIC CONTROL FOR STREETS AND HIGHWAYS SHALL BE UTILIZED FOR THIS PROJECT.
- EXISTING PAVEMENT SHALL BE SAW CUT TO TIE IN NEW ENTRANCE APRON.
- SEE THIS SHEET FOR DETAIL SHOWING CASE A6 FROM THE MANUAL ON TEMPORARY TRAFFIC CONTROL FOR STREETS AND HIGHWAYS, 2006 EDITION.
- CONTACT TRIXIE WILLIS AT WVDOT (681-320-2039 / TRIXIE.A.WILLIS@WV.GOV) 24 HOURS PRIOR TO BEGINNING WORK.
- CONTACT KEN CLOHAN (KENNETH.L.CLOHAN@WV.GOV OR 304-260-4392) TO REVIEW STRIPING BEFORE STRIPING IS COMPLETED.



NEW ROAD A ENTRANCE
SCALE: 1"=20'

SIGN DETAIL:

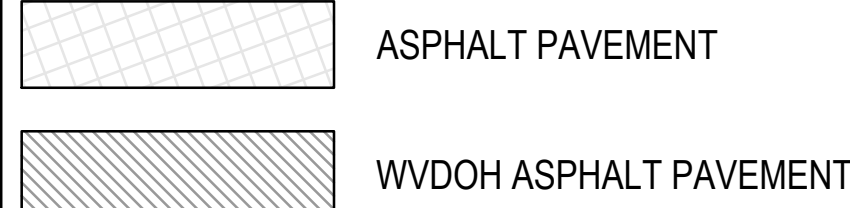
NOT TO SCALE



NOTES:

- FOR MORE EXTENSIVE STANDARDS REFER TO THE CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS 2009 EDITION AND THE STANDARDS OF THE WEST VIRGINIA DEPARTMENT OF TRANSPORTATION.
- U-CHANNEL POST SHALL BE PER WVDOT STANDARD DETAIL SHEET TE1-7A.
- ALL STOP BARS SHALL BE TYPE V, WHITE, 12" WIDTH, SOLID STOP LINES.

GRAPHIC LEGEND:



PAVEMENT MARKING LEGEND:

- TYPE II, YELLOW, 6" WIDTH, SOLID DOUBLE LINE, SEPARATED BY A 6" SPACE
- TYPE V, WHITE, 12" WIDTH, SOLID STOP LINE

DROP OFF GUIDANCE NOTES:

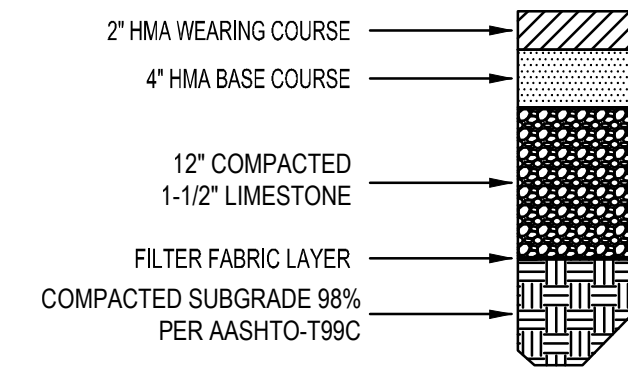
EXCAVATION ALONG THE EDGE OF PAVEMENT SHALL BE FILLED TO A SAFE SLOPE AT THE END OF EACH WORK DAY.

MAINTENANCE OF TRAFFIC NOTES:

- TRAFFIC CONTROL, SAFETY MEASURES, AND MAINTENANCE OF TRAFFIC SHALL BE IN ACCORDANCE WITH THE MOST CURRENT EDITION OF EACH OF THE FOLLOWING AND ANY REVISION THERETO:
 - SECTION 636 OF THE WEST VIRGINIA DEPARTMENT OF TRANSPORTATION, DIVISION OF HIGHWAYS, STANDARD SPECIFICATIONS, ROADS AND BRIDGES.
 - MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, 2009 EDITION.
 - WEST VIRGINIA DEPARTMENT OF TRANSPORTATION, DIVISION OF HIGHWAYS, MANUAL ON TEMPORARY TRAFFIC CONTROL FOR STREETS AND HIGHWAYS, 2006 EDITION.
 - AASHTO ROADSIDE DESIGN GUIDE.
 - WVDOT STANDARD SPECIFICATIONS, 2010 AND SUPPLEMENTAL SPECIFICATIONS, 2013.
- REFLECTIVE SHEETING ON TEMPORARY TRAFFIC CONTROL DEVICES SHALL BE OF NEW CONDITION AT THE BEGINNING OF THE PROJECT LIFE. NIGHT VISIBILITY AND LEGIBILITY SHALL BE MAINTAINED.
- ACCESS TO ALL HOUSES AND BUSINESSES SHALL BE MAINTAINED AT ALL TIMES.
- FLAGGER: WHEN WORK IS PERFORMED AT NIGHT WITH A FLAGGER, THE FLAGGER STATIONS SHALL BE ADEQUATELY ILLUMINATED.
- TEMPORARY TAPE: ANY TEMPORARY TAPE SHALL BE MECHANICALLY APPLIED. SOLID LINES SHALL HAVE A 2" GAP EVERY FIFTY FEET.
- EXISTING SIGNS AND DELINEATORS: ANY SUCH EXISTING FACILITIES RELOCATED, REMOVED, OR DAMAGED BY THE CONTRACTOR SHALL BE REPLACED TO ITS ORIGINAL CONDITION BY THE CONTRACTOR AT THEIR EXPENSE, UNLESS REPLACED BY FINAL SIGNING.
- WHEN COVERING EXISTING SIGNS, THE CONTRACTOR HAS THE OPTIONS OF USING:
 - HEAVY DUTY BLOCK OVERLAY (PLASTIC OR BURLAP TYPE)
 - THIN WOOD OVERLAY (E.G. PLYWOOD)
 - TAKING SIGNS DOWN AND RE-INSTALLING WHEN APPROPRIATE
 - ANY DAMAGES CAUSED BY ABOVE NAMED SHALL BE REPAIRED/REPLACED TO IT'S ORIGINAL CONDITION AT CONTRACTOR'S EXPENSE.
- ANY TEMPORARY CONCRETE BARRIER SHALL HAVE TYPE 8" X 12" B-1 DELINEATORS (WHITE OR YELLOW AS APPROPRIATE) FACING TRAFFIC AT 20 FOOT CENTERS.
- TYPE 'B' LIGHTS SHALL BE INSTALLED ON ALL LEAD-IN SIGNING AND BARRICADES.
- FINAL LOCATIONS OF THE TRAFFIC CONTROL DEVICES SHALL BE ESTABLISHED IN THE FIELD.
- RESTORE ANY PAVED, LANDSCAPED, CURBED, & SIDEWALK AREAS DISTURBED DURING CONSTRUCTION ACTIVITIES TO ITS ORIGINAL CONDITION.

MINIMUM TYPICAL PAVEMENT SECTIONS: (WVDOT)

NOT TO SCALE



NOTES:

- SOILS TESTS OF SUBGRADE MUST BE SUBMITTED FOR ACTUAL DETERMINATION OF REQUIRED PAVEMENT SECTION THICKNESS PRIOR TO CONSTRUCTION.

GENERAL NOTES:

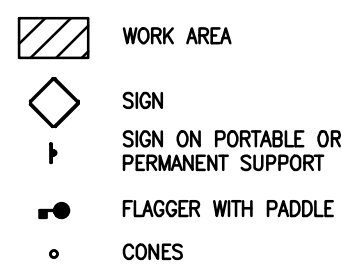
- CONSTRUCTION OPERATIONS SHALL BE CONFINED TO ONE TRAFFIC LANE, LEAVING THE OPPOSITE LANE OPEN TO TRAFFIC. AT LEAST 500 FT. OF BOTH TRAFFIC LANES SHALL BE AVAILABLE FOR TRAFFIC MOVEMENT AT INTERVALS NOT GREATER THAN 1,000 FT. A COMPLETE TRAFFIC CONTROL PLAN MUST BE APPROVED FOR ANY PROJECT EXPECTING TO EXCEED 1,000 FT. IN LENGTH INCLUDING BOTH TAPER AND WORK AREAS.
- FOR LOW-VOLUME SITUATIONS WITH SHORT WORK ZONES ON STRAIGHT ROADWAYS WHERE THE FLAGGER IS VISIBLE TO ROAD USERS APPROACHING FROM BOTH DIRECTIONS, A SINGLE FLAGGER, POSITIONED TO BE VISIBLE TO ROAD USERS APPROACHING FROM BOTH DIRECTIONS, MAY BE USED.
- FLASHING WARNING LIGHTS AND/OR FLAGS MAY BE USED TO CALL ATTENTION TO THE ADVANCE WARNING SIGNS.
- THE FLAGGERS SHALL BE IN SIGHT OF EACH OTHER OR IN DIRECT COMMUNICATION AT ALL TIMES.
- ALL SIGNS ARE TO BE REMOVED AT COMPLETION OF THE DAY'S OPERATIONS.
- FOR MULTILANE ROADWAYS THE ADVANCE WARNING SIGNS FOR TRAFFIC APPROACHING FROM THE OPPOSITE DIRECTION MAY BE OMITTED IF APPROVED BY THE ENGINEER.

SUGGESTED ADVANCE WARNING SIGN SPACING

ROAD TYPE	DISTANCE BETWEEN SIGNS (IN FT.)		
	A	B	C
URBAN (LOW SPEED)*	100	100	100
URBAN (HIGH SPEED)*	350	350	350
RURAL	500	500	500
EXPRESSWAY/FREEWAY	1,000	1,500	2,640

* SPEED CATEGORY TO BE DETERMINED BY WVDOT.

SYMBOLS



TYPICAL APPLICATIONS

PATCHING PAVEMENT, FIELD SURVEY, CLEANING UP DEBRIS ON PAVEMENT, CROSSWALK PAINTING.

CASE A6

TWO-LANE, TWO-WAY TRAFFIC, SHORT TERM OPERATIONS, DAYTIME ONLY



REVISIONS				
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SHEET:	

STORMWATER MANAGEMENT NARRATIVE:

1. ALL STORMWATER MANAGEMENT POND CONSTRUCTION SHALL BE IN STRICT COMPLIANCE WITH ALL APPLICABLE JEFFERSON COUNTY REQUIREMENTS, THE U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE STANDARDS AND SPECIFICATIONS, AND AS PUBLISHED IN THE "WEST VIRGINIA STORMWATER MANAGEMENT AND DESIGN GUIDANCE MANUAL"
2. **EMBANKMENT:**
- (A) DESIGN AND CONSTRUCTION OF THE PROPOSED DAMS ARE SUBJECT TO RECOMMENDATIONS AND INSPECTION BY A QUALIFIED GEOTECHNICAL ENGINEER.
- (B) AREAS UNDER THE EMBANKMENTS AND ANY STRUCTURAL WORKS SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL, ROOTS OR OTHER OBJECTIONABLE MATERIAL.
- (C) THE SUITABILITY AND ACCEPTABILITY OF ALL FILL MATERIAL WILL BE DETERMINED BY REGULAR PERIODIC SOIL ANALYSIS AND COMPACTION TESTS, WHICH SHALL BE MADE BY A QUALIFIED GEOTECHNICAL ENGINEER.
- (D) TESTS FOR SOIL ANALYSIS, MOISTURE CONTENT, AND COMPACTION ARE TO BE CONDUCTED IN ACCORDANCE WITH THE LATEST APPLICABLE ASTM STANDARDS AND SPECIFICATIONS.
- (E) MATERIALS USED FOR THE IMPERVIOUS CORE AND CUT-OFF TRENCH, IF REQUIRED BY THE GEOTECHNICAL ENGINEER, SHALL BE COMPRISED OF ONE OF THE FOLLOWING SOILS AS DESIGNATED BY THE UNIFIED SOIL SYSTEM: SC, CL, OR ML HAVING A MINIMUM PLASTICITY INDEX OF 8 WITH A MINIMUM OF 45% PASSING THE NO. 200 SIEVE AND A MAX. OF 5% RETAINED ON THE NO. 4 SIEVE. THE CUT-OFF TRENCH (IF REQUIRED) SHALL EXTEND A MINIMUM OF 4 FEET BELOW SUBGRADE OR TO REFUSAL.
- (F) THE CUT-OFF TRENCH SHALL BE EXCAVATED INTO IMPERVIOUS MATERIAL ALONG OR PARALLEL TO THE CENTERLINE OF THE EMBANKMENT AS SHOWN ON THE PLANS. THE BOTTOM WIDTH OF THE TRENCH SHALL BE A MINIMUM WIDTH OF 4 FEET. THE DEPTH SHALL BE AT LEAST 4 FEET BELOW EXISTING GRADE OR AS SHOWN ON THE PLANS. THE SIDE SLOPES OF THE TRENCH SHALL BE 1 TO 1 OR FLATTER. THE BACKFILL SHALL BE COMPACTED WITH CONSTRUCTION EQUIPMENT, ROLLERS, OR HAND TAMPERS TO ASSURE MAXIMUM DENSITY AND MINIMUM PERMEABILITY.
- (G) THE EMBANKMENTS MAY BE CONSTRUCTED AS A HOMOGENEOUS EMBANKMENT DAM USING ACCEPTABLE MATERIAL CLASSIFIED ML, CL, SC, OR GC SOILS PER ASTM D-2487. IN TO THESE MATERIALS, SOILS CLASSIFIED CH AND MH MAY BE USED AS COMPACTED ADDITION EMBANKMENT FILL BELOW THE UPPER 5 FEET OF THE SLOPES. SOILS CLASSIFIED AS SM OR GM PER ASTM D-2487 OR SUITABLE FILL MAY BE USED FOR EMBANKMENT IN THE DOWNSTREAM HALF OF THE EMBANKMENT SUBJECT TO APPROVAL BY A QUALIFIED GEOTECHNICAL ENGINEER.
- (H) COMPACTION SHALL BE NOT LESS THAN 98% OF THE MAXIMUM DRY DENSITY FOR THE GIVEN EMBANKMENT MATERIAL AS DETERMINED BY USE OF THE STANDARD PROCTOR METHOD PER ASTM T-99 OR ASTM D-698.
- (I) EMBANKMENT FILL SHALL BE CONSTRUCTED IN 8-INCH LOOSE LIFTS AND SHALL BE CONTINUOUS OVER THE ENTIRE LENGTH OF THE FILL SO THAT SMOOTH HORIZONTAL PLANES ARE NOT BUILT INTO THE FILL STRUCTURE. SCARIFYING OR USE OF SHEEPS-FOOT ROLLERS CAN BE USED TO AVOID SMOOTH HORIZONTAL PLANES.
- (J) THE EMBANKMENT SHALL BE CONSTRUCTED TO A MINIMUM ELEVATION 5% HIGHER THAN THE DESIGNED HEIGHT TO ALLOW FOR SETTLEMENT WHEN MECHANICAL COMPACTORS ARE USED FOR CONSTRUCTION.
- (K) THE CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ACCEPTABLE BORROW MATERIAL EITHER FROM ON-SITE OR OFF-SITE SOURCES AS REQUIRED. ALL OFF-SITE WASTE OR BORROW SOURCES SHALL BE INCLUDED IN THE NPDES PERMIT.
- (L) THE CONTRACTOR SHALL MAINTAIN ALL MATERIAL TICKETS, SOIL TEST RESULTS AND PHOTOGRAPHIC RECORDS OF COVERED EMBANKMENT CONSTRUCTION ELEMENTS (CUT-OFF TRENCH, ANTI-SEEP MEASURES, PIPE INSTALLATION) FOR INCLUSION INTO AS-BUILT POND RECORDS.

3. **OUTLET CONTROL STRUCTURE NOTES:**

- (A) THE PURPOSE OF THIS PLAN IS TO PROVIDE THE BASIC DIMENSIONS REQUIRED TO CONTROL THE CONSTRUCTION OF THE COMBINED PRINCIPAL & EMERGENCY SPILLWAYS. THE BASIC DIMENSIONS OF ALL DRAINAGE STRUCTURES AND ORIFICES SHOWN FOR EACH CONTROL STRUCTURE SHALL BE MAINTAINED.
- (B) ALL RISER, SPILLWAY, AND FOOTING DIMENSIONS AND/OR THICKNESS, AS WELL AS REINFORCEMENT, BUOYANCY CALCULATIONS AND THE METHOD OF JOINING THE VARIOUS STRUCTURAL ELEMENTS SHALL BE VERIFIED BY A PROFESSIONAL STRUCTURAL ENGINEER AND SUBMITTED TO THE ENGINEER OF RECORD FOR ACCEPTANCE PRIOR TO FABRICATION.
- (C) SUBGRADE PREPARATION AND BEDDING REQUIREMENTS FOR ALL STRUCTURAL ELEMENTS ARE SUBJECT TO DESIGN BY A PROFESSIONAL GEOTECHNICAL ENGINEER.
- (D) PRECAST CONCRETE IS TO ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI. CAST-IN-PLACE CONCRETE SHALL BE WYDOH CLASS B. ALL CONCRETE SHALL MEET THE REQUIREMENTS OF THE WEST VIRGINIA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS.
- (E) ALL EXPOSED EDGES SHALL BE CHAMFERED 3/4".
- (F) SHOP DRAWINGS ARE TO BE SUBMITTED TO AND APPROVED BY THE ENGINEER OF RECORD PRIOR TO FABRICATION.
- (G) BACKFILL ADJACENT TO THE OUTLET STRUCTURES SHALL BE OF THE TYPE AND QUALITY CONFORMING TO THAT SPECIFIED FOR THE ADJOINING FILL MATERIAL. THE FILL SHALL BE PLACED IN HORIZONTAL LAYERS NOT TO EXCEED FOUR INCHES IN THICKNESS AND COMPACTED BY HAND TAMPERS OR OTHER MANUALLY DIRECTED COMPACTION EQUIPMENT. THE MATERIAL NEEDS TO FILL COMPLETELY ALL SPACES UNDER AND ADJACENT TO THE PIPE. AT NO TIME DURING THE BACKFILLING OPERATION SHALL DRIVEN EQUIPMENT BE ALLOWED TO OPERATE CLOSER THAN FOUR FEET, MEASURED HORIZONTALLY, TO ANY PART A STRUCTURE. UNDER NO CIRCUMSTANCES SHALL EQUIPMENT BE DRIVEN OVER ANY PART OF A CONCRETE STRUCTURE.
- (H) ROCK RIP-RAP SHALL MEET THE REQUIREMENTS OF THE WEST VIRGINIA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS. THE RIP-RAP SHALL BE PLACED TO THE REQUIRED THICKNESS IN ONE OPERATION. THE ROCK SHALL BE NEEDED AND PLACED IN A MANNER THAT WILL ENSURE THE RIP-RAP IS REASONABLY HOMOGENOUS WITH LARGER ROCKS UNIFORMLY DISTRIBUTED AND FIRMLY IN CONTACT WITH SMALLER ROCKS FILLING THE VOIDS BETWEEN THE LARGER ROCKS. FILTER CLOTH SHALL BE PLACED UNDER ALL RIP-RAP AND SHALL MEET THE REQUIREMENTS OF THE WEST VIRGINIA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS.

4. **MAINTENANCE:**

- (A) OWNERSHIP, MAINTENANCE, INSPECTIONS, AND CLEANING OF STORMWATER MANAGEMENT FACILITIES SHALL BE THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION OR LOT OWNERS ASSOCIATION AND/OR PROPERTY OWNER OR OTHER RESPONSIBLE ENTITY. ALL STORMWATER MANAGEMENT FACILITIES SHALL BE CONVEYED BY DEED TO THE RESPONSIBLE PARTY AT THE SAME TIME TRANSFER OF ALL OTHER COMMON AREAS IS REQUIRED UNDER THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
- (B) THE HOMEOWNERS ASSOCIATION OR LOT OWNERS ASSOCIATION AND/OR PROPERTY OWNER OR OTHER ENTITY RESPONSIBLE FOR THE MAINTENANCE OF THE STORMWATER MANAGEMENT FACILITIES CONSTRUCTED PURSUANT TO THE JEFFERSON COUNTY STORMWATER MANAGEMENT ORDINANCE SHALL MAINTAIN IN GOOD CONDITION AND PROMPTLY REPAIR AND RESTORE ALL GRADE SURFACES, WALLS, DRAINS, DAMS AND STRUCTURES, DISCHARGE STRUCTURES, TRASH RACKS, VEGETATION, EROSION AND SEDIMENT CONTROL MEASURES, AND OTHER PROTECTIVE DEVICES. SUCH REPAIRS OR RESTORATION AND MAINTENANCE SHALL BE IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS.
- (C) THE PARTY RESPONSIBLE FOR THE MAINTENANCE OF THE STORMWATER MANAGEMENT SYSTEM SHALL MAINTAIN AND PROVIDE WRITTEN RECORDS OF ALL MAINTENANCE AND REPAIRS WITHIN 30 DAYS OF WORK COMPLETION TO THE WVDEP. A COPY OF THESE RECORDS SHALL BE SUBMITTED TO THE JEFFERSON COUNTY ENGINEERING DEPARTMENT AS NOTIFICATION THAT MAINTENANCE WORK WAS PERFORMED.
- (D) A PERIODIC MAINTENANCE SCHEDULE SHALL BE DEVELOPED FOR THE LIFE OF ANY STORMWATER MANAGEMENT FACILITY. ALL MAINTENANCE AND REPAIR, PERIODIC INSPECTIONS, AND CLEANING OF STORMWATER MANAGEMENT FACILITIES SHALL BE THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION OR LOT OWNERS ASSOCIATION AND/OR PROPERTY OWNER OR OTHER RESPONSIBLE ENTITY, AND SHALL BE PERFORMED IN ACCORDANCE WITH THE JEFFERSON COUNTY STORMWATER MANAGEMENT ORDINANCE UNDER WHICH THE PROJECT WAS APPROVED.
- (E) INSPECTION OF THE PRIMARY SPILLWAY ORIFICE MAY REQUIRE GREATER FREQUENCY DEPENDING UPON THE AMOUNT OF DEBRIS WHICH ACCUMULATES WITHIN THE STORMWATER MANAGEMENT FACILITY. ANY TRASH AND/OR DEBRIS WITHIN THE STORMWATER MANAGEMENT FACILITY SHALL BE REMOVED AND PROPERLY DISPOSED OF.
- (F) THE HOMEOWNERS ASSOCIATION OR LOT OWNERS ASSOCIATION AND/OR PROPERTY OWNER OR OTHER RESPONSIBLE ENTITY SHALL BE RESPONSIBLE FOR ENGAGING A MANAGEMENT FIRM TRAINED IN PROPER MAINTENANCE AND INSPECTION OF STORMWATER MANAGEMENT FACILITIES. IT SHALL BE THE RESPONSIBILITY OF SAID FIRM TO MAINTAIN ALL REQUIRED RECORDS AND REPORT THESE FINDINGS TO THE WVDEP TO ENSURE PROTECTION OF THE GROUND WATER. THE PARAMETERS AND THE FREQUENCY OF THIS MONITORING SHALL BE DETERMINED BY WVDEP.

5. **POND LANDSCAPING NOTE:**

- (A) THE SWM BASIN SHALL BE VEGETATED WITH GRASS TO ENHANCE WATER QUALITY. ADDITIONAL PLANTINGS MAY BE PROVIDED AT THE OWNERS DISCRETION, HOWEVER, NO LANDSCAPING SHALL BE PERMITTED ALONG ANY PORTION OF THE POND EMBANKMENT.

JEFFERSON COUNTY, WEST VIRGINIA STORMWATER MANAGEMENT FACILITIES MAINTENANCE REQUIREMENT

1. IN ACCORDANCE WITH THE JEFFERSON COUNTY STORMWATER MANAGEMENT ORDINANCE UNDER WHICH THIS PROJECT WAS APPROVED; PERIODIC INSPECTION AND MAINTENANCE SHALL BE PERFORMED TO ENSURE THE PROPER FUNCTION OF ALL STORMWATER MANAGEMENT FACILITIES.
2. ALL MAINTENANCE AND REPAIR, PERIODOC INSPECTIONS, AND CLEANING OF STORMWATER MANAGEMENT FACILITIES SHALL BE THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION OR LOT OWNERS ASSOCIATION, AND/OR PROPERTY OWNER OR OTHER RESPONSIBLE ENTITY, AND SHALL BE PERFORMED IN ACCORDANCE WITH THE JEFFERSON COUNTY STORMWATER MANAGEMENT ORDINANCE UNDER WHICH THE PROJECT WAS APPROVED.

STORMWATER FACILITY MAINTENANCE AND INSPECTION SCHEDULE

1. REGULAR MAINTENANCE:
- A. MOWING (SEASONAL) AND REMOVAL OF TRASH AND DEBRIS SHALL BE PERFORMED ON A MONTHLY BASIS AT A MINIMUM.
- B. REPAIR AND STABILIZATION OF ERODED AREAS SHALL BE PERFORMED DURING GROWING SEASON AND ON AN ANNUAL BASIS AT A MINIMUM.
2. PERIODIC INSPECTIONS:
- ALL ELEMENTS OF STORMWATER MANAGEMENT FACILITIES SHALL BE INSPECTED FOR PROPER OPERATION AND MAINTENANCE AS FOLLOWS.
- A. AFTER THE FIRST YEAR OF OPERATION.
- B. ONCE EVERY YEAR AFTER THE FIRST YEAR OF OPERATION.
- C. WITHIN 15 DAYS AFTER ANY MAINTENANCE ACTIVITIES ARE PERFORMED AND COMPLETED.
- D. AFTER A 3-INCH RAINFALL WITHIN A 24-HOUR PERIOD STORM EVENT (2-YEAR, 24-HOUR STORM EVENT).
- E. AS REQUESTED BY THE JEFFERSON COUNTY ENGINEERING DEPARTMENT IN RESPONSE TO COMPLAINTS OR NOTICE OF POSSIBLE VIOLATIONS.

BEST MANAGEMENT PRACTICES (BMP'S) MAINTENANCE PROCEDURES

1. MAINTENANCE FOR RAIN GARDENS, VEGETATED DRAINAGE SWALES, RIPARIAN BUFFERS, INFILTRATION BASINS, ETC. SHALL BE PERFORMED IN ACCORDANCE WITH THE BMP MAINTENANCE SPECIFICATIONS IN THE WEST VIRGINIA DEPARTMENT OF ENVIRONMENTAL PROTECTION'S WEST VIRGINIA STORMWATER MANAGEMENT AND DESIGN GUIDANCE MANUAL.

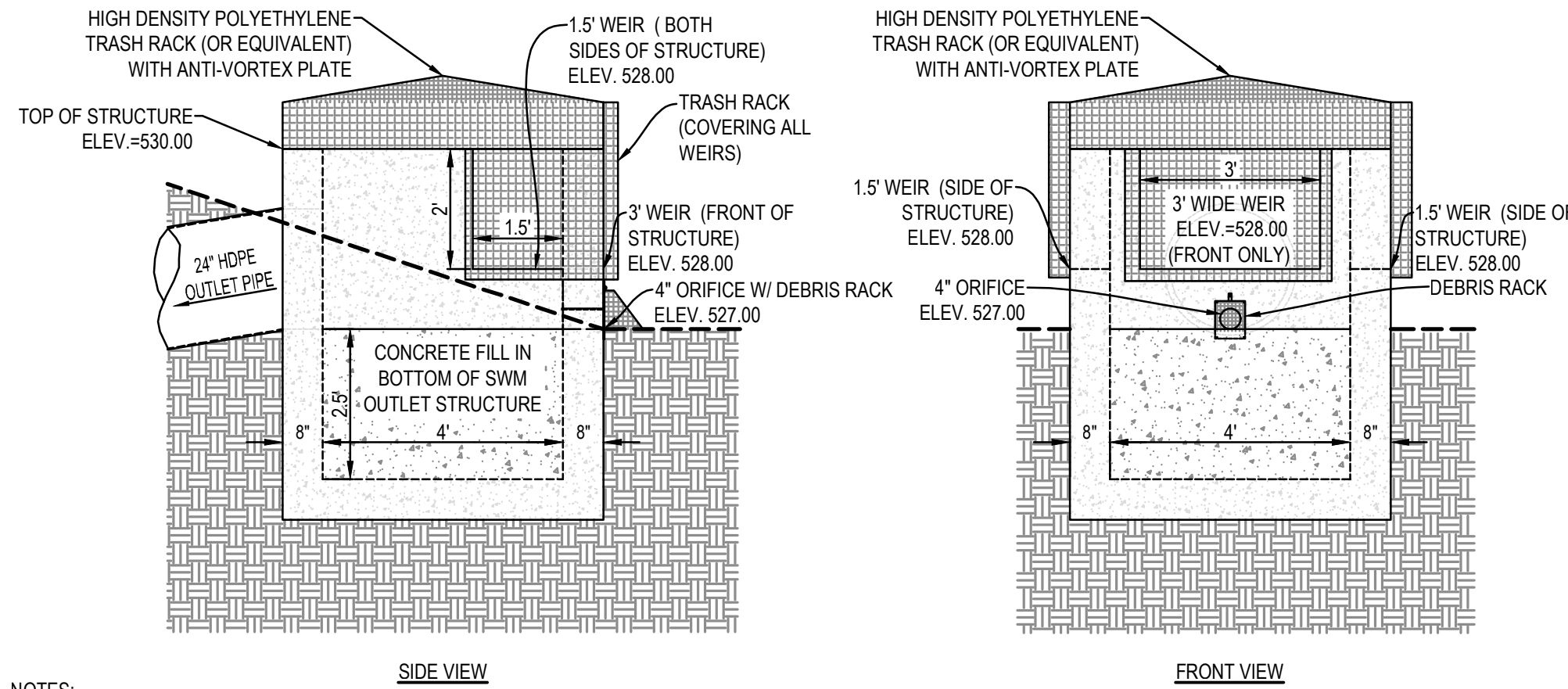
PROJECT-SPECIFIC MAINTENANCE PROCEDURES REQUIRED

(DETERMINED BY THE STORMWATER MANAGEMENT PLAN ENGINEER-OF-RECORD)

1. SEE NOTES PROVIDED ON THE SWM DETAILS SHEETS.

TYPICAL SIDE & FRONT VIEW OF SWM POND 1 OUTLET STRUCTURE:

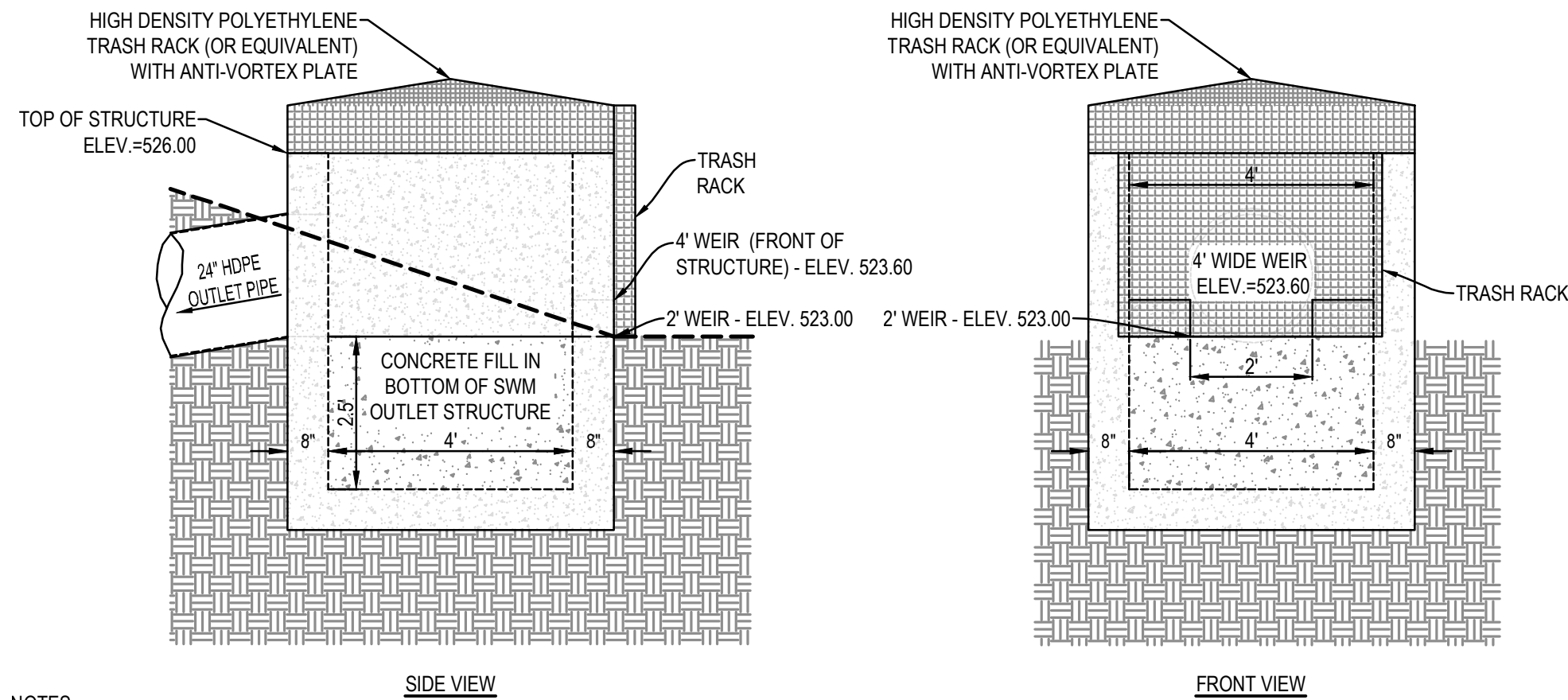
NOT TO SCALE



- NOTES:
1. *REFER TO NOTE 3(B) OF STORMWATER MANAGEMENT NARRATIVE.
2. STRUCTURAL DESIGN OF RISER STRUCTURE, IF NOT IN CONFORMANCE WITH DETAILS AS SHOWN ON SHEET 34, SHALL BE SUBMITTED BY CONTRACTOR TO JEFFERSON COUNTY ENGINEERING FOR APPROVAL.

TYPICAL SIDE & FRONT VIEW OF SWM POND 3 OUTLET STRUCTURE:

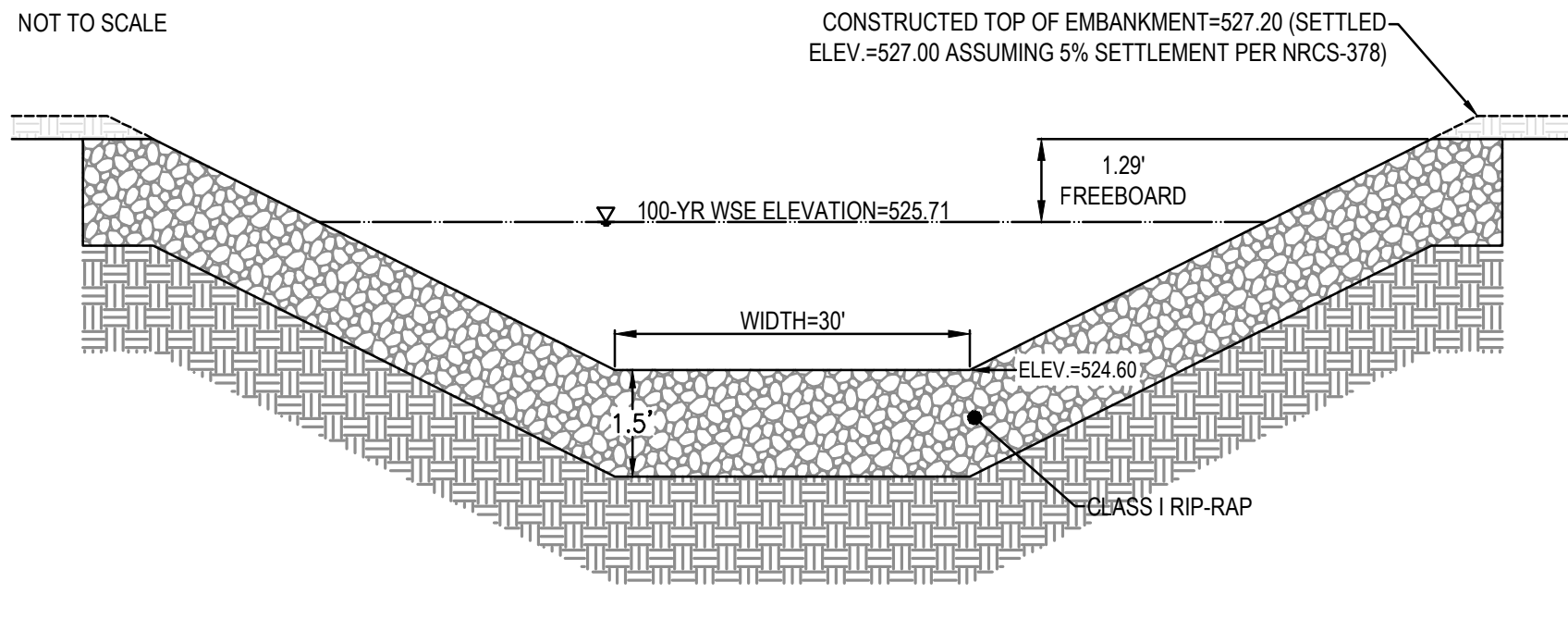
NOT TO SCALE



- NOTES:
1. *REFER TO NOTE 3(B) OF STORMWATER MANAGEMENT NARRATIVE.
2. STRUCTURAL DESIGN OF RISER STRUCTURE, IF NOT IN CONFORMANCE WITH DETAILS AS SHOWN ON SHEET 34, SHALL BE SUBMITTED BY CONTRACTOR TO JEFFERSON COUNTY ENGINEERING FOR APPROVAL.

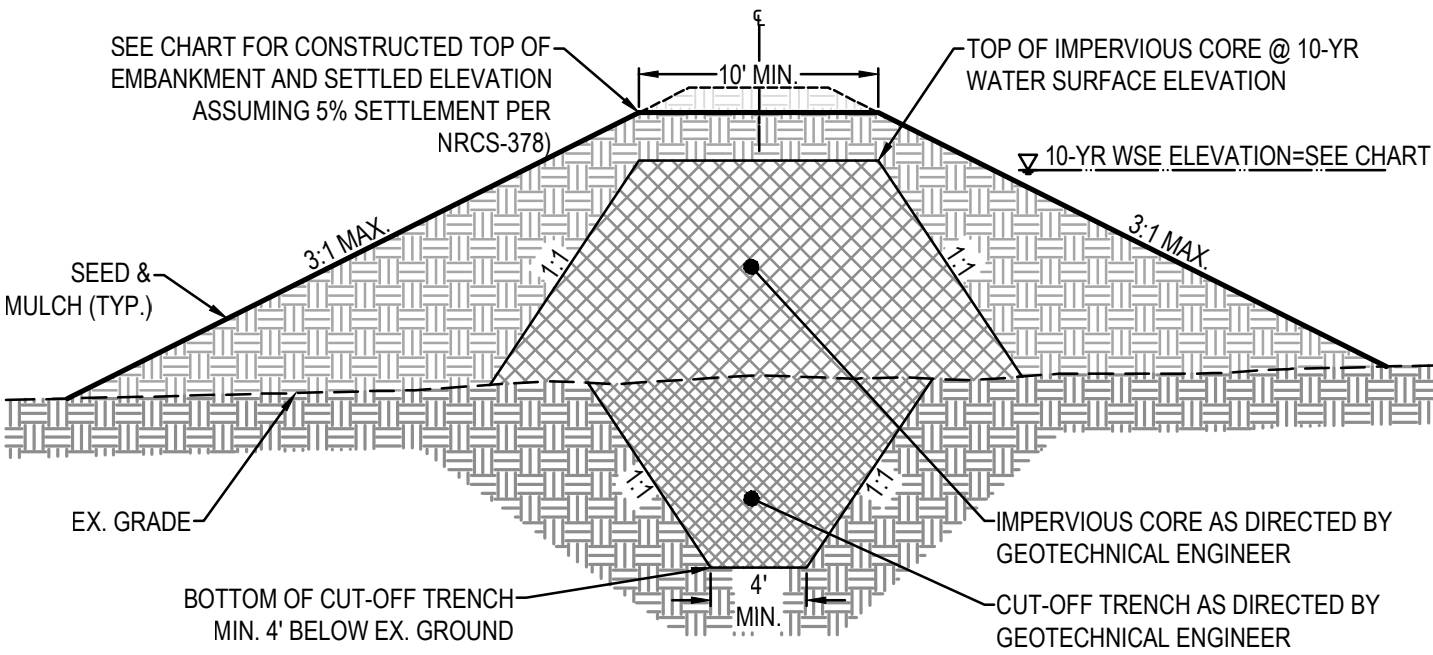
POND 3 EMERGENCY SPILLWAY:

NOT TO SCALE



TYPICAL SECTION THROUGH SWM POND DAM EMBANKMENT:

NOT TO SCALE



Pond #	Width (Ft.)	Embankment		
		Constructed Elevation	Settled Elevation	Upstream Bottom
1	10	531.20	531.00	527.00
3	10	527.20	527.00	523.00

Pond #	Water Surface Elevation		
	2-YR	10-YR	100-YR
1	527.38	528.13	529.31
3	523.43	524.41	525.71



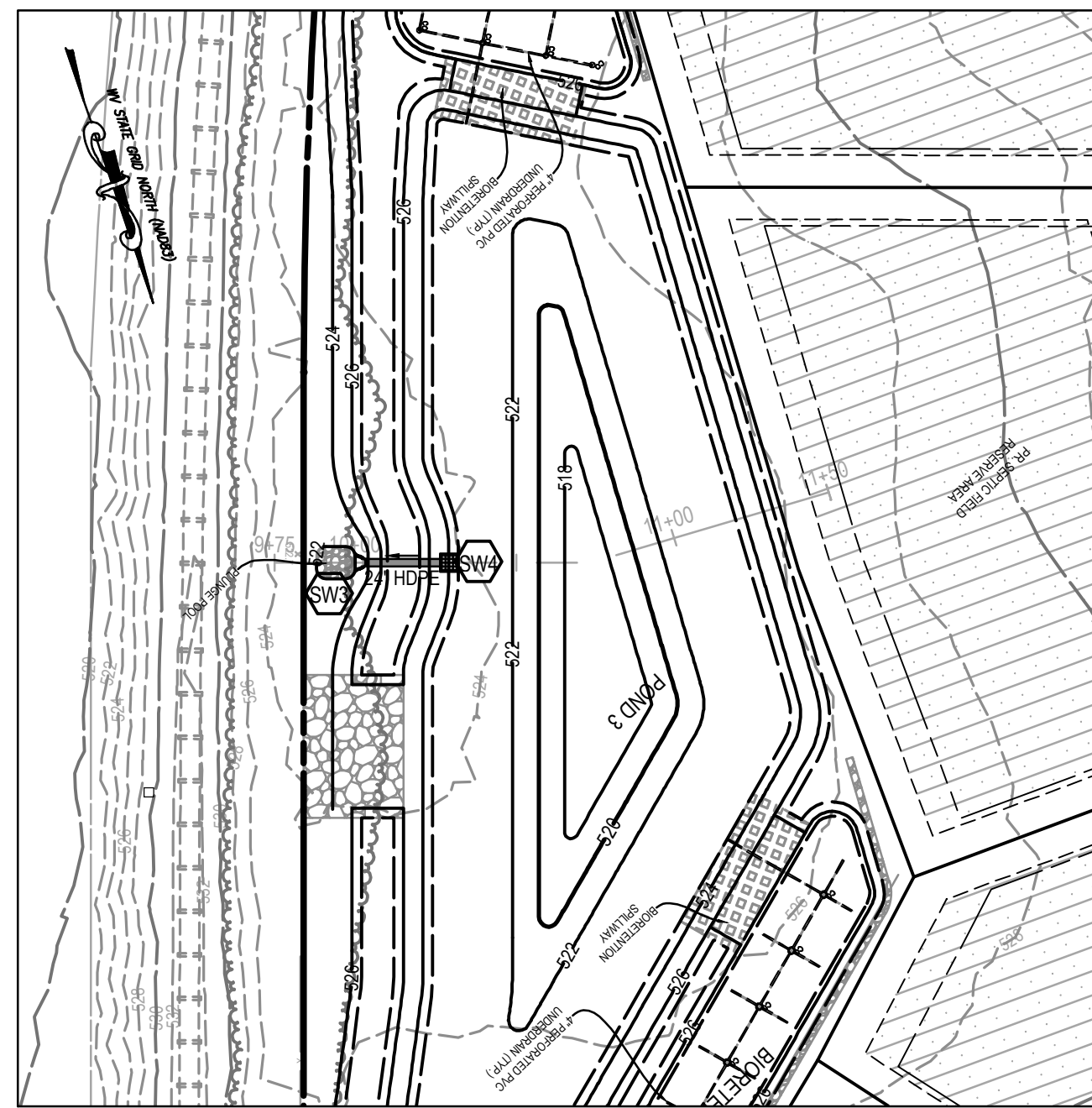
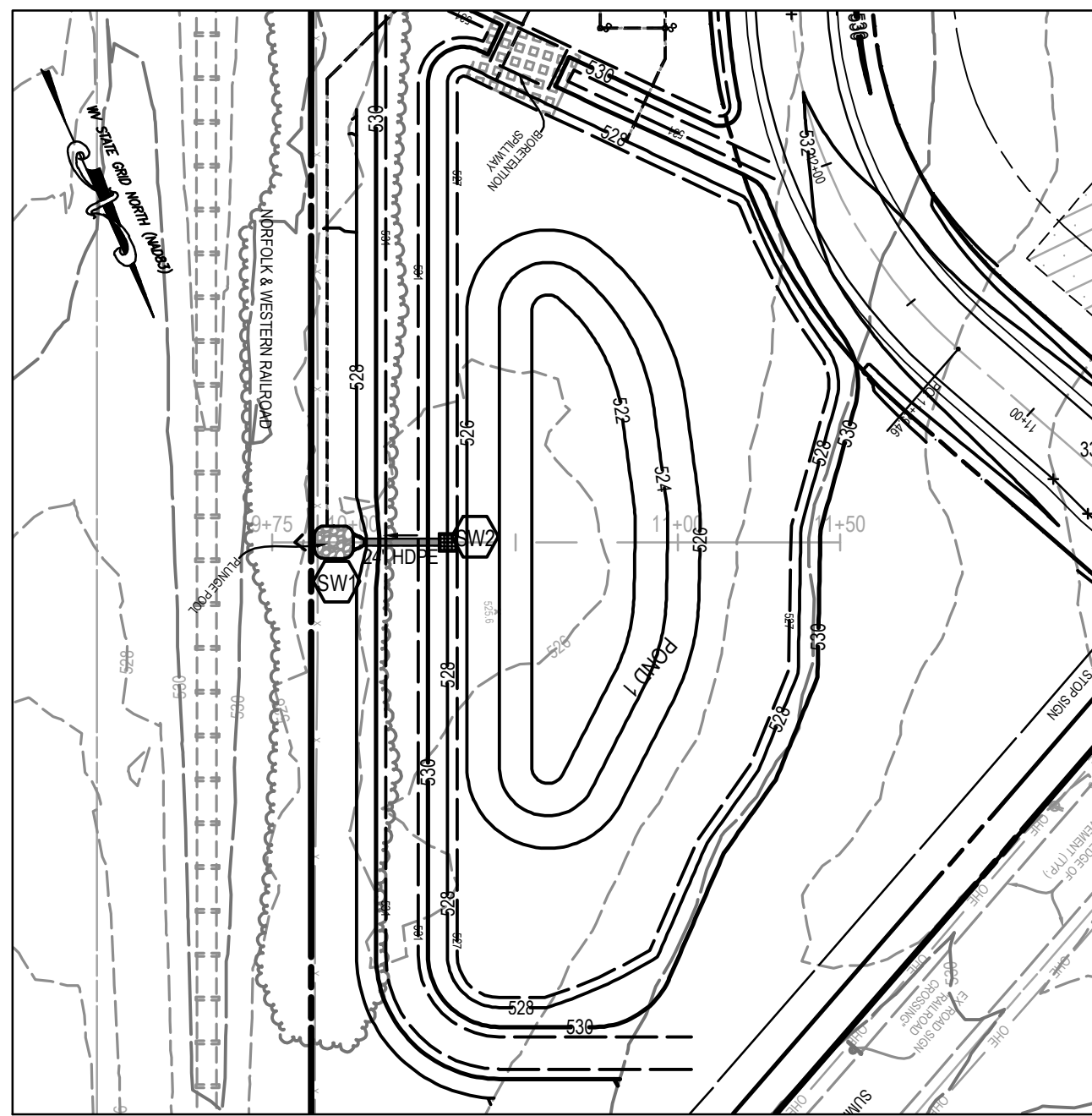
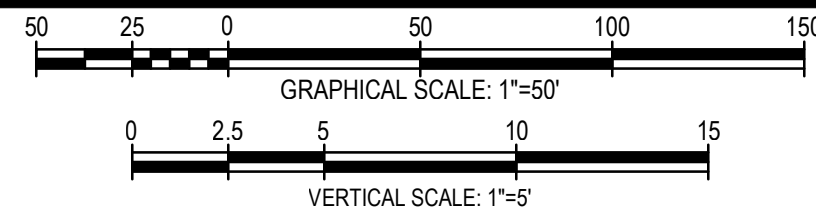
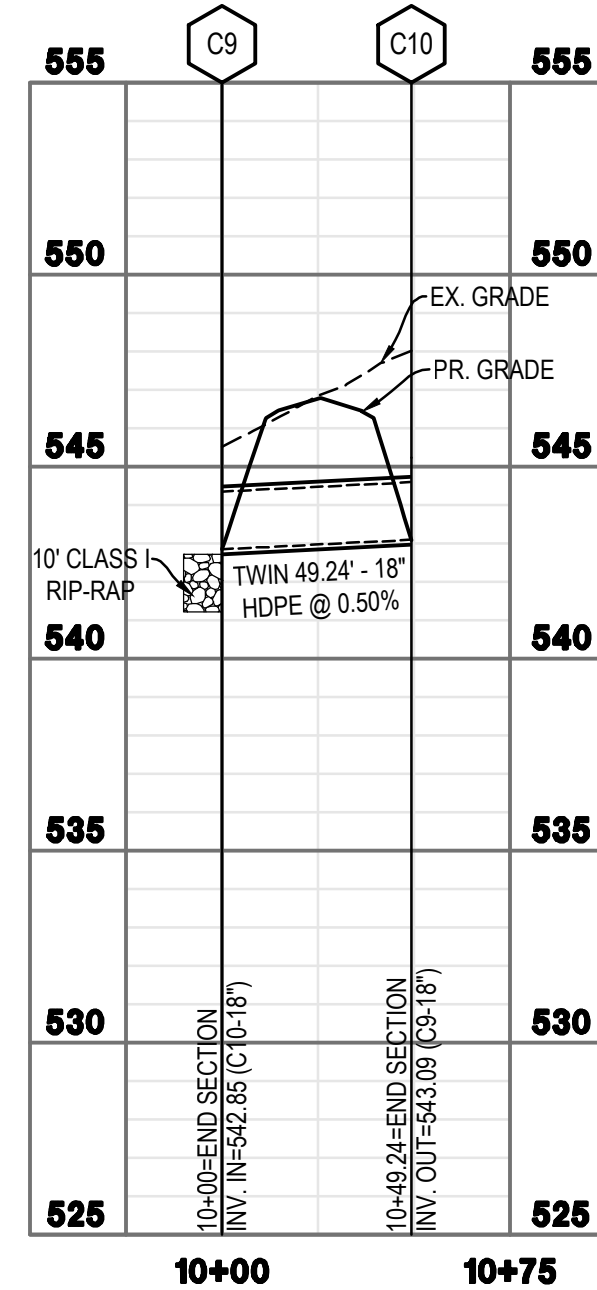
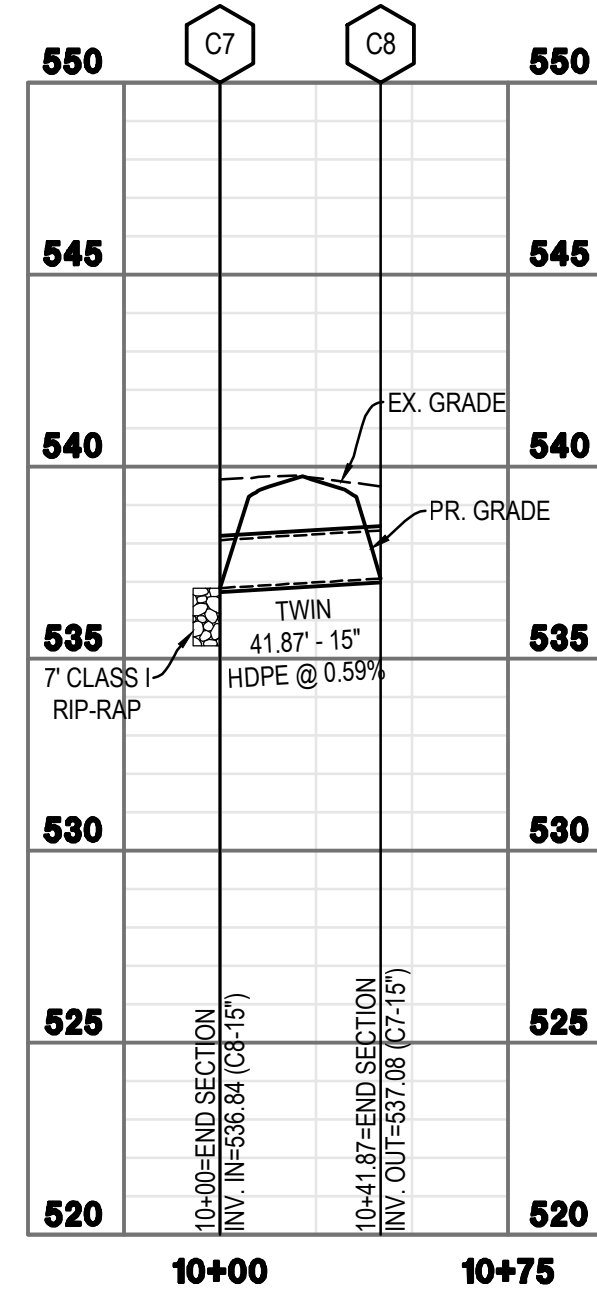
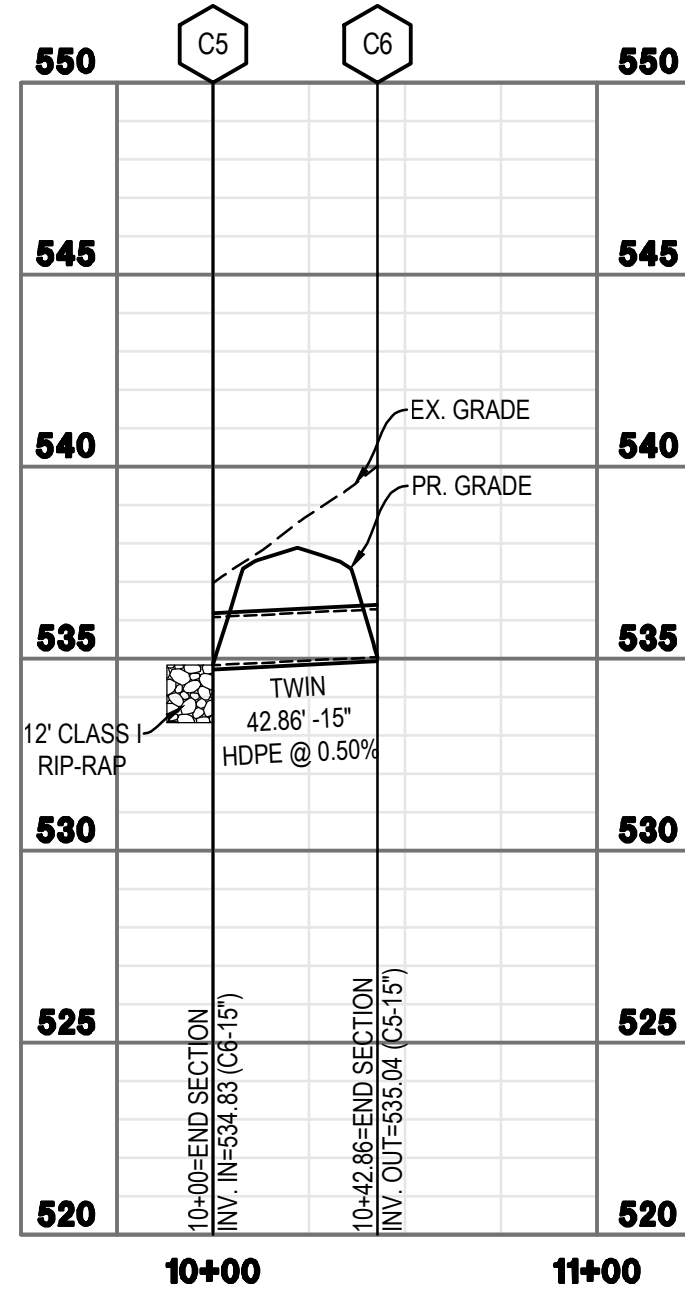
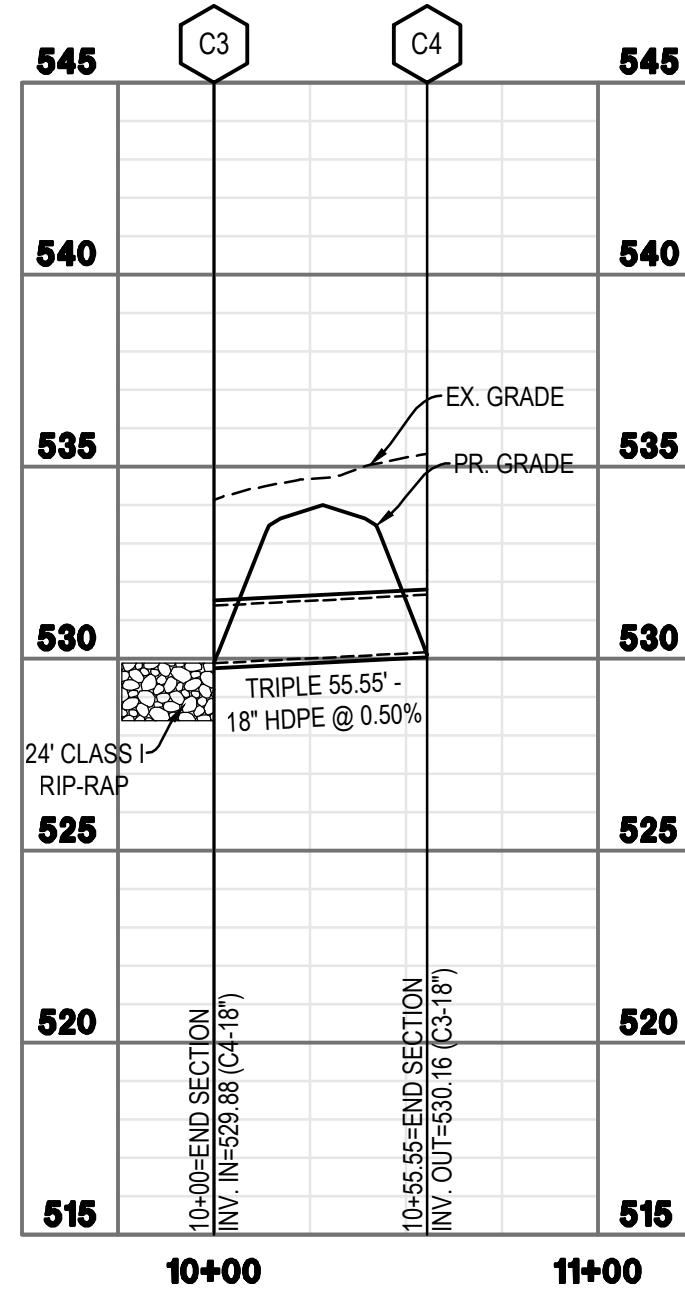
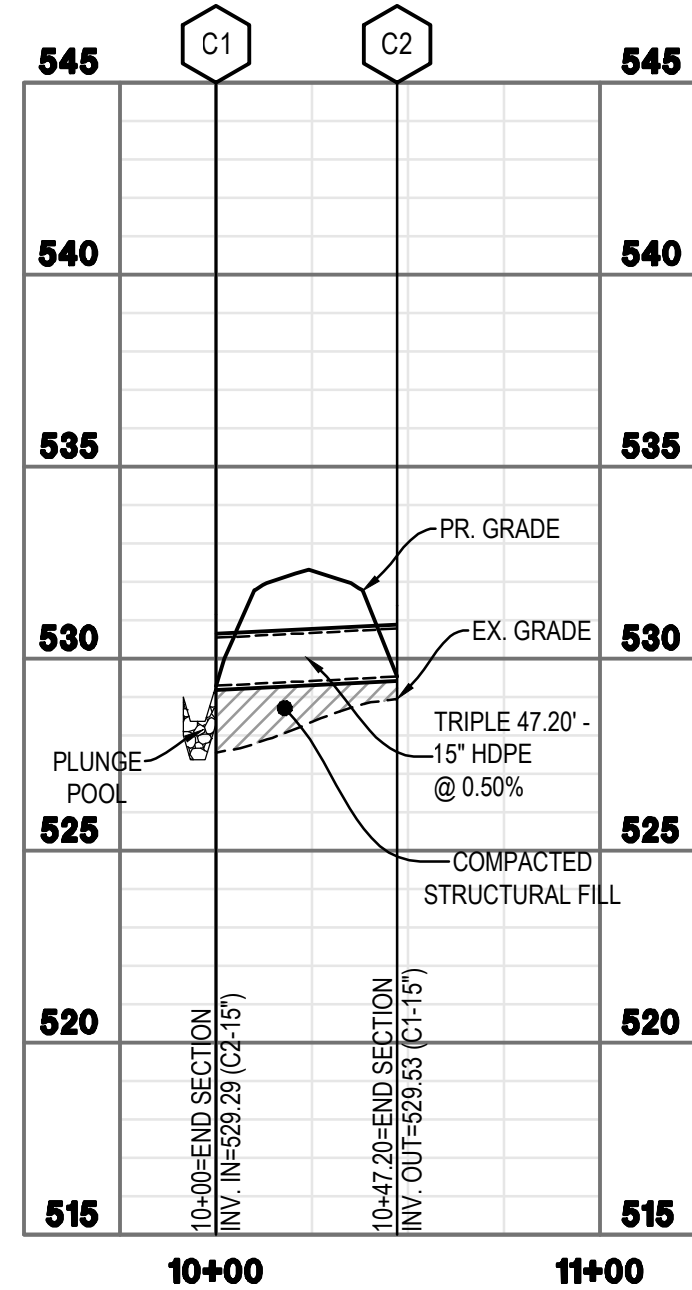
REVISIONS				
1)	2021-10-07	PER WYDOH COMMENTS		
2)	2021-11-12	PER JEFFERSON COUNTY COMMENTS		
3)	2021-11-30	PER JEFFERSON COUNTY COMMENTS		
4)	2021-12-17	PER JEFFERSON COUNTY COMMENTS		
5)	2022-01-04	PER JEFFERSON COUNTY COMMENTS		

STORMWATER MANAGEMENT NARRATIVE

MILTON'S LANDING
PRELIMINARY PLAT
DIST 2, MAP 11, PARCEL 30.2 (DB 1271/PG 136)
JEFFERSON COUNTY, WEST VIRGINIA

J.C.P.C. FILE #XX-XX

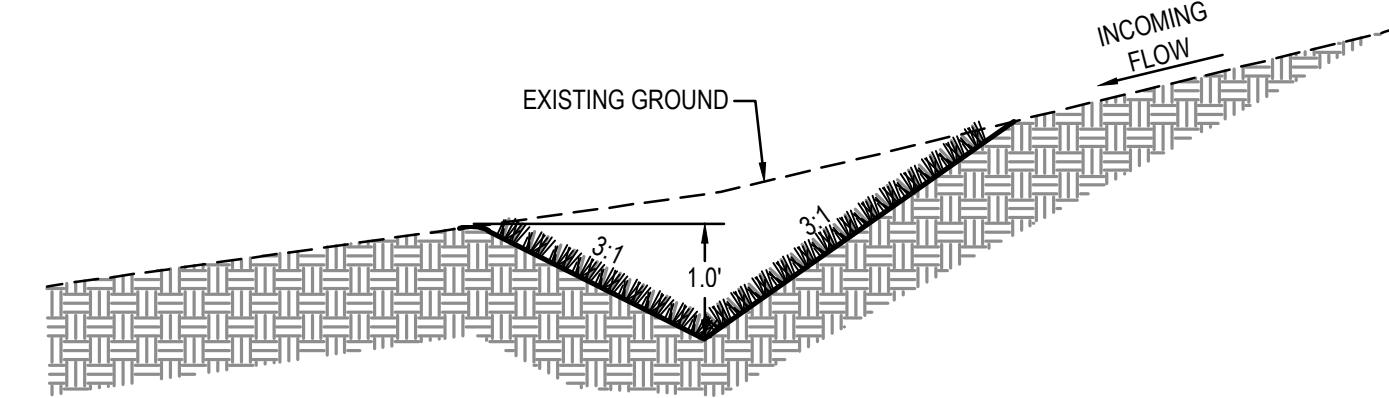
SCALE:	HORIZ.: AS NOTED
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DATE:	SEPTEMBER 2021
JOB:	3529-0101
DRAWN:	CHECK:
CADD:	C-CJ-001.DWG
NCS:	N/A
SHEET:	



MILTON'S LANDING DRIVEWAY CULVERT COMPUTATIONS				
LOT #	QUANTITY	PIPE SIZE (IN.)	PIPE MATERIAL	
1	2	18	HDPE	
2	2	18	HDPE	
3	2	15	HDPE	
4	2	15	HDPE	
5	2	15	HDPE	
6	1	15	HDPE	
8	2	15	HDPE	
9	1	15	HDPE	
11	1	15	HDPE	
12	2	18	HDPE	
13	3	15	HDPE	
14	3	15	HDPE	
15	2	15	HDPE	
16	1	15	HDPE	
18	1	15	HDPE	
19	1	15	HDPE	
22	1	15	HDPE	
25	1	15	HDPE	
26	1	15	HDPE	
27	2	15	HDPE	
28	2	15	HDPE	
30	1	15	HDPE	
31	1	15	HDPE	
33	1	15	HDPE	
34	1	15	HDPE	
35	1	15	HDPE	
39	1	15	HDPE	
40	1	15	HDPE	
42	1	15	HDPE	
43	1	15	HDPE	
44	1	15	HDPE	
45	1	15	HDPE	
46	1	15	HDPE	
48	1	15	HDPE	
49	1	15	HDPE	
50	1	15	HDPE	

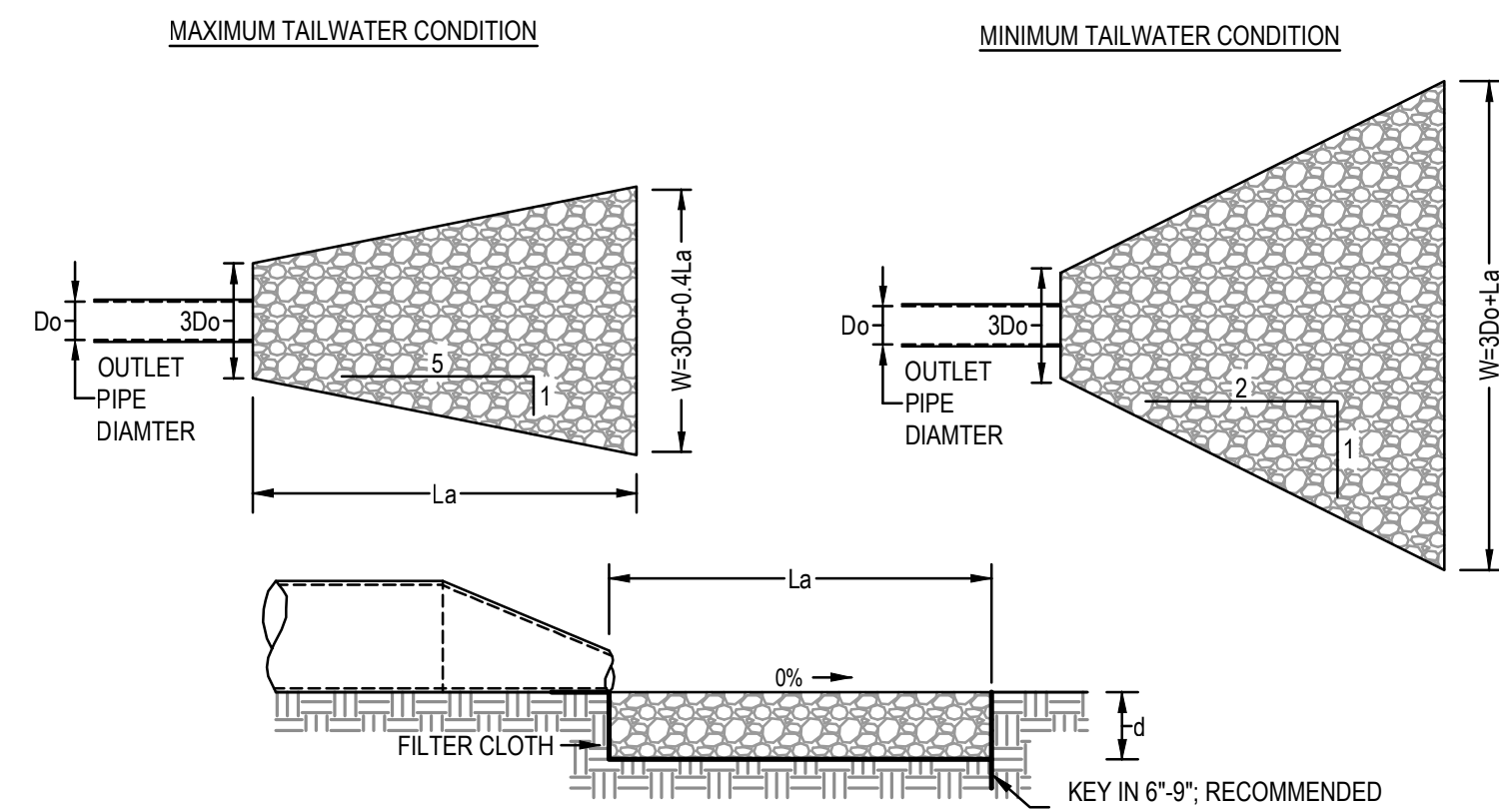
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NOT TO SCALE

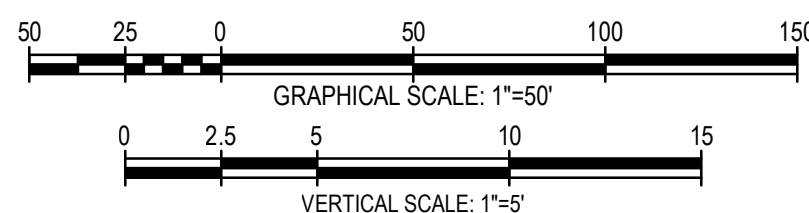
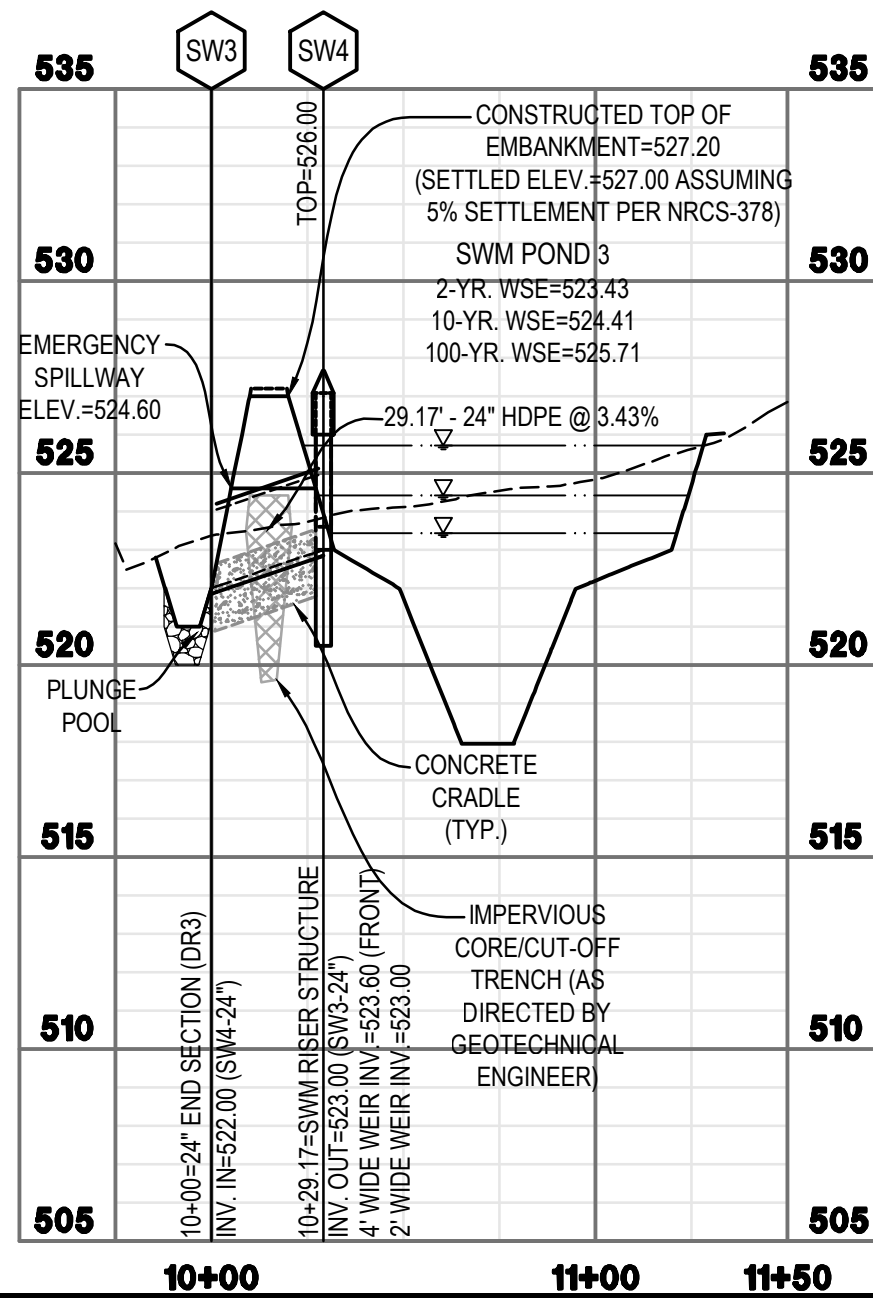
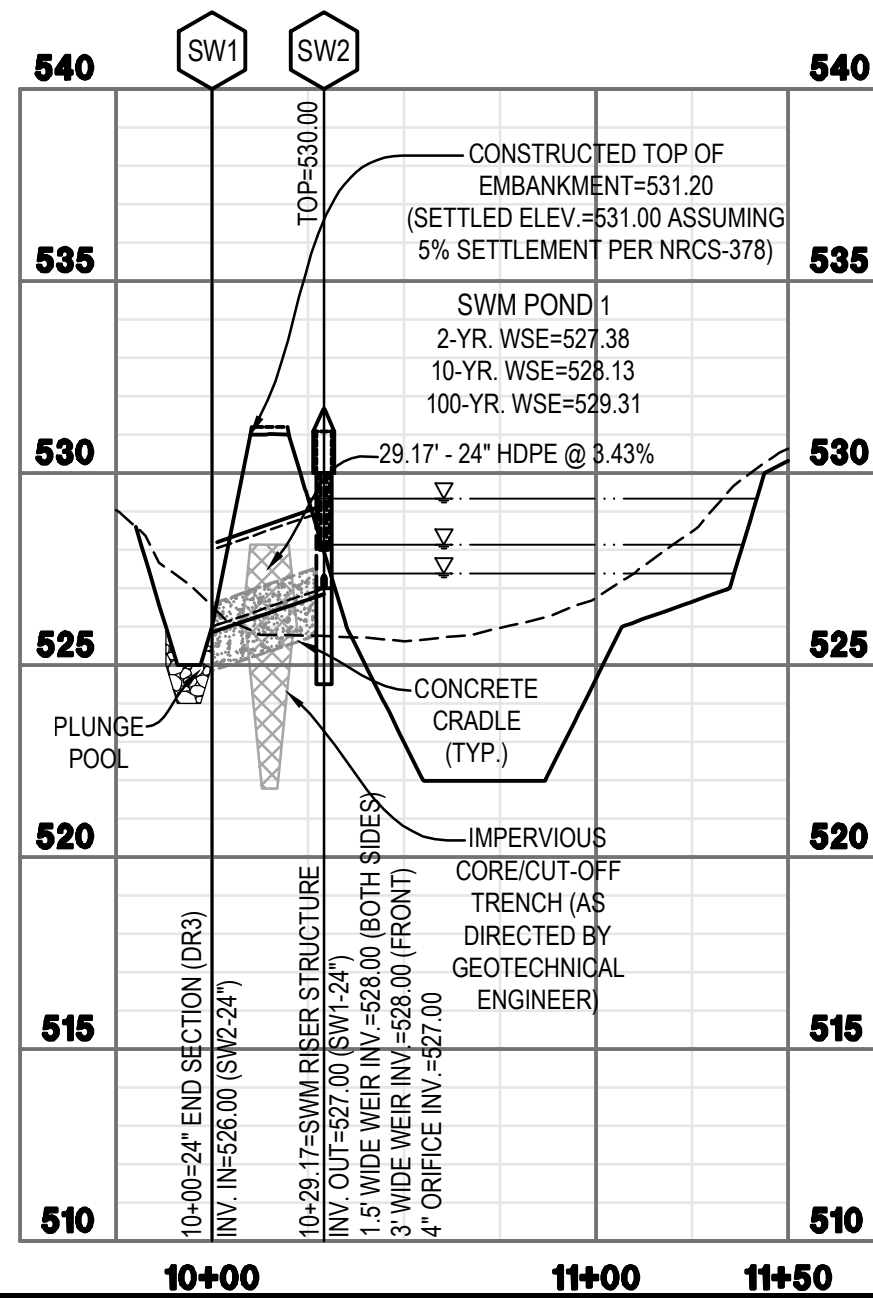


OUTLET PROTECTION COMPUTATIONS

NOT TO SCALE



STR. NO.	PIPE DIAMETER (IN.)	DISCHARGE Q2s (CFS)	VELOCITY (FPS)	TW DEPTH > 1/2 DIA. PIPE	TAILWATER CONDITION	STONE QUALITY		BLANKET THICKNESS (IN.)	APRON LENGTH (La) MINIMUM (FT.)	APRON WIDTH (W) MINIMUM (FT.)	3 Do (FT)
						CLASS	D50 (IN.)	Dmax (IN.)			
C3	3-18"	39.5	7.84	YES	MAX.	I	D50=6"	Dmax=9"	13.50	24.0	23.1
C5	2-15"	12.1	5.73	YES	MAX.	I	D50=6"	Dmax=9"	13.50	12.0	12.3
C7	2-15"	10.0	5.25	YES	MAX.	I	D50=6"	Dmax=9"	13.50	7.0	10.3
C9	2-18"	20.8	6.66	YES	MAX.	I	D50=6"	Dmax=9"	13.50	10.0	13.0



1) 2021-10-07 PER WDOH COMMENTS

2) 2021-11-12 PER JEFFERSON COUNTY COMMENTS

3) 2021-11-30 PER JEFFERSON COUNTY COMMENTS

4) 2021-12-17 PER JEFFERSON COUNTY COMMENTS

5) 2022-01-04 PER JEFFERSON COUNTY COMMENTS

CULVERT PROFILES

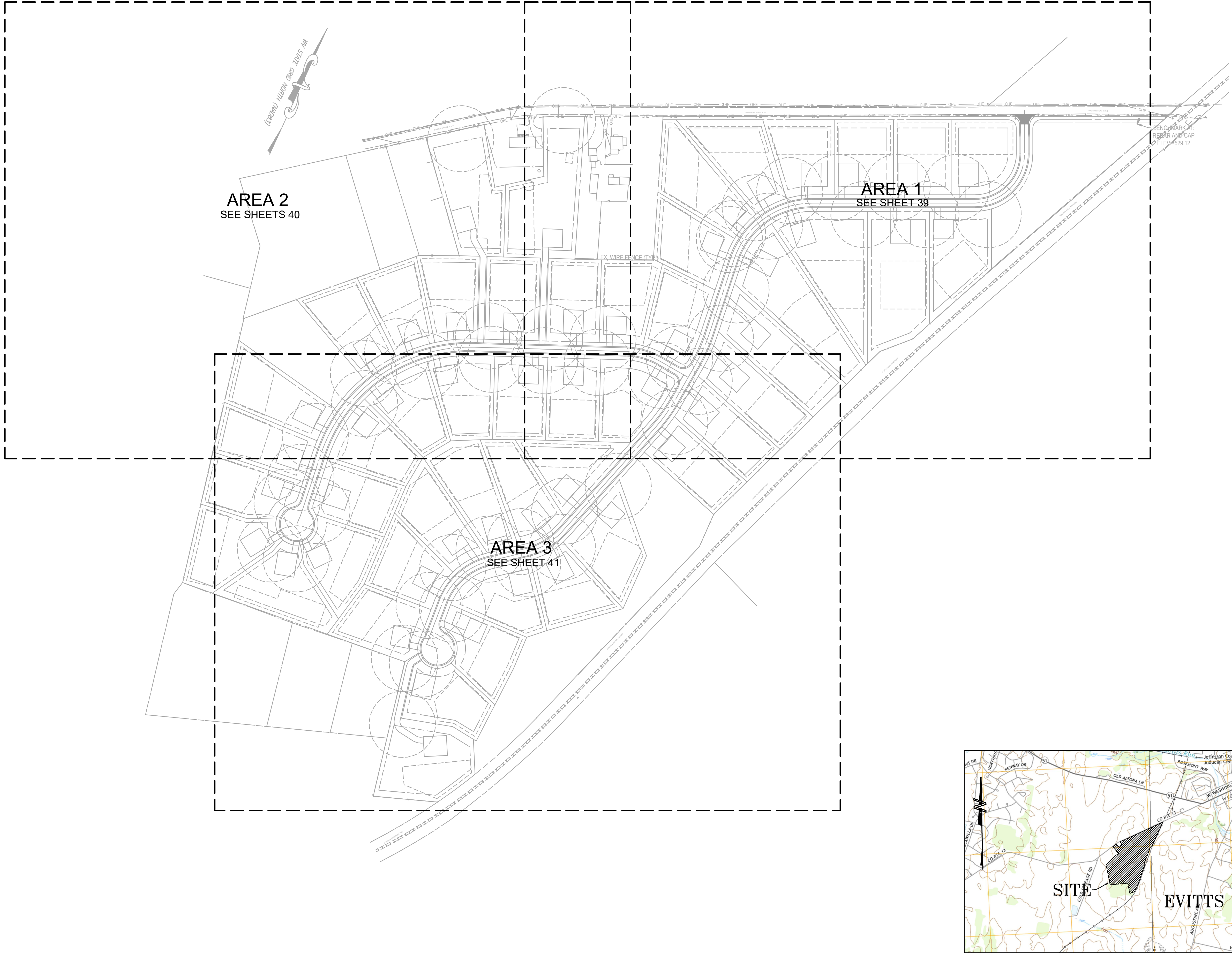
**MILTON'S LANDING
PRELIMINARY PLAT**
DIST 2, MAP 11, PARCEL 30.2 (DB 1271/PG 136)
JEFFERSON COUNTY, WEST VIRGINIA

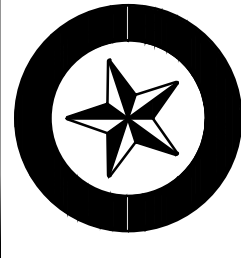
J.C.P.C. FILE #XX-XX

SCALE: HORIZ.: AS NOTED
VERT.: AS NOTED
DATE: SEPTEMBER 2021
JOB: 3529-0101
DRAWN: CHECK:
CADD: C-CJ-701.DWG
NCS: N/A
SHEET:



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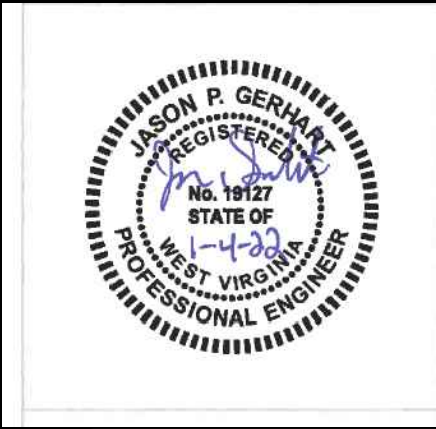


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2)	2021-11-12 PER JEFFERSON COUNTY COMMENTS
3)	2021-11-30 PER JEFFERSON COUNTY COMMENTS
4)	2021-12-17 PER JEFFERSON COUNTY COMMENTS
5)	2022-01-04 PER JEFFERSON COUNTY COMMENTS

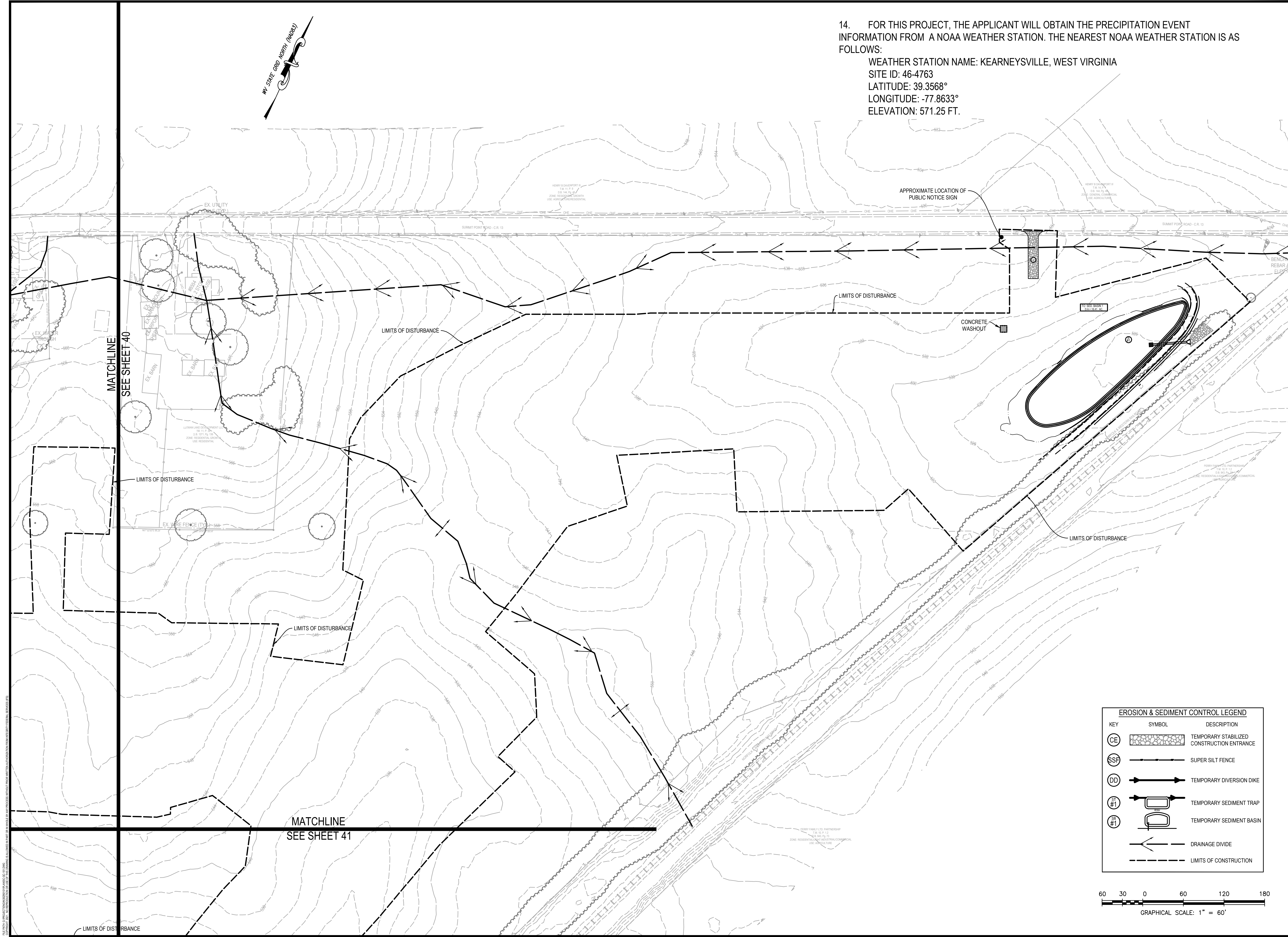
OVERALL EROSION AND SEDIMENT CONTROL PLAN

MILTON'S LANDING
PRELIMINARY PLAT

DIST 2, MAP 11, PARCEL 30.2 (DB 1271/PG 136)
JEFFERSON COUNTY, WEST VIRGINIA

J.C.P.C. FILE #XX-XX

SCALE:	HORIZ.: 1" = 150'
DATE:	SEPTMBER 2021
JOB:	3529-0101
DRAWN:	CHECK:
CADD:	C-GC-100.DWG
NCS:	N/A
SHEET:	38 OF 44



14. FOR THIS PROJECT, THE APPLICANT WILL OBTAIN THE PRECIPITATION EVENT INFORMATION FROM A NOAA WEATHER STATION. THE NEAREST NOAA WEATHER STATION IS AS FOLLOWS:
WEATHER STATION NAME: KEARNEYSVILLE, WEST VIRGINIA
SITE ID: 46-4763
LATITUDE: 39.3568°
LONGITUDE: -77.8633°
ELEVATION: 571.25 FT.

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5)	2022-01-04	PER JEFFERSON COUNTY COMMENTS		

EROSION AND SEDIMENT CONTROL PLAN

MILTON'S LANDING
PRELIMINARY PLAT
DIST 2, MAP 11, PARCEL 30.2 (DB 1271PG 136)
JEFFERSON COUNTY, WEST VIRGINIA

J.C.P.C. FILE #XX-XX

SCALE:	HORIZ.: 1" = 50'
DATE:	SEPTEMBER 2021
JOB:	3529-0101
DRAWN:	CHECK:
CADD:	C-GC-101.DWG
NCS:	N/A
SHEET:	39 OF 44



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WEATHER STATION NAME: KEARNEYSVILLE, WEST VIRGINIA
SITE ID: 46-4763
LATITUDE: 39.3568°
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4)	2021-12-17	PER JEFFERSON COUNTY COMMENTS		
5)	2022-01-04	PER JEFFERSON COUNTY COMMENTS		

EROSION AND SEDIMENT CONTROL PLAN

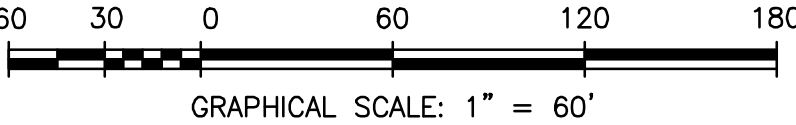
MILTON'S LANDING
PRELIMINARY PLAT

DIST 2, MAP 11, PARCEL 30.2 (DB 1271PG 136)
JEFFERSON COUNTY, WEST VIRGINIA

J.C.P.C. FILE #XX-XX

SCALE:	HORIZ.: 1" = 50'
DATE:	SEPTEMBER 2021
JOB:	3529-0101
DRAWN:	CHECK:
CADD:	C-GC-101.DWG
NCS:	N/A
SHEET:	40 OF 44

EROSION & SEDIMENT CONTROL LEGEND		
KEY	SYMBOL	DESCRIPTION
CE		TEMPORARY STABILIZED CONSTRUCTION ENTRANCE
SSF		SUPER SILT FENCE
DD		TEMPORARY DIVERSION DIKE
#1		TEMPORARY SEDIMENT TRAP
#1		TEMPORARY SEDIMENT BASIN
		DRAINAGE DIVIDE
		LIMITS OF CONSTRUCTION



THIS PLAN IS PREPARED FOR THE PROJECT OF THE CLIENT AND IS NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER. THE ENGINEER IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS PLAN.

EROSION AND SEDIMENT CONTROL NARRATIVE:

I. PROJECT DESCRIPTION:

THIS PROJECT IS FOR THE CONSTRUCTION OF A 50 LOT SUBDIVISION (SINGLE-FAMILY DETACHED) WITH ASSOCIATED ROADS AND STORMWATER MANAGEMENT. IN ADDITION, THERE WILL BE THE CONSTRUCTION OF AN LOT SEPTIC AND WELL UTILITIES SERVING THE PROPERTY. THE TOTAL PROJECT AREA IS APPROXIMATELY 467.56 ACRES. THE TOTAL IMPERVIOUS AREA CREATED BY THE DEVELOPMENT OF THE SITE IS APPROXIMATELY 49.12 ACRES. ASSOCIATED GRADING VOLUMES FOR THE PROPOSED SITE IMPROVEMENTS ARE APPROXIMATELY 50,000 C.Y. OF CUT AND 50,000 C.Y. OF FILL (NOT TO BE USED FOR BIDDING PURPOSES).

II. EXISTING SITE CONDITIONS:

THE SITE IS LOCATED ALONG THE SOUTHERN SIDE OF SUMMIT POINT ROAD. THE SUBJECT PROPERTY CONSISTS OF UNDEVELOPED OPEN SPACE COVERED WITH FIELD GRASS AND VEGETATED AREAS. THE SITE CONSISTS OF MODERATELY STEEP AND FLAT SLOPES RANGING FROM APPROXIMATELY 1%-15%. THE SURFACE RUNOFF DRAINS VIA SWALES TO OUTFALL LOCATIONS AT THE NORTHEASTERN, SOUTHEASTERN, AND WESTERN PORTION OF THE SITE.

III. ADJACENT AREAS:

THE SITE IS BOUNDED BY RESIDENTIAL PROPERTIES AND SUMMIT POINT ROAD TO THE NORTH WITH AGRICULTURAL AREAS BEYOND. AGRICULTURAL AREAS TO THE WEST AND SOUTH, AND NORFOLK & WESTERN RAILROAD TO THE EAST WITH AGRICULTURAL AREAS BEYOND. THERE IS LITTLE POTENTIAL FOR OFFSITE EROSION AND SEDIMENT DAMAGE BY THIS PROJECT AS TEMPORARY EROSION AND SEDIMENT CONTROLS WILL BE USED DURING CONSTRUCTION AND PERMANENT STORMWATER MANAGEMENT CONTROLS WILL BE INSTALLED PRIOR TO THE SITE BEING FULLY DEVELOPED.

IV. CRITICAL AREAS:

THERE ARE NO CRITICAL AREAS ON THIS SITE. DISTURBED AREAS WILL BE PROTECTED WITH SILT FENCE, DIVERSION DIKES AND/OR OTHER CONTROL MEASURES.

V. SOILS:

SOIL NAME	MAPPING UNIT	HSG
FUNKTOWN SILT LOAM	Fk	C
POPUMENTO SILT LOAM, 3-8% SLOPES	PmB	B
POPUMENTO SILT LOAM, 8-15% SLOPES	PmC	B
RYDER-POPUMENTO COMPLEX, 8-15% SLOPES	RpC	C

NOTES:

- SOILS INFORMATION PROVIDED BY THE USDA SOIL SURVEY OF JEFFERSON COUNTY, WEST VIRGINIA.

VI. POTENTIAL EROSION PROBLEM AREAS:

PER THE SOILS DATA SHOWN ABOVE, THE EXISTING SOILS LOCATED ONSITE HAVE A MODERATE-SLIGHT ERODABILITY POTENTIAL.

VII. EROSION AND SEDIMENT CONTROL ELEMENTS:

UNLESS OTHERWISE NOTED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE CONSTRUCTED AND MAINTAINED IN STRICT COMPLIANCE WITH THE LATEST EDITION OF THE WEST VIRGINIA EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICE MANUAL AND APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS.

1. MARK CLEARING LIMITS:

PRIOR TO BEGINNING LAND DISTURBING ACTIVITIES, CLEARLY MARK ALL CLEARING LIMITS, SENSITIVE AREAS AND THEIR BUFFERS, AND TREES THAT ARE TO BE PRESERVED WITHIN THE CONSTRUCTION AREA. PLASTIC, METAL, OR STAKE WIRE FENCE MAY BE USED TO MARK CLEARING LIMITS. SAFETY FENCE SHOULD BE INSTALLED TO PREVENT PUBLIC ACCESS TO POTENTIALLY HAZARDOUS AREAS OF THE SITE AND TO PREVENT ACCESS TO EROSION AND SEDIMENT CONTROL MEASURES.

2. ESTABLISH CONSTRUCTION ACCESS:

ALL CONSTRUCTION ACCESS SHALL ENTER AND EXIT THE SITE THROUGH THE STABILIZED CONSTRUCTION ENTRANCE AS SHOWN ON THE PLANS LOCATED AT THE NORTHEASTERN PORTION OF THE PROPERTY OFF OF SUMMIT POINT ROAD. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. IF WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE. CONTRACTOR SHALL SUPPLY A WATER SOURCE BY PROVIDING A WATER TRUCK/WATER TANK ON SITE OR BY USE OF EXISTING ON SITE WATER SERVICE. THE CONSTRUCTION ENTRANCE LOCATION MAY BE SHIFTED TO ACCOMMODATE CONSTRUCTION PHASING. ANY SHIFT IN THE LOCATION SHALL BE APPROVED BY JEFFERSON COUNTY ENGINEERING.

3. INSTALL SEDIMENT CONTROLS:

THE DUFF LAYER, NATIVE TOPSOIL, AND NATURAL VEGETATION SHALL REMAIN IN AN UNDISTURBED STATE TO THE MAXIMUM EXTENT PRACTICABLE. PRIOR TO LEAVING THE CONSTRUCTION SITE, SURFACE RUNOFF FROM DISTURBED AREAS SHALL PASS THROUGH AN APPROPRIATE SEDIMENT CONTROL MEASURE. BMP'S INTENDED TO TRAP SEDIMENT ON SITE SHALL BE CONSTRUCTED AS ONE OF THE FIRST STEPS IN GRADING. THESE BMP'S SHALL BE FUNCTIONAL PRIOR TO LAND DISTURBING ACTIVITIES TAKING PLACE. EARTHEN STRUCTURES SUCH AS DAMS, DIKES, AND DIVERSIONS SHALL BE SEEDED AND MULCHED AS PER TEMPORARY AND PERMANENT SOIL STABILIZATION MEASURES.

SEDIMENT BASIN:

SEDIMENT BASINS SHALL BE INSTALLED PRIOR TO INITIATING ROUGH GRADING TO CAPTURE SEDIMENT-LADEN RUNOFF FROM THE CONSTRUCTION SITE. SEDIMENT BASINS REDUCE THE ENERGY OF THE WATER THROUGH EXTENDED DETENTION (48 TO 72 HOURS) TO SETTLE OUT THE MAJORITY OF THE SUSPENDED SOLIDS AND SEDIMENT. SEDIMENT BASINS ARE OFTEN MODIFIED TO FUNCTION AS A PERMANENT SWM POND/BMP AFTER CONSTRUCTION IS COMPLETED.

SEDIMENT TRAP:

SEDIMENT TRAPS SHALL BE INSTALLED PRIOR TO INITIATING ROUGH GRADING (DURING THE FIRST PHASE OF CONSTRUCTION) TO DETAIN SEDIMENT-LADEN RUNOFF FROM SMALL DISTURBED AREAS OF FIVE ACRES OR LESS. SEDIMENT TRAPS SHALL BE INSTALLED AT THE OUTLET OF DITCHES AND OTHER PERIMETER CONTROLS INSTALLED DURING THE FIRST STAGE OF CONSTRUCTION. SEDIMENT TRAPS MAY ALSO BE INSTALLED AT THE OUTLET OF ANY STRUCTURE WHICH CONCENTRATES SEDIMENT-LADEN RUNOFF (I.E. DISCHARGE POINT OF DIVERSIONS, CHANNELS, SLOPE DRAINS OR OTHER RUNOFF CONVEYANCES).

SUPER SILT FENCE:

SUPER SILT FENCE SHALL BE INSTALLED TO REDUCE RUNOFF VELOCITY AND ALLOW SEDIMENT TO BECOME TRAPPED BEHIND OR UP-SLOPE OF THE SUPER SILT FENCE. SUPER SILT FENCE PROVIDES A BARRIER THAT CAN COLLECT AND HOLD DEBRIS AND SOIL, PREVENTING THE MATERIAL FROM ENTERING CRITICAL AREAS, STREAMS, STREETS, ETC. SUPER SILT FENCE ALSO HELPS TO DECREASE THE VELOCITY OF SHEET FLOWS AND LOW-TO-MODERATE LEVEL CHANNEL FLOWS.

TEMPORARY DIVERSIONS:

TEMPORARY DIVERSIONS SHALL BE INSTALLED TO DIVERT UP-SLOPE CLEAN WATER AROUND A PROJECT SITE TO REDUCE THE QUANTITY OF WATER WITHIN THE SEDIMENT CONTROL SYSTEM, TO DIVERT UP-SLOPE WATER FROM DISTURBED AREAS TO AN APPROPRIATE SEDIMENT TRAPPING FACILITY SUCH AS A SEDIMENT TRAP OR SEDIMENT BASIN, TO DIVERT INTERNAL SEDIMENT-LADEN WATER TO A SEDIMENT-TRAPPING STRUCTURE, TO PREVENT EROSION AND MAINTAIN ACCEPTABLE WORKING CONDITIONS ABOVE CRITICAL DISTURBED AREAS PRIOR TO STABILIZATION. TEMPORARY DIVERSIONS ALSO HELP TO INTERCEPT AND DIVERT WATER AWAY FROM FOOTERS, WALLS & OTHER STRUCTURES.

DIVERSIONS THAT ARE TO SERVE LONGER THAN 14 WORKING DAYS SHALL BE STABILIZED IMMEDIATELY WITH SEED AND MULCH WITH OR WITHOUT A ROLLED EROSION CONTROL PRODUCT MEETING THE REQUIREMENTS FOUND IN THE WEST VIRGINIA EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICE MANUAL TO PRESERVE DIKE HEIGHT, PREVENT EROSION AND REDUCE MAINTENANCE.

INLET PROTECTION:

INLET PROTECTION SHALL BE PLACED ON ALL STORM DRAIN DROP INLETS OR CURB INLETS TO TRAP SEDIMENT BEFORE CONTAMINATED RUNOFF ENTERS A STORM DRAINAGE SYSTEM. STORM DRAIN INLET PROTECTION SHALL BE INSTALLED IMMEDIATELY FOLLOWING INSTALLATION OF STORMWATER CONTROLS OR PRIOR TO CONSTRUCTION ACTIVITIES FOR EXISTING STORM DRAINS OR WHERE STORM DRAIN INLETS ARE TO BE MADE OPERATIONAL BEFORE PERMANENT STABILIZATION OF THE CORRESPONDING DISTURBED DRAINAGE AREA.

4. STABILIZE SOILS:

THE GENERAL PERMIT REQUIRES THAT:

- STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOUR (4) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS PERMANENTLY CEASED.
- APPLICABLE PRACTICES INCLUDE, BUT ARE NOT LIMITED TO, TEMPORARY AND PERMANENT SEEDING, SODDING, MULCHING, EROSION CONTROL FABRICS AND MATTING, SURFACE ROUGHENING, SURFACE WATER CONTROL, AND DUST CONTROL.
- SELECTED SOIL STABILIZATION MEASURES SHALL BE APPROPRIATE FOR THE TIME OF YEAR, SITE CONDITIONS, AND ESTIMATED DURATION OF USE.
- ALL SOIL STOCKPILES MUST BE STABILIZED AND PROTECTED WITH SEDIMENT TRAPPING MEASURES.
- LINEAR CONSTRUCTION ACTIVITIES SUCH AS RIGHT-OF-WAY AND EASEMENT CLEARING, ROADWAY DEVELOPMENT, PIPELINES, AND TRENCHING FOR UTILITIES, SHALL BE CONDUCTED TO MEET THE SOIL STABILIZATION TIMEFRAME REQUIREMENTS. CONTRACTORS SHALL INSTALL THE BEDDING MATERIALS, ROADBEDS, STRUCTURES, PIPELINES, OR UTILITIES AND RE-STABILIZE THE DISTURBED SOILS SO THAT THE FOUR (4) DAY REQUIREMENTS ARE MET.

TEMPORARY SEEDING:

TEMPORARY STABILIZATION SHALL BE INITIATED WITHIN FOUR (4) DAYS TO AREAS THAT WILL NOT BE RE-DISTURBED FOR MORE THAN FOURTEEN (14) DAYS. AREAS INCLUDE DENUDDED AREAS, SOIL STOCKPILES, DIKES, DAMS, SIDES OF SEDIMENT BASINS, TEMPORARY ROAD BANKS, ETC.

PERMANENT SEEDING:

PERMANENT STABILIZATION SHALL BE INITIATED WITHIN FOUR (4) DAYS OF REACHING FINAL GRADE AND WITHIN FOUR (4) DAYS AFTER CONSTRUCTION HAS BEEN COMPLETED. AREAS INCLUDE DISTURBED AREAS WHERE PERMANENT, LONG-LIVED VEGETATIVE COVER IS NEEDED TO STABILIZE THE SOIL AND ROUGH-GRADED AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE FOR SIX MONTHS OR MORE.

MULCHING:

THE APPLICATION OF STRAW, HAY OR OTHER SUITABLE MATERIALS TO THE SOIL SURFACE TO PREVENT EROSION BY PROTECTING THE SOIL SURFACE FROM RAINDROP IMPACT AND REDUCING THE VELOCITY OF OVERLAND FLOW. AREAS THAT HAVE BEEN TEMPORARILY SEEDDED SHOULD BE MULCHED IMMEDIATELY FOLLOWING SEEDING. AREAS THAT SHOULD NOT BE SEEDED BECAUSE OF THE SEASON SHOULD BE MULCHED TO PROVIDE SOME PROTECTION TO THE SOIL SURFACE.

TOPSOILING:

TOPSOILING IS THE SPREADING OF TOPSOIL OF A SUITABLE QUALITY OVER AN AREA TO BE STABILIZED BY ESTABLISHING VEGETATION. IF TOPSOIL IS TO BE STOCKPILED AT SITE, IT SHALL BE IN A LOCATION THAT WILL NOTE ERODE, BLOCK DRAINAGE, OR INTERFERE WITH WORK ON THE SITE. ALL SOIL STOCKPILES SHALL BE STABILIZED BY TEMPORARY SEEDING AND MULCHING AND PROTECTED WITH SEDIMENT TRAPPING MEASURES SUCH AS SILT FENCE. TOPSOIL SHALL BE SPREAD AT A LIGHTLY COMPACTED DEPTH OF 2 TO 4 INCHES. 4 INCHES OR GREATER IS RECOMMENDED FOR AREAS WHERE FINE-TEXTURED (CLAYEY) SUBSOIL OR OTHER ROOT LIMITING FACTORS ARE PRESENT.

ROLLED EROSION CONTROL PRODUCTS (RECP):

TEMPORARY OR PERMANENT EROSION CONTROL NETS, BLANKETS AND THREE-DIMENSIONAL MATRIXES MADE FROM A WIDE VARIETY OF NATURAL (SUCH AS JUTE, COIR AND STRAW) AND MAN-MADE MATERIALS ALONE OR IN COMBINATION THAT HELP PREVENT EROSION IN SEVERAL WAYS. PREFABRICATED BLANKETS OR NETTING SHALL BE USED AS A TEMPORARY SURFACE STABILIZING MEASURE AND TO AID IN THE ESTABLISHMENT OF VEGETATION. THEY ARE TYPICALLY USED ON STEEP SLOPES AND TO HELP ESTABLISH GRASS IN LOW VELOCITY VEGETATED CHANNELS.

6. PROTECT SLOPES:

THE GENERAL PERMIT PROHIBITS UP-SLOPE RUNOFF FROM FLOWING DOWN FILL SLOPES. ALL FILL SURFACE RUNOFF SHALL BE CONTAINED WITH TEMPORARY BERMS AND IN PIPES, SLOPE DRAINS, OR STABILIZED CHANNELS. DRAINAGE SHALL BE PROVIDED TO DRAINIVE GROUNDWATER INTERSECTING THE SLOPE SURFACE OF EXPOSED SOIL AREAS. EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES, CONSISTENT WITH SAFETY AND SPACE CONSIDERATIONS. SOILS ON SLOPES SHALL BE STABILIZED AS SPECIFIED IN TEMPORARY AND PERMANENT SOIL STABILIZATION MEASURES.

6. PROTECT STORM DRAIN INLETS:

STORM DRAIN INLETS OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SURFACE WATER RUNOFF DOES NOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR TREATED TO REMOVE SEDIMENT. INLET PROTECTION SHALL BE PLACED ON ALL STORM INLETS TO PROTECT AGAINST SEDIMENT-LADEN RUNOFF ENTERING THE SYSTEM AT THE INLETS.

INLET PROTECTION:

INLET PROTECTION SHALL BE PLACED ON ALL STORM DRAIN DROP INLETS AND/OR CURB INLETS TO TRAP SEDIMENT BEFORE CONTAMINATED RUNOFF ENTERS A STORM DRAINAGE SYSTEM. INLET PROTECTION SHALL BE INSTALLED IMMEDIATELY FOLLOWING INSTALLATION OF STORMWATER CONTROLS, PRIOR TO CONSTRUCTION ACTIVITIES FOR EXISTING STORM DRAINS, AND/OR WHERE STORM DRAIN INLETS ARE TO BE MADE OPERATIONAL BEFORE PERMANENT STABILIZATION OF THE DISTURBED DRAINAGE AREA HAVE OCCURRED.

CULVERT INLET PROTECTION:

CULVERT INLET PROTECTION SHALL BE PLACED ON ALL STORM CULVERT INLETS TO PREVENT SEDIMENT FROM ENTERING, ACCUMULATING IN, AND BEING TRANSFERRED BY THE CULVERT AND ASSOCIATED DRAINAGE SYSTEM. CULVERT INLET PROTECTION MAY ALSO PROVIDE EROSION CONTROL AT STORM CULVERT INLETS DURING THE PHASE OF A PROJECT WHERE ELEVATION AND DRAINAGE PATTERNS CHANGE, CAUSING ORIGINAL CONTROL MEASURES TO BE INEFFECTIVE OR IN NEED OF REMOVAL.

7. CONVEY STORMWATER IN A NON-EROSIVE MANNER:

POINTS OF DISCHARGE AND RECEIVING STREAMS SHALL BE PROTECTED FROM EROSION DUE TO INCREASES IN THE VOLUME, VELOCITY, AND PEAK FLOW RATE OF SURFACE WATER RUNOFF FROM THE PROJECT SITE. ALL STORMWATER CONVEYANCE CHANNELS SHALL BE STABILIZED FOR EXPECTED FLOWS.

OUTLET PROTECTION:

OUTLET PROTECTION SHALL BE INSTALLED AT ALL CULVERT OUTLETS OF ALL TYPES, PIPE CONDUITS FROM ALL SEDIMENT BASINS, SWM PONDS, AND NEW CHANNELS CONSTRUCTED AS OUTLETS FOR CULVERTS AND CONDUITS. OUTLET PROTECTION SHALL BE PROVIDED IN THE FORM OF A RIP-RAP-LINED APRON CONSTRUCTED AT A ZERO OR MINIMUM SLOPE TO SLOW THE OUTLET VELOCITY AND ADEQUATELY PROTECT SOILS FROM SCOUR BY REDUCING FLOW.

ROCK CHECK DAMS:

SMALL TEMPORARY STONE DAMS CAN BE CONSTRUCTED ACROSS A WATERWAY TO REDUCE THE VELOCITY OF STORMWATER FLOWS, THEREBY REDUCING EROSION OF THE CHANNEL AND TRAPPING SEDIMENT. CHECK DAMS SHALL BE INSTALLED AT TEMPORARY DITCHES OR SWALES OR TEMPORARY OR PERMANENT DITCHES OR SWALES WHICH NEED PROTECTION DURING THE ESTABLISHMENT OF GRASS LININGS.

8. CONTROL OTHER POLLUTANTS:

ALL POLLUTANTS, INCLUDING WASTE MATERIALS AND DEMOLITION DEBRIS, THAT OCCUR ON SITE DURING CONSTRUCTION SHALL BE HANDLED AND DISPOSED OF IN A MANNER THAT DOES NOT CAUSE CONTAMINATION OF SURFACE OR GROUND WATER. WOODY DEBRIS MAY BE CHOPPED AND SPREAD ON SITE. COVER, CONTAINMENT, AND PROTECTION FROM VANDALISM SHALL BE PROVIDED FOR ALL CHEMICALS, LIQUID PRODUCTS, PETROLEUM PRODUCTS, AND NON-INERT WASTES PRESENT ON SITE. ALL MATERIALS USED ON THE SITE SHALL BE PROPERLY STORED, HANDLED, DISPENSED AND DISPOSED OF FOLLOWING ALL APPLICABLE LABEL DIRECTIONS. FLAMMABLE AND COMBUSTIBLE LIQUIDS SHALL BE STORED AND HANDLED ACCORDING TO APPLICABLE REGULATIONS, AND, AT A MINIMUM, ACCORDING TO OSHA STANDARDS 29 CFR 1926.152. ONLY APPROVED CONTAINERS AND PORTABLE TANKS SHALL BE USED FOR STORAGE AND HANDLING OF FLAMMABLE AND COMBUSTIBLE LIQUIDS.

- MAINTENANCE AND REPAIR OF HEAVY EQUIPMENT AND VEHICLES INVOLVING OIL CHANGES, HYDRAULIC SYSTEM DRAIN DOWN, SOLVENT AND DE-GREASING CLEANING OPERATIONS, FUEL TANK DRAIN DOWN AND REMOVAL, AND OTHER ACTIVITIES WHICH MAY RESULT IN DISCHARGE OR SPILLAGE OF POLLUTANTS TO THE GROUND OR INTO SURFACE WATER RUNOFF MUST BE CONDUCTED USING SPILL PREVENTION MEASURES. SUCH AS DRIP PANS. CONTAMINATED SURFACES SHALL BE CLEANED IMMEDIATELY FOLLOWING ANY DISCHARGE OR SPILL INCIDENT.
- WHEEL WASH OR TIRE BATH WASTEWATER SHALL BE DISCHARGED TO A SEPARATE ON-SITE TREATMENT SYSTEM OR TO THE SANITARY SEWER.

- APPLICATION OF AGRICULTURAL CHEMICALS INCLUDING FERTILIZERS AND PESTICIDES SHALL BE CONDUCTED IN A MANNER AND AT APPLICATION RATES THAT WILL NOT RESULT IN LOSS OF CHEMICAL TO SURFACE WATER RUNOFF. MANUFACTURERS RECOMMENDATIONS FOR APPLICATION RATES AND PROCEDURES SHALL BE FOLLOWED.
- IN THE EVENT OF AN ACCIDENTAL SPILL, IMMEDIATE ACTION SHALL BE TAKEN BY THE CONTRACTOR TO CONTAIN AND REMOVE THE SPILLED MATERIAL. THE SPILL SHALL BE REPORTED TO THE APPROPRIATE AGENCIES IN THE REQUIRED TIME FRAMES. AS REQUIRED UNDER PROVISIONS OF THE CLEAN WATER ACT, ANY SPILL OR DISCHARGE ENTERING WATERS OF THE UNITED STATES SHALL BE PROPERLY REPORTED.

9. CONTROL DEWATERING:

FOUNDATION, VAULT, AND UTILITY TRENCH DEWATERING WATER SHALL BE DISCHARGED INTO A CONTROLLED CONVEYANCE SYSTEM PRIOR TO DISCHARGE TO A SEDIMENT POND. CHANNELS RECEIVING THE DISCHARGED WATER MUST BE STABILIZED. HIGHLY TURBID OR CONTAMINATED WATER FROM CONSTRUCTION EQUIPMENT OPERATIONS, WORK INSIDE A COFFERDAM, SHALL BE HANDLED SEPARATELY FROM SURFACE WATER. IF DEWATERING IS REQUIRED FOR SMALL VOLUMES OF LOCALIZED DEWATERING ON THIS SITE, A PUMP AND DEWATERING FILTER BAG SHALL BE UTILIZED. THE FILTER BAG SHALL DISCHARGE TO A DITCH OR SWALE WITH A WELL ESTABLISHED VEGETATIVE AREA.

10. MAINTAIN BMP'S:

TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL BMP'S SHALL BE MAINTAINED AND REPAIRED AS NEEDED TO ASSURE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION. MAINTENANCE AND REPAIR SHALL BE CONDUCTED IN ACCORDANCE WITH THE BMP'S. AT A MINIMUM, ALL SEDIMENT CONTROL BMP'S SHALL BE INSPECTED AT LEAST ONCE EVERY FOUR (4) CALENDAR DAYS AND WITHIN 24 HOURS OF THE OCCURRENCE OF A PRECIPITATION EVENT OF 0.25 INCHES OR GREATER, OR THE OCCURRENCE OF RUNOFF FROM SNOWMELT SUFFICIENT TO CAUSE A DISCHARGE. TEMPORARY EROSION AND SEDIMENT CONTROL BMP'S SHOULD BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY BMP'S ARE NO LONGER NEEDED. TRAPPED SEDIMENT SHALL BE REMOVED OR STABILIZED ON SITE. DISTURBED SOIL RESULTING FROM THE REMOVAL OF BMP'S OR VEGETATION SHALL BE PERMANENTLY STABILIZED.

11. MANAGE THE PROJECT:

A SEQUENCE OF CONSTRUCTION HAS BEEN PROVIDED ON THIS SHEET TO DESCRIBE AN OVERALL CONSTRUCTION SEQUENCE AS IT RELATES TO EROSION AND SEDIMENT CONTROL BMP'S AND CONSTRUCTION OF VARIOUS ELEMENTS OF THE PROJECT. IN GENERAL, THE PROJECT IS TO BEGIN CONSTRUCTION IN NOVEMBER 2021 AND END APPROXIMATELY IN OCTOBER 2021. THE CONTRACTOR IS RESPONSIBLE FOR THE DETAILS OF THE DAY TO DAY OPERATIONS.

- THE PRIMARY PROJECT MANAGER SHALL EVALUATE, WITH INPUT FROM UTILITIES AND OTHER CONTRACTORS, THE SURFACE WATER MANAGEMENT REQUIREMENTS FOR THE ENTIRE PROJECT, INCLUDING THE UTILITIES, WHEN PREPARING THE SEDIMENT CONTROL PLAN. ALL BMP'S SHALL BE INSPECTED, MAINTAINED, AND REPAIRED AS NEEDED TO ASSURE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION. WHENEVER INSPECTION AND/OR MONITORING REVEALS THAT THE BMP'S IDENTIFIED IN THE SEDIMENT CONTROL PLAN ARE INADEQUATE, THE SEDIMENT CONTROL PLAN SHALL BE MODIFIED, AS APPROPRIATE, IN A TIMELY MANNER.
- CONTRACTOR SHALL REPORT SPILLAGE OR DISCHARGE OF POLLUTANTS WITHIN 24-HOURS. THE SEDIMENT CONTROL PLAN SHALL BE RETAINED ON SITE. THE SEDIMENT CONTROL PLAN SHALL BE MODIFIED WHENEVER THERE IS A SIGNIFICANT CHANGE IN THE DESIGN, CONSTRUCTION, OPERATION, OR MAINTENANCE OF ANY BMP. THE WVDOP MUST BE NOTIFIED OF ANY CHANGES TO THE CONSTRUCTION SWMP.

12. STABILIZATION:

THE CONSTRUCTION SITE SHOULD BE STABILIZED AS SOON AS POSSIBLE AFTER COMPLETION. ESTABLISHMENT OF FINAL COVER MUST BE INITIATED WITHIN FOUR (4) DAYS AFTER REACHING FINAL GRADE. A NOTICE OF TERMINATION MUST BE FILED WITH THE WVDOP WHEN THE SITE REACHES FINAL STABILIZATION. FINAL STABILIZATION MEANS THAT ALL SOIL DISTURBING ACTIVITIES ARE COMPLETED, AND THAT EITHER A PERMANENT VEGETATIVE COVER OF 70% OR GREATER HAS BEEN ESTABLISHED OR THAT THE SURFACE HAS BEEN STABILIZED BY HARD COVER SUCH AS PAVEMENT OR BUILDINGS. (THE 70% REQUIREMENT REFERS TO THE TOTAL VEGETATED AREA AND NOT JUST A PERCENT OF THE SITE).

VIII. EROSION AND SEDIMENT CONTROL NOTES:

1. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE CONSTRUCTED AND MAINTAINED IN STRICT COMPLIANCE WITH THE LATEST EDITION OF THE WEST VIRGINIA EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICE MANUAL AND APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS.
2. AREAS OF DEVELOPMENT SHALL BE PLANNED IN PHASES AND STAGES IN ORDER TO PREVENT THE TRANSPORT OF SEDIMENT FROM THE DEVELOPMENT SITE DURING CONSTRUCTION AND MINIMIZE EXPOSURE TO DISTURBED GROUND. RE-VEGETATION OF EXPOSED AREAS AND THE MAINTENANCE OF THAT VEGETATION SHALL BE AN INTEGRAL PART OF THE CLEARING ACTIVITIES FOR ANY PHASE.
3. NO DISTURBED AREA IS TO REMAIN DENuded FOR MORE THAN FOUR (4) DAYS EXCEPT FOR MATERIAL STORAGE AREAS OR FOR THOSE AREAS ON WHICH ACTUAL CONSTRUCTION ACTIVITIES ARE CURRENTLY BEING PERFORMED UNLESS AUTHORIZED BY JEFFERSON COUNTY AND/OR THE EASTERN PANHANDLE CONSERVATION DISTRICT.
4. ALL SOIL STOCKPILES SHALL BE STABILIZED BY TEMPORARY SEEDING AND MULCHING AND PROTECTED WITH PERIMETER SEDIMENT CONTROLS SUCH AS SILT FENCE TO PREVENT CONTACT WITH STORMWATER RUNOFF. ALL STOCKPILES MUST BE LOCATED OUTSIDE OF ANY VEGETATED BUFFER AREAS AND SHOULD BE LOCATED AS FAR AS PRACTICABLE FROM STORMWATER CONVEYANCE SYSTEMS AND WATER BODIES.
5. ALL SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING SITE GRADING OPERATIONS TO REDUCE RUNOFF VELOCITIES AND EROSION. TEMPORARY AND/OR PERMANENT STABILIZATION MEASURES SHALL BE APPLIED TO ALL SLOPES AS SPECIFIED IN THE SOIL STABILIZATION MEASURES.
6. DURING CONSTRUCTION, PROTECT ALL FILLS SO THAT RUNOFF DOES NOT GO DOWN THE FACE OF THE HILL. UTILIZE BERMS, TEMPORARY SLOPE DRAINS, OR OTHER METHODS TO DIVERT RUNOFF AWAY FROM THE FILL AND INTO A SEDIMENT TRAPPING STRUCTURE. AS MORE FILL IS ADDED, SLOPE THE TOP (OR BERM IT) TO DIRECT WATER AWAY FROM THE SLOPE AND TO A STABLE CONVEYANCE SYSTEM. SEED & MULCH EVERY FOUR (4) DAYS OR 15' OF FILL.
7. NO OFF-SITE SOURCE OF BORROW MATERIALS IS ANTICIPATED FOR THIS PROJECT. IN THE EVENT THAT AN OFF-SITE SOURCE OF BORROW MATERIALS IS USED, AN EROSION AND SEDIMENT CONTROL PLAN SHALL BE PROVIDED FOR THE BORROW PIT AND THE BORROW PIT SHALL MEET ALL APPLICABLE REQUIREMENTS AND PERMITS OF THE WVDOP.
8. DUE TO GRADE CHANGES DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDIMENT CONTROL MEASURES (I.E. SILT FENCES, ETC.) TO PREVENT EROSION AND POLLUTANT DISCHARGE OFF-SITE.

IX. SOIL STABILIZATION:

EXCEPT AS NOTED BELOW, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOUR (4) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS PERMANENTLY CEASED OR FOUR (4) DAYS FOR SITES REQUIRED TO USE ENHANCED BMP'S.

- WHERE THE INITIATION OF STABILIZATION MEASURES BY THE 4TH DAY, AS APPLICABLE AFTER CONSTRUCTION ACTIVITY TEMPORARILY OR PERMANENTLY CEASES IS PRECLUDED BY NATURAL CAUSES, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS CONDITIONS ALLOW.
- WHERE CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN 14 DAYS FROM WHEN ACTIVITIES CEASED, (E.G. THE TOTAL TIME PERIOD THAT CONSTRUCTION ACTIVITY IS TEMPORARILY HALTED IS LESS THAN 14 DAYS) THEN STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE 4TH DAY AFTER CONSTRUCTION ACTIVITIES HAVE TEMPORARILY CEASED.
- AREAS WHERE SEED HAS FAILED TO GERMINATE ADEQUATELY (UNIFORM PERENNIAL VEGETATIVE COVER OF 70% OR GREATER) WITHIN 30 DAYS AFTER SEEDING AND MULCHING MUST BE RE-SEEDED IMMEDIATELY, OR AS SOON AS WEATHER CONDITIONS ALLOW.

TEMPORARY STABILIZATION:

SELECTION OF TEMPORARY SEED MIXTURE SHALL DEPEND ON THE TIME OF YEAR DURING APPLICATION. SELECT PLANTS APPROPRIATE TO THE SEASON AND SITE CONDITIONS. REFER TO TABLE 3.10.1 TEMPORARY SEEDING OF THE WEST VIRGINIA EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICE MANUAL FOR A LIST OF COVER PLANTS, APPROVED PLANTING DATES, AND APPLICATION RATES.

PERMANENT STABILIZATION:

SEED MIXTURES INCLUDE THE FOLLOWING:

COMMON NAME	APPLICATION RATE	PREFERRED PLANTING DATES
KENTUCKY 31 FESCUE	45 LBS./ACRE	3/1-6/15 & 8/15-9/15
RED FESCUE	20 LBS./ACRE	3/1-6/15 & 8/15-9/15
KENTUCKY BLUEGRASS	25 LBS./ACRE	3/1-6/15 & 8/15-9/15
WHITE DUTCH CLOVER	5 LBS./ACRE	3/1-6/15 & 8/15-9/15
FERTILIZER: DETERMINED BY SOIL TEST		
LIME: 90 LBS./1,000 SQ. FT. PULVERIZED AGRICULTURAL GRADE LIMESTONE		
MULCH: 70-90 LBS./1,000 SQ. FT. STRAW OR HAY MULCH		

ALTERNATIVE SEED MIXTURES MAY BE SUBSTITUTED AS APPROVED BY INTEGRITY FEDERAL SERVICES. SELECT PLANTS APPROPRIATE TO THE SEASON AND SITE CONDITIONS. REFER TO TABLE 3.11.1 PERMANENT SEEDING OF THE WEST VIRGINIA EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICE MANUAL FOR A LIST OF COVER PLANTS APPROVED PLANTING DATES, AND APPLICATION RATES.

X. UNDERGROUND UTILITY LINE INSTALLATION:

1. NO MORE THAN 500 LINEAR FEET OF TRENCH MAY BE OPENED AT ONE TIME.
2. EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES, CONSISTENT WITH SAFETY AND SPACE CONSIDERATIONS.
3. EFFLUENT FROM DEWATERING OPERATIONS SHALL BE FILTERED OR PASSED THROUGH AN APPROVED SEDIMENT TRAPPING DEVICE, OR BOTH, AND DISCHARGED IN A MANNER THAT DOES NOT ADVERSELY AFFECT FLOWING STREAMS OR OFF-SITE PROPERTY.
4. MATERIAL USED FOR BACKFILLING TRENCHES SHALL BE PROPERLY COMPACTED IN ORDER TO MINIMIZE EROSION AND PROMOTE STABILIZATION.
5. ALL TRENCHES SHALL BE SEEDED AND MULCHED WITHIN 4 DAYS AFTER BACKFILLING.
6. APPLICABLE SAFETY REGULATIONS SHALL BE COMPLIED WITH.

XI. SEQUENCE OF CONSTRUCTION:

- PHASE I:

PHASE I OPERATIONS SHALL INCLUDE EROSION CONTROL MEASURES NEEDED TO DIVERT MAJOR OFF-SITE CLEAN WATER AND ON-SITE DRAINAGE FLOWS AROUND THE WORK AREAS AND CONTROL EROSION AND SEDIMENTATION ASSOCIATED WITH INITIAL CLEARING AND GRADING OPERATIONS.

1. CONTACT WEST VIRGINIA MISS UTILITY AT 800-245-4848, AT LEAST THREE WORKING DAYS PRIOR TO BEGINNING WORK. LOCATE ALL UTILITIES.
2. CONTACT JEFFERSON COUNTY ENGINEERING AT 304-728-3257 AT LEAST FIVE WORKING DAYS PRIOR TO BEGINNING WORK.
3. WITHIN 72 HOURS OF FILING AN APPLICATION WITH THE WVDOP DIVISION OF WATER AND WASTE MANAGEMENT (DWWM), INSTALL PUBLIC NOTICE SIGN NEAR THE ENTRANCE OF THE PROJECT OR, NEAR AN ACTIVE PART OF THE CONSTRUCTION PROJECT, THAT IS ACCESSIBLE BY THE PUBLIC. THE PUBLIC NOTICE SIGN MUST REMAIN DISPLAYED FOR THE DURATION OF THE PROJECT. (SEE PUBLIC NOTICE SIGN DETAIL, SHEET 40).
4. STAKE/FLAG LIMITS OF CONSTRUCTION, SENSITIVE AREAS, AND TREES THAT ARE TO BE PRESERVED. LIMITS OF CONSTRUCTION MUST REMAIN MARKED THROUGHOUT THE ENTIRE SITE DEVELOPMENT.
5. INSTALL TEMPORARY STABILIZED CONSTRUCTION ENTRANCE AND ESTABLISH A PROTECTED STAGING AND EQUIPMENT PARKING AREA.
6. CLEAR AND GRUB AREAS FOR THE INSTALLATION OF PERIMETER CONTROLS. ONLY THE MINIMUM AREAS NECESSARY TO INSTALL PERIMETER EROSION CONTROL MEASURES SHALL BE CLEARED AND GRUBBED.
7. INSTALL PERIMETER CONTROLS SUCH AS DIVERSION DIKES, SUPER SILT FENCE, AND ALL CLEAN WATER DIVERSION DIKES. STABILIZE ALL EROSION AND SEDIMENT CONTROL MEASURES IMMEDIATELY AFTER INSTALLATION. STABILIZE AREAS BETWEEN PERIMETER SEDIMENT CONTROL MEASURES AND THE LIMITS OF CONSTRUCTION.
8. CONSTRUCT THE SEDIMENT BASIN, INCLUDING THE RISER STRUCTURE AND OUTLET PIPE, AND SEDIMENT TRAPS. THE EARTHEN EMBANKMENTS SHALL BE SEEDED AND MULCHED TO PROVIDE TEMPORARY OR PERMANENT STABILIZATION IMMEDIATELY AFTER INSTALLATION.
9. INSTALL AND STABILIZE TEMPORARY DIVERSIONS TO DIRECT RUNOFF TOWARD THE SEDIMENT BASIN AND SEDIMENT TRAPS.
10. CLEAR AND GRUB THE REMAINDER OF THE SITE. ALL UNSUITABLE MATERIAL (LOGS, BRUSH, VEGETATIVE MATTER, ETC.) WHICH WILL INTERFERE WITH THE GRADING AND/OR STABILITY OF FILL AREAS SHALL BE REMOVED AND/OR DISPOSED OF PROPERLY. PHASE CLEARING AND GRUBBING TO THE EXTENT POSSIBLE TO MINIMIZE THE AMOUNT OF DISTURBED AREA AT ANY POINT IN TIME.
11. ESTABLISH SOIL STOCKPILES AND PROTECT WITH SILT FENCE. STRIP AND STOCKPILE TOPSOIL TO USE IN THE FINISH GRADING OPERATIONS. STOCKPILES SHALL BE SEEDED AND MULCHED IF THEY ARE TO REMAIN UNDISTURBED FOR 14 DAYS OR LONGER.

- PHASE II:

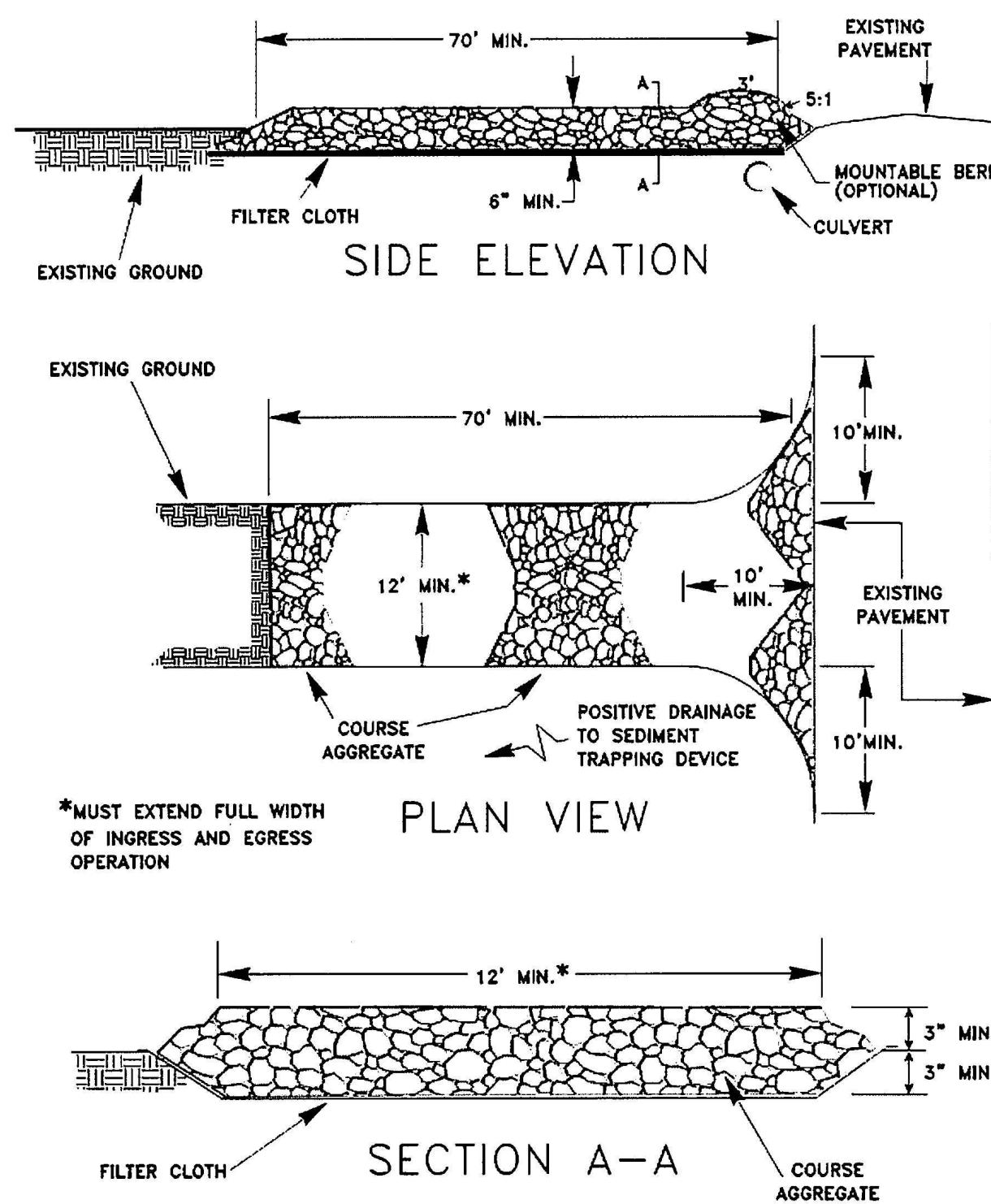
THE PHASE II EROSION AND SEDIMENT CONTROL MEASURES ARE INTENDED FOR THE FINAL STAGES OF SITE DEVELOPMENT. PHASE I CONTROL MEASURES, WHICH ARE NOT IN CONFLICT WITH FINAL CONSTRUCTION AND PROVIDE EFFECTIVE CONTROL, SHALL REMAIN IN PLACE FOR FINAL DEVELOPMENT. THE CONTRACTOR SHALL FOLLOW THE COUNTY ENGINEERING DEPARTMENT'S DIRECTION IN PROVIDING ADDITIONAL CONTROL MEASURES NEEDED DURING THE DEVELOPMENT PROCESS, TO ENSURE THAT SEDIMENT IS PREVENTED FROM POLLUTING OFF-SITE AREAS, STREAMS AND/OR PROTECTED ON-SITE AREAS. THE FOLLOWING SEQUENCE OF CONSTRUCTION IS SUGGESTED.

1. ROUGH GRADE THE SITE INCLUDING ROADWAYS, DRIVE AISLES, PARKING AREAS, AND SWALES.
2. BEGIN CONSTRUCTION OF BUILDING PAD'S AND STRUCTURES.
3. THROUGHOUT CONSTRUCTION, INITIATE TEMPORARY OR PERMANENT STABILIZATION MEASURES IMMEDIATELY FOLLOWING THE COMPLETION OF THE MOST RECENT LAND DISTURBING ACTIVITY. DISTURBED AREAS SHALL BE SEEDED AND MULCHED IF THEY ARE TO REMAIN UNDISTURBED FOR 14 DAYS OR LONGER. COMPLETION MUST BE WITHIN 4 DAYS.
4. INSTALL UNDERGROUND UTILITIES, INCLUDING STORM SEWER, SANITARY SEWER AND WATER LINES.
5. INSTALL INLET PROTECTION AT ALL STORM DRAIN INLETS AS EACH IS STRUCTURE INSTALLED.
6. INSTALL OUTLET PROTECTION AT EACH OUTLET STRUCTURE AS EACH STRUCTURE IS INSTALLED.
7. CONSTRUCT THE BASE PAVEMENT FOR ROADWAYS, DRIVE AISLES, AND PARKING AREAS, AND INSTALL CURB AND GUTTER SECTIONS.
8. INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES AS NEEDED THROUGHOUT CONSTRUCTION.
9. FINAL GRADE ALL AREAS OF THE SITE LEAVING SEDIMENT CONTROLS IN PLACE AS NEEDED. SPREAD TOPSOIL OVER AREAS TO BE SEEDED.
10. PERMANENTLY STABILIZE ALL AREAS NOT COVERED BY HARD COVER SUCH AS PAVEMENT OR BUILDINGS.
11. FOLLOWING SITE STABILIZATION, THE SEDIMENT BASIN SHALL BE RESTORED TO ORIGINAL VOLUMES AND ELEVATIONS. REMOVE TEMPORARY BLOCKAGES FROM THE RISER STRUCTURE AND PERFORM ANY REPAIRS NECESSARY FOR THE THE SEDIMENT BASIN TO FUNCTION AS A PERMANENT SWM POND. CONTRACTOR SHALL ENSURE THE POND MEETS PERMANENT STABILIZATION REQUIREMENTS.
12. INSTALL BIORETENTION BASINS ONCE A MAJORITY OF THE SITE HAS BEEN STABILIZED. TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES ARE NEEDED DURING CONSTRUCTION OF BIORETENTION BASINS TO DIVERT STORMWATER AWAY FROM THE BIORETENTION AREAS UNTIL THEY ARE COMPLETED.
13. OBTAIN JEFFERSON COUNTY ENGINEERING APPROVAL PRIOR TO THE REMOVAL OF ANY SEDIMENT CONTROLS. NO EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED UNTIL ALL UP-SLOPE AREAS THAT DRAIN TO THEM HAVE BEEN STABILIZED.
14. REMOVE REMAINING TEMPORARY EROSION AND SEDIMENT CONTROL BMP'S. STABILIZE ANY AREAS DISTURBED BY THE REMOVAL OF TEMPORARY BMP'S.

XII. MAINTENANCE PROGRAM:

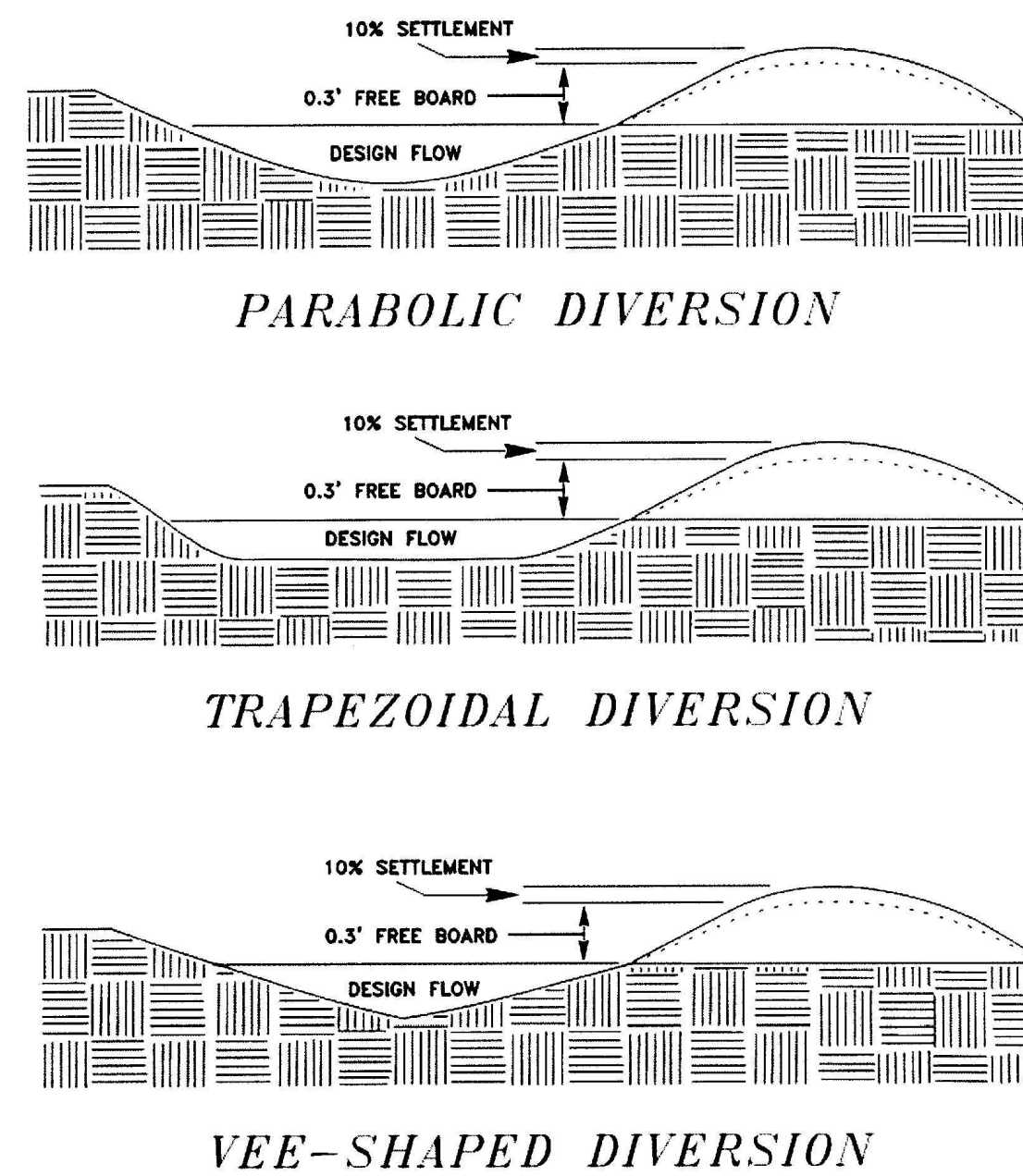
1. AT A MINIMUM, INSPECTIONS OF ALL EROSION AND SEDIMENT CONTROLS ARE TO BE CONDUCTED ONCE EVERY FOUR (4) CALENDAR DAYS AND WITHIN 24 HOURS OF THE OCCURRENCE OF A PRECIPITATION EVENT OF 0.25 INCHES OR GREATER, OR THE OCCURRENCE OF RUNOFF FROM SNOWMELT SUFFICIENT TO CAUSE A DISCHARGE, BY THE SITE SUPERINTENDENT OR HIS REPRESENTATIVE. REPAIRS OR REPAIRS TO BMP'S SHALL BE PERFORMED WITHIN 24 HOURS, HOWEVER, PERMITTEES MUST IMPLEMENT ALTERNATE BMP'S DURING STORM EVENTS WHILE AWAITING REPAIR OF THE PRIMARY BMP.
2. TO DETERMINE IF A PRECIPITATION EVENT OF 0.25 INCHES OR GREATER HAS OCCURRED, THE APPLICANT MUST EITHER KEEP A PROPERLY MAINTAINED RAIN GAUGE ON THE SITE OR OBTAIN THE PRECIPITATION EVENT INFORMATION FROM A NATIONAL OCEANIC ATMOSPHERIC ADMINISTRATION (NOAA) WEATHER STATION THAT IS REPRESENTATIVE OF THE PROJECT LOCATION.
3. SILT FENCING AND SUPER SILT FENCING SHOULD BE CLEANED AT 50% CAPACITY AND SPREAD ON SITE WHERE PRACTICAL. SEDIMENT REMOVAL SHALL BE DEPOSIT

FIGURE 3.02.1

STONE CONSTRUCTION ENTRANCE

SOURCE: ADAPTED FROM 1985 Maryland Standards for Soil Erosion and Sediment Control and Va. DSWC

FIGURE 3.15.1

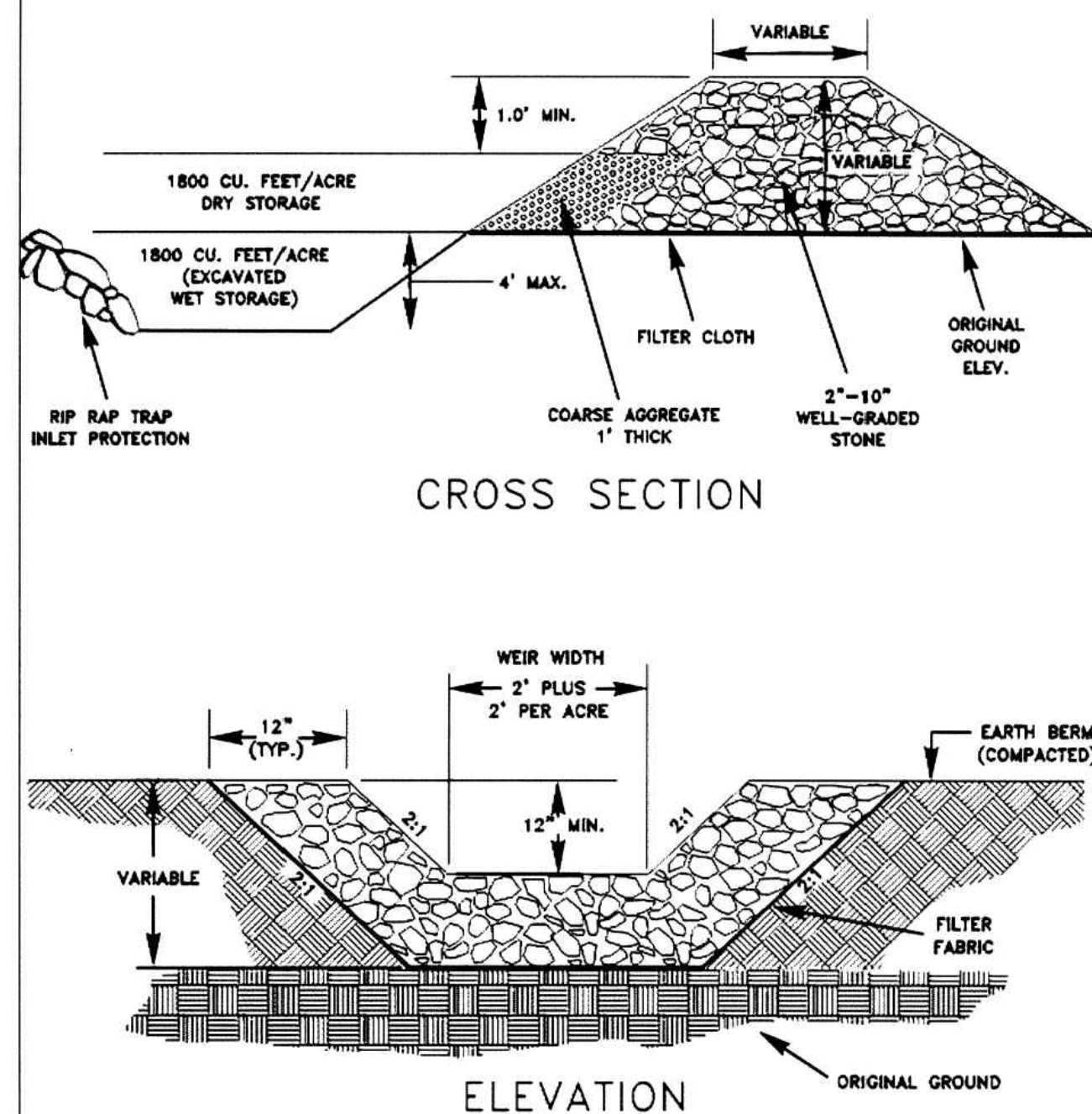
TYPICAL DIVERSIONS

Source: VIRGINIA DCR-DSWC

NOTES:

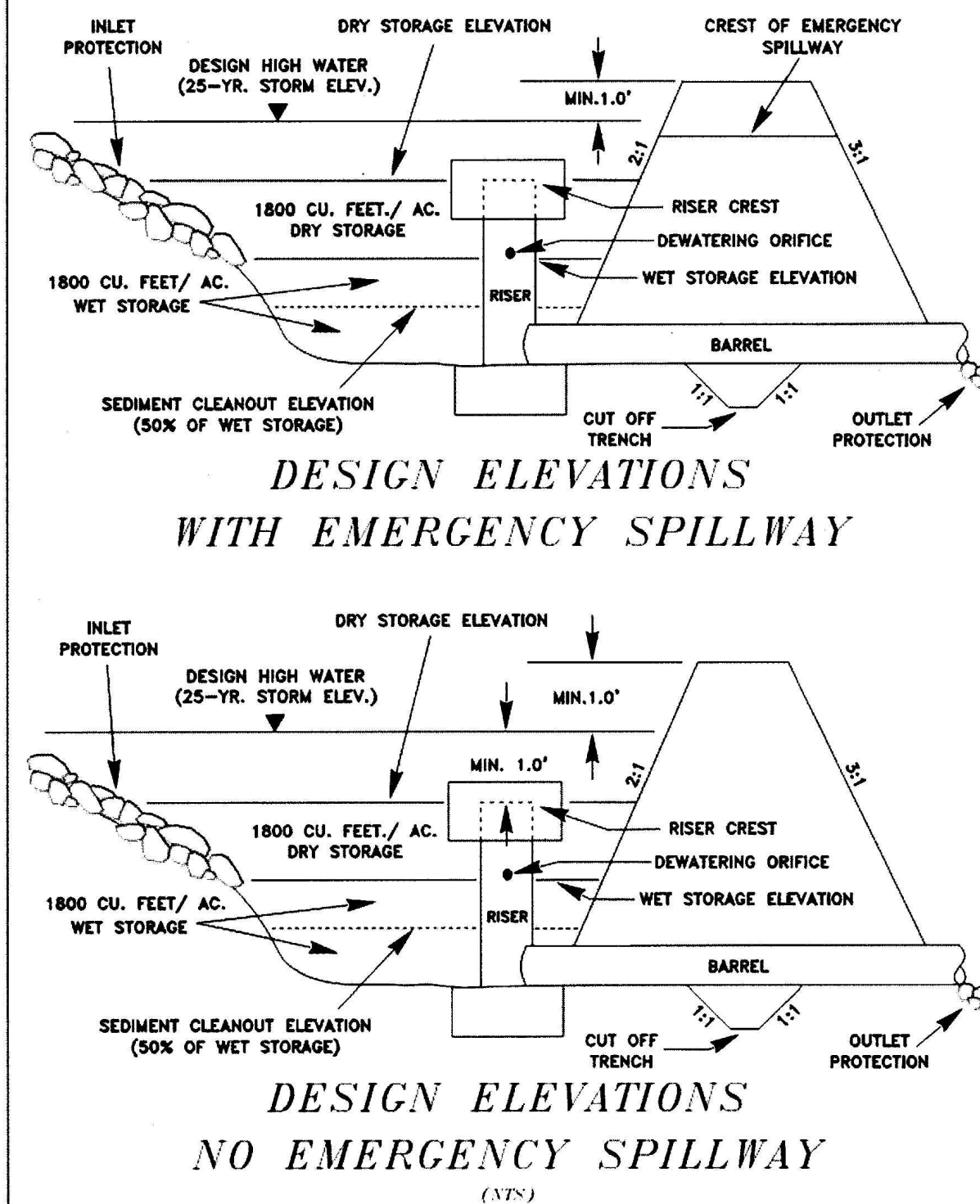
* MINIMUM CONSTRUCTED DEPTH SHALL BE 1.5' (2:1 SIDE SLOPES)

FIGURE 3.29.1

ROCK OUTLET SEDIMENT TRAP

3.29-6

FIGURE 3.30.2

SEDIMENT BASIN

ADAPTED FROM: VA. DSWC

TEMPORARY SEDIMENT BASIN DESIGN DATA SHEET

PROJECT:	MILTON'S LANDING
BASIN ID NO.:	SB#1
TOTAL DRAINAGE AREA:	16.41 AC.
"C" FACTOR:	0.50
Basin Volume Design	
Wet Storage	
1.	Minimum Required Volume = 1,800 Cu. Ft. x Total Drainage Area (Ac.) 1800 Cu. Ft. x 16.41 Acres = 29,538 Cu. Ft. = 0.68 Ac-Ft.
2.	Available Basin Volume = 29,593 Cu. Ft. At Elevation 525.76 (From Storage - Elevation Curve)
3.	Excavate 29,593 Cu. Ft. to Obtain Required Volume*.
* Elevation Corresponding to Required Volume = Invert of Dewatering Orifice.	
4.	Available Volume Before Cleanout Required = 14,796 Cu. Ft. (1/2 Wet Storage Volume)
5.	Elevation Corresponding to Cleanout Level = 524.53 (From Storage - Elevation Curve)
6.	Distance From Invert of The Dewatering Orifice to Cleanout Level = 1.2' (Min. = 1.0 Ft.)
Dry Storage	
7.	Minimum Required Volume = 1800 Cu. Ft. x Total Drainage Area (Ac.) 1,800 Cu. Ft. x 16.41 Acres = 29,538 Cu. Ft. = 0.68 Ac-Ft.
8.	Total Required Volume = 29,593 Cu. Ft. + 29,538 Cu. Ft. = 59,131 Cu. Ft. = 1.36 Ac-Ft.
9.	Total Available Basin Volume at Crest of Riser = 59,246 Cu. Ft. at Elevation 527.34 (From Storage - Elevation Curve)
Orifice Calculation Breakdown	
10.	A = (Dry Storage/T)(64.32/h) ^{0.5} (0.6) Drawdown Time (T) = 48 Hours Head (h) = 0.79 Required Area (A) = 0.02885 Sq. In. Maximum Diameter = 2.30 In. Diameter of Dewatering Orifice = 3.00 In. Diameter of Flexible Tubing = 5.00 In. (Min.) (Dia. of Dewatering Orifice + 2")
Preliminary Design Elevations	
12.	Crest of Riser = 527.34 Top of Dam = 528.50 Design High Water = 528.34 Upstream Toe of Dam = 524.00 Crest of Emergency Spillway = 528.34
Basin Shape	
13.	Length of Flow = $\frac{L}{We} = \frac{447.00}{43.36} = 10.31$ Length-to-width Ratio Effective Width = 43.36 If L/We > 2, Baffles Are Not Required If L/We < 2, Baffles Are Required
Runoff	
14.	Q ₂ = 25.4 cfs.
15.	Q ₂₅ = 46.8 cfs.
Principal Spillway Design	
17.	With Emergency Spillway, Required Spillway Capacity Q _p = Q ₂ = N/A cfs. (Riser and Barrel) Without Emergency Spillway, Required Spillway Capacity Q _p = Q ₂₅ = 46.8 cfs. (Riser and Barrel)
18.	With Emergency Spillway: Assumed Available Head (h) = N/A (Using Q ₂) h = Crest of Emergency Spillway Elevation - Crest of Riser Elevation Without Emergency Spillway: Assumed Available Head (h) = 1.0 (Using Q ₂₅) h = Design High Water Elevation - Crest of Riser Elevation
19.	Riser Dimensions = 4' x 4' Actual Head (h) = 1.00' Note: Avoid Orifice Flow Conditions
20.	Barrel Length (L) = 50' Invert In = 527.34 Invert Out = 525.50 Head (h) on Barrel Through Embankment = 2.84'
21.	Barrel Diameter = 36" No. of Barrels = 1
22.	Trash Rack and Anti-Vortex Device Dimensions = N/A Height = N/A
Final Design Elevations	
23.	Top of Dam = 528.50 Design High Water = 528.34 Principal Spillway Crest = 527.34 Dewatering Orifice Invert = 525.76 Cleanout Elevation = 524.53

NOTES:

1. IF CHANGES ARE MADE TO THE SEDIMENT BASIN, THE REQUIRED WET AND DRY STORAGE VOLUME MUST BE MET.

2. CONTRACTOR TO FIELD VERIFY SEDIMENT BASIN ELEVATIONS. SEDIMENT BASIN BASED ON CURRENT FIELD ELEVATIONS.

3. REMOVE SEDIMENT AND RESTORE THE BASIN TO ITS ORIGINAL DIMENSIONS WHEN IT ACCUMULATES TO ONE-HALF THE WET STORAGE DEPTH.

4. INSPECT SEDIMENT BASIN WEEKLY AND AFTER EACH RAINFALL EVENT 0.5 INCHES OR GREATER AND REPAIR IMMEDIATELY.

5. CHECK THE EMBANKMENT, SPILLWAYS AND OUTLET FOR EROSION DAMAGE AND INSPECT THE EMBANKMENT FOR PIPING AND SETTLEMENT. MAKE ALL NECESSARY REPAIRS IMMEDIATELY. REMOVE ALL TRASH AND OTHER DEBRIS FROM THE RISER AND POOL AREA.

TEMPORARY SEDIMENT BASIN DESIGN DATA SHEET

PROJECT:	MILTON'S LANDING
BASIN ID NO.:	SB#2
TOTAL DRAINAGE AREA:	38.86 AC.
"C" FACTOR:	0.50
Basin Volume Design	
Wet Storage	
1.	Minimum Required Volume = 1,800 Cu. Ft. x Total Drainage Area (Ac.) 1800 Cu. Ft. x 38.86 Acres = 69,948 Cu. Ft. = 1.61 Ac-Ft.
2.	Available Basin Volume = 70,229 Cu. Ft. At Elevation 524.20 (From Storage - Elevation Curve)
3.	Excavate 70,229 Cu. Ft. to Obtain Required Volume*.
* Elevation Corresponding to Required Volume = Invert of Dewatering Orifice.	
4.	Available Volume Before Cleanout Required = 35,114 Cu. Ft. (1/2 Wet Storage Volume)
5.	Elevation Corresponding to Cleanout Level = 523.15 (From Storage - Elevation Curve)
6.	Distance From Invert of The Dewatering Orifice to Cleanout Level = 1.1' (Min. = 1.0 Ft.)
Dry Storage	
7.	Minimum Required Volume = 1800 Cu. Ft. x Total Drainage Area (Ac.) 1,800 Cu. Ft. x 38.86 Acres = 69,948 Cu. Ft. = 1.61 Ac-Ft.
8.	Total Required Volume = 70,229 Cu. Ft. + 69,948 Cu. Ft. = 140,177 Cu. Ft. = 3.22 Ac-Ft.
9.	Total Available Basin Volume at Crest of Riser = 140,326 Cu. Ft. at Elevation 526.15 (From Storage - Elevation Curve)
Orifice Calculation Breakdown	
10.	A = (Dry Storage/T)(64.32/h) ^{0.5} (0.6) Drawdown Time (T) = 48 Hours Head (h) = 0.975 Required Area (A) = 0.06151 Sq. In. Maximum Diameter = 3.36 In. Diameter of Dewatering Orifice = 3.25 In. Diameter of Flexible Tubing = 5.25 In. (Min.) (Dia. of Dewatering Orifice + 2")
Preliminary Design Elevations	
12.	Crest of Riser = 526.15 Top of Dam = 527.50 Design High Water = 527.15 Upstream Toe of Dam = 522.00 Crest of Emergency Spillway = 527.15
Basin Shape	
13.	Length of Flow = $\frac{L}{We} = \frac{397.00}{100.90} = 3.93$ Length-to-width Ratio Effective Width = 100.90 If L/We > 2, Baffles Are Not Required If L/We < 2, Baffles Are Required
Runoff	
14.	Q ₂ = 60.2 cfs.
15.	Q ₂₅ = 110.8 cfs.
Principal Spillway Design	
17.	With Emergency Spillway, Required Spillway Capacity Q _p = Q ₂ = N/A cfs. (Riser and Barrel) Without Emergency Spillway, Required Spillway Capacity Q _p = Q ₂₅ = 110.8 cfs. (Riser and Barrel)
18.	With Emergency Spillway: Assumed Available Head (h) = N/A (Using Q ₂) h = Crest of Emergency Spillway Elevation - Crest of Riser Elevation Without Emergency Spillway: Assumed Available Head (h) = 1.0 (Using Q ₂₅) h = Design High Water Elevation - Crest of Riser Elevation
19.	Riser Dimensions = 4' x 4' Actual Head (h) = 1.00' Note: Avoid Orifice Flow Conditions
20.	Barrel Length (L) = 35' Invert In = 526.15 Invert Out = 524.50 Head (h) on Barrel Through Embankment = 2.65'
21.	Barrel Diameter = 36" No. of Barrels = 1
22.	Trash Rack and Anti-Vortex Device Dimensions = N/A Height = N/A
Final Design Elevations	
23.	Top of Dam = 527.50 Design High Water = 527.15 Principal Spillway Crest = 526.15 Dewatering Orifice Invert = 524.20 Cleanout Elevation = 523.15

NOTES:

1. IF CHANGES ARE MADE TO THE SEDIMENT BASIN, THE REQUIRED WET AND DRY STORAGE VOLUME MUST BE MET.

2. CONTRACTOR TO FIELD VERIFY SEDIMENT BASIN ELEVATIONS. SEDIMENT BASIN BASED ON CURRENT FIELD ELEVATIONS.

3. REMOVE SEDIMENT AND RESTORE THE BASIN TO ITS ORIGINAL DIMENSIONS WHEN IT ACCUMULATES TO ONE-HALF THE WET STORAGE DEPTH.

4. INSPECT SEDIMENT BASIN WEEKLY AND AFTER EACH RAINFALL EVENT 0.5 INCHES OR GREATER AND REPAIR IMMEDIATELY.

5. CHECK THE EMBANKMENT, SPILLWAYS AND OUTLET FOR EROSION DAMAGE AND INSPECT THE EMBANKMENT FOR PIPING AND SETTLEMENT. MAKE ALL NECESSARY REPAIRS IMMEDIATELY. REMOVE ALL TRASH AND OTHER DEBRIS FROM THE RISER AND POOL AREA.