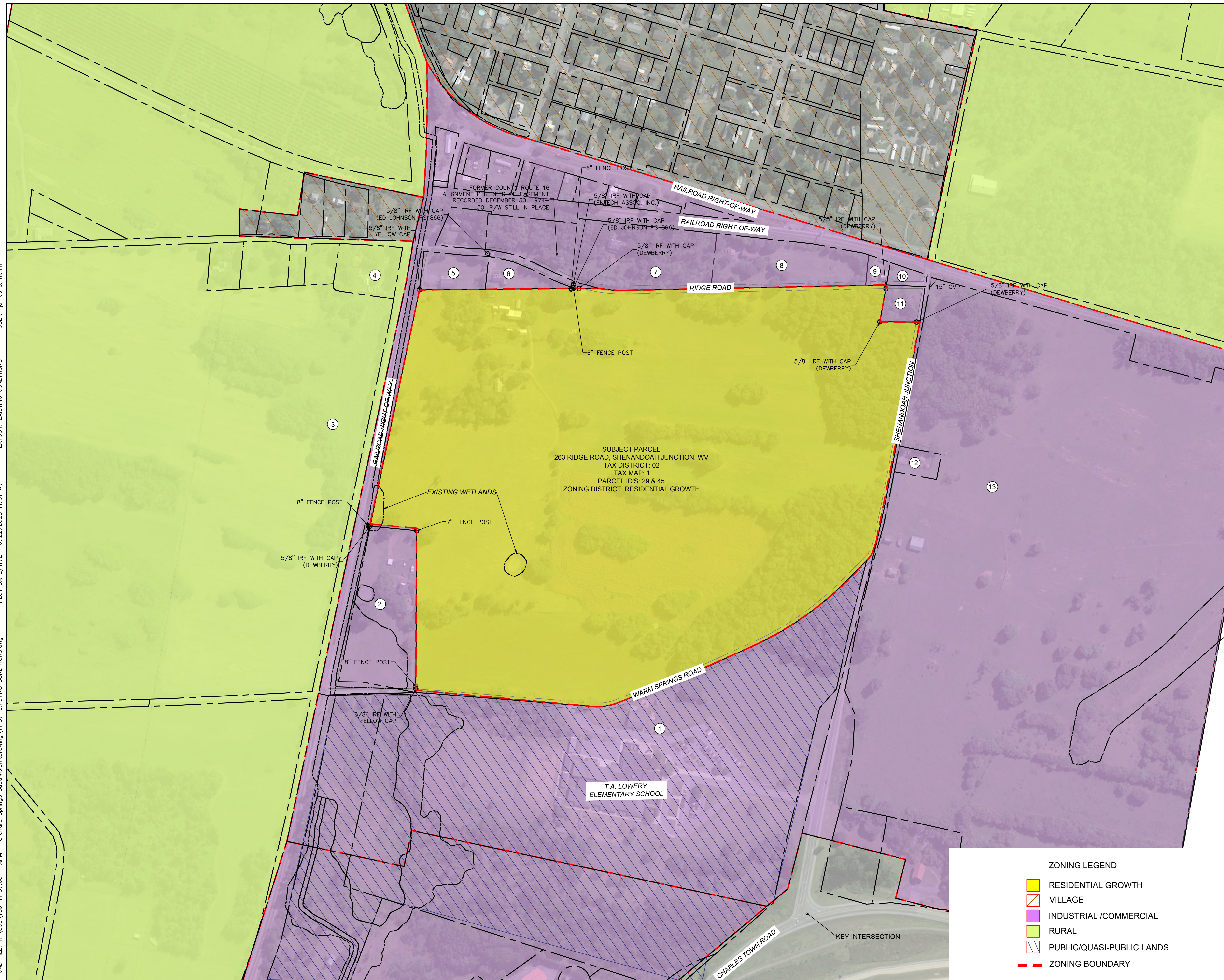
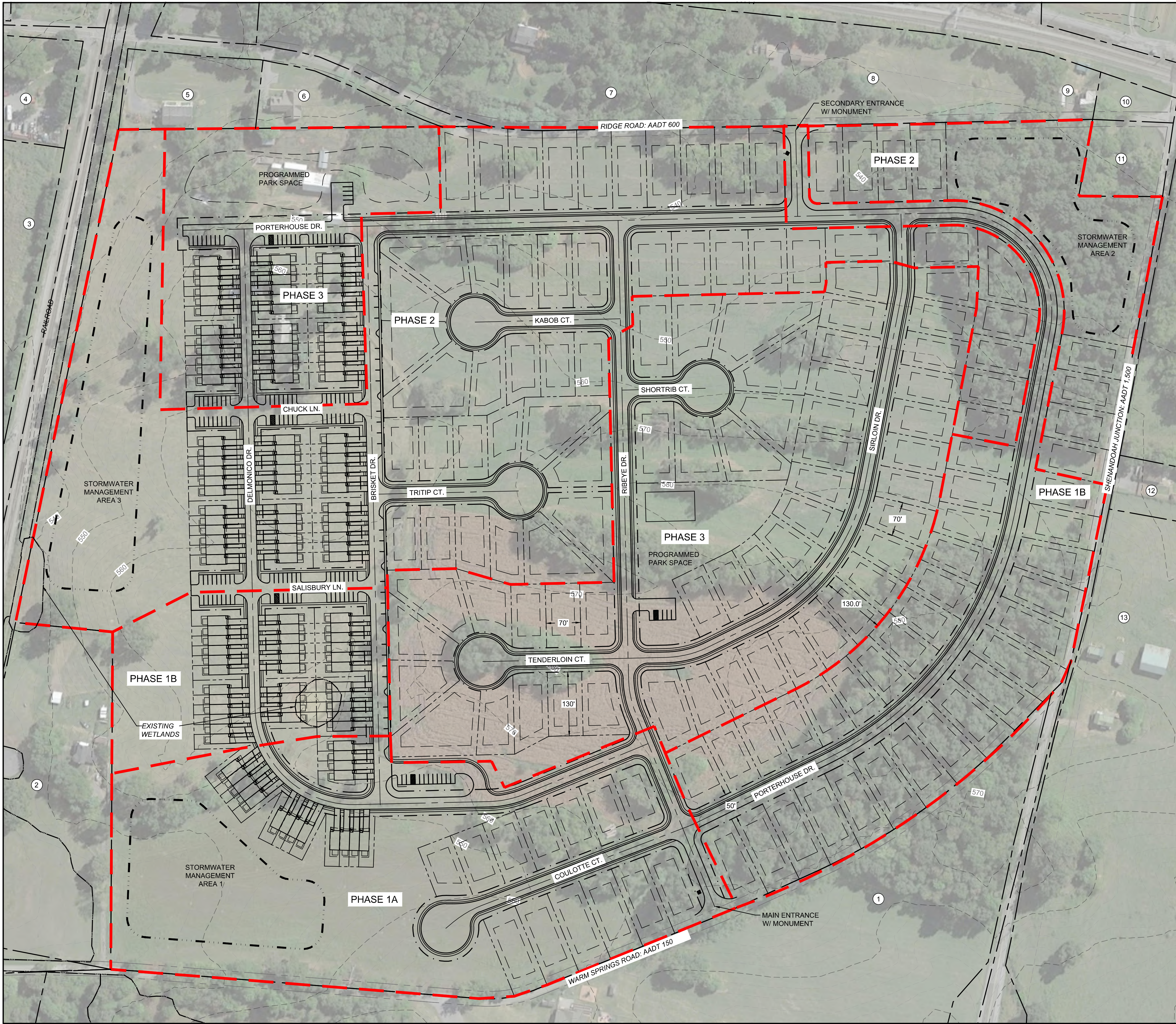




 RESIDENTIAL GROWTH
 VILLAGE
 INDUSTRIAL /COMMERCIAL
 RURAL
 PUBLIC/QUASI-PUBLIC LANDS
 ZONING BOUNDARY

CAD FILE: R:\030\T30-11187.00 - 4PM - Orchard Springs Subdivision\Drawing\Concept Plan.dwg
PLOT DATE/TIME: 6/22/2023 11:57 AM
LAYOUT: EX1
USER: james b. hellin



PLAN LEGEND

- 940 --- EXISTING CONTOURS MAJOR / MINOR
- EXISTING SUBJECT PROPERTY LINES
- EXISTING ROW LINES
- ① --- EXISTING ADJOINING PROPERTY LINES
- ADJOINING PARCEL INFO (SEE SHEET 1)
- NWI WETLAND BOUNDARY
- PROPOSED ROW BOUNDARY
- PROPOSED LOT BOUNDARY
- PROPOSED BUILDING SETBACK
- PROPOSED ROAD CENTERLINE
- PROPOSED EDGE OF PAVEMENT
- PROPOSED STORMWATER MANAGEMENT
- PROPOSED PARKING LINES
- PROPOSED TRAIL
- DEVELOPMENT PHASE BOUNDARY

UNIT SUMMARY

UNIT TYPE	TYP LOT SIZE	UNIT COUNT
SINGLE FAMILY	70x130	146
TOWNHOME	20x100	122
TOTAL		268

TOTAL ROAD LENGTH - 10,837 LF

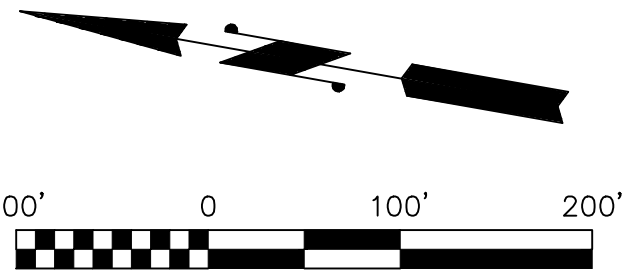
LAND USE SUMMARY

USE	AREA
SINGLE-FAMILY	36.18 ACRES
TOWNHOME	6.76 ACRES
ROW	14.31 ACRES
SWM AREAS	13.62 ACRES
OPEN SPACE	5.33 ACRES
TOTAL	76.2 ACRES

OPEN SPACE SUMMARY

ACTIVE	2.13 ACRES
PASSIVE	3.2 ACRES
TOTAL	5.33 ACRES

PARKING
TOWNHOUSE GUEST: 142 SPACES
AMENITY AREAS: 22 SPACES



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**ORCHARD SPRINGS
RESIDENTIAL DEVELOPMENT**
ALHARMOOSH DEVELOPMENT GROUP LLC
JEFFERSON COUNTY, WV
5-26-2023

DRAWN: JEH IV DATE: 5.23.2023
CHECKED: MIC DATE: 5.26.2023
APPROVED: MIC DATE: 5.26.2023

PROJECT No.
T30-11187

CONCEPT PLAN

SHEET No.