

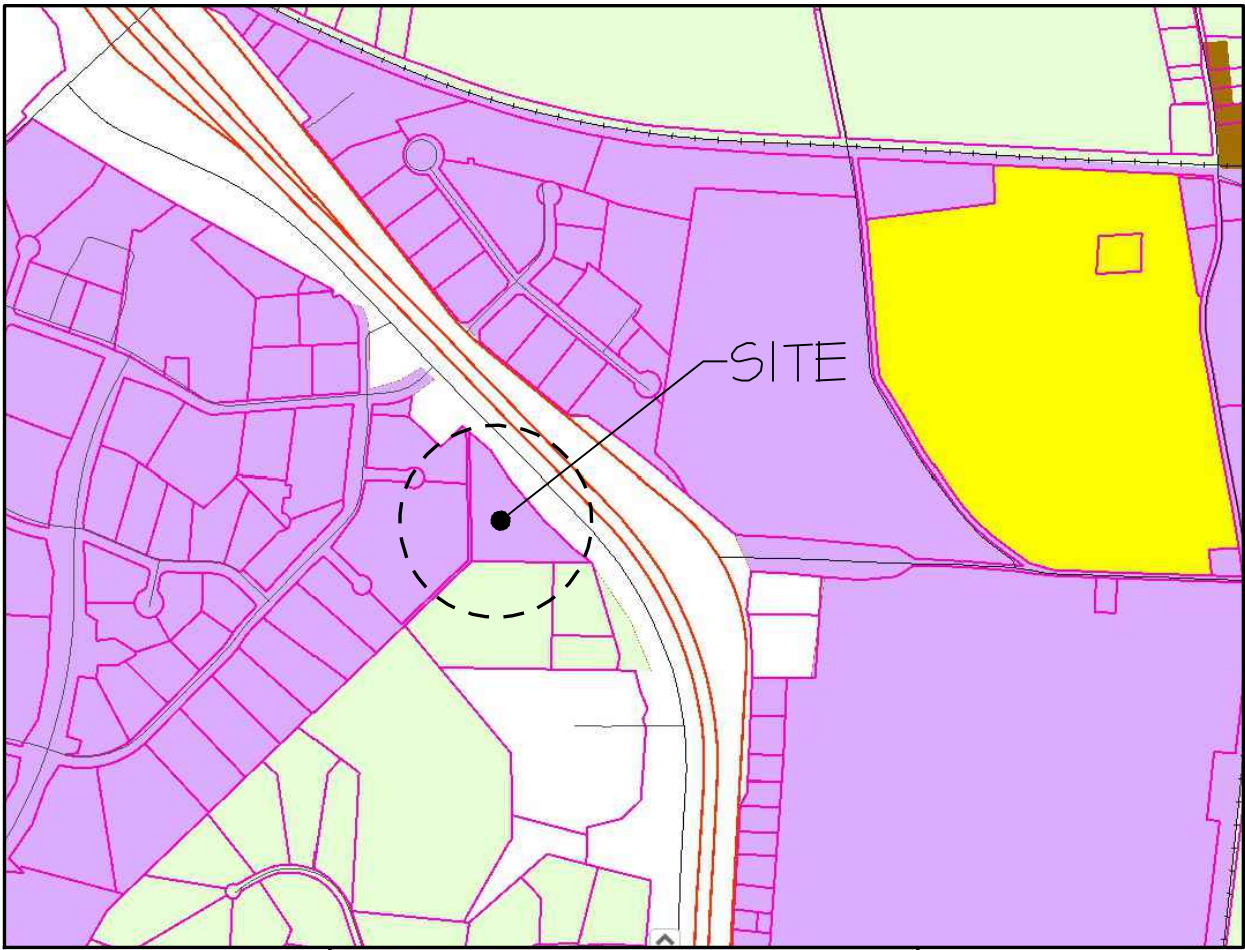
CONCEPT PLAN NOTES:

1. SEE ZONING MAP FOR ZONING DISTRICTS WITHIN 500' OF THE SUBJECT PROPERTY.
2. SEE SHEET 3 FOR THE LAYOUT OF BUILDING AND PARKING AREA.
3. ACTUAL BUILDING FOOTPRINTS MAY VARY WITH FINAL ARCHITECTURAL DESIGN.
4. ZONING INFORMATION: SEE TABS THIS SHEET
5. SEE SHEET 2 FOR THE PROPERTY'S EXISTING CONDITIONS.
6. ALL STATE, FEDERAL AND LOCAL REGULATIONS WILL BE OBSERVED IF ANY UNKNOWN SITE RESOURCES ARE DISCOVERED DURING CONSTRUCTION.
7. THERE ARE NO FLOOD PLAINS ON THE SUBJECT PROPERTY PER FEMA MAPS.
8. SEE SHEET 2 FOR ADJACENT PROPERTY INFORMATION.

TRAFFIC IMPACT DATA

1. THE WVDOH ONLINE TRAFFIC COUNTS PROVIDE AVERAGE DAILY TRAFFIC COUNTS FOR THE FOLLOWING LOCATIONS: WAR ADMIRAL = 3,446 (AADT)
2. PROPOSED TRIP GENERATION FOR AVERAGE DAILY TRIPS AND PEAK HOUR TRIPS PROVIDED PURSUANT TO THE ITE TRIP GENERATION MANUAL, 11TH EDITION. TRIPS BASED ON ITE LAND USE CODE 971 (BREN/PUB).  
PEAK HOUR TRIPS:  $20.41 (2,645 / 1,000 = 2.645) \times 0.78 = 20.41$   
AVERAGE DAILY TRIPS: = 163
3. THE NEAREST KEY INTERSECTION AS DEFINED IN THE CONCEPT PLAN CHECKLIST IS ROUTE 9 /33 W. BURR BLVD.
4. AS DEFINED BY THE ENVISION JEFFERSON 2035 COMPREHENSIVE PLAN, HIGHWAY PROBLEM AREA NUMBER (11) LUTHER JONES RD IS WITHIN ONE (1) MILE RADIUS OF THE PROPERTY. THE PROBLEM AREA IS LIMITED STACKING AREA AT LIGHT DUE TO TRACKS. DEVELOPMENT IS EXPECTED TO TAKE PLACE IN THIS AREA OVER NEXT TWO DECADES
5. A LIST OF ALL ADJOINING PROPERTIES AND OWNERS ADDRESS'S ARE INCLUDED AS PART OF THIS SUBMISSION. PROPERTY OWNERS INFORMATION IS PROVIDED PURSUANT TO JEFFERSON COUNTY ASSESSOR'S RECORDS.
6. WATER WILL BE PROVIDED VIA ON-SITE WELL AND SANITARY SEWER SERVICE WILL BE PROVIDED BY THE CITY OF CHARLES TOWN. PRELIMINARY DISCUSSION WITH THE CITY OF CHARLES TOWN INDICATES THERE IS CAPACITY TO SERVE THE PROPOSED DEVELOPMENT. EXACT CONNECTIONS WILL BE DETERMINED THROUGH COORDINATION WITH THE CITY OF CHARLES TOWN DURING SITE PLAN DEVELOPMENT
7. SEE SHEET 2 FOR EXISTING CONDITIONS WHICH HAS BEEN BASED ON A COMPILATION OF GIS INFORMATION, FIELD SURVEY DATA AND PLANS OF RECORD. THE TOPOGRAPHIC CONTOUR INTERVAL IS (2) FOOT. HORIZONTAL DATUM IS NAD83 WEST VIRGINIA STATE PLANE, NORTH ZONE. VERTICAL DATUM IS NAVD88.

ADJACENT ZONING DISTRICTS MAP  
(SCALE: 1" = 1,000')

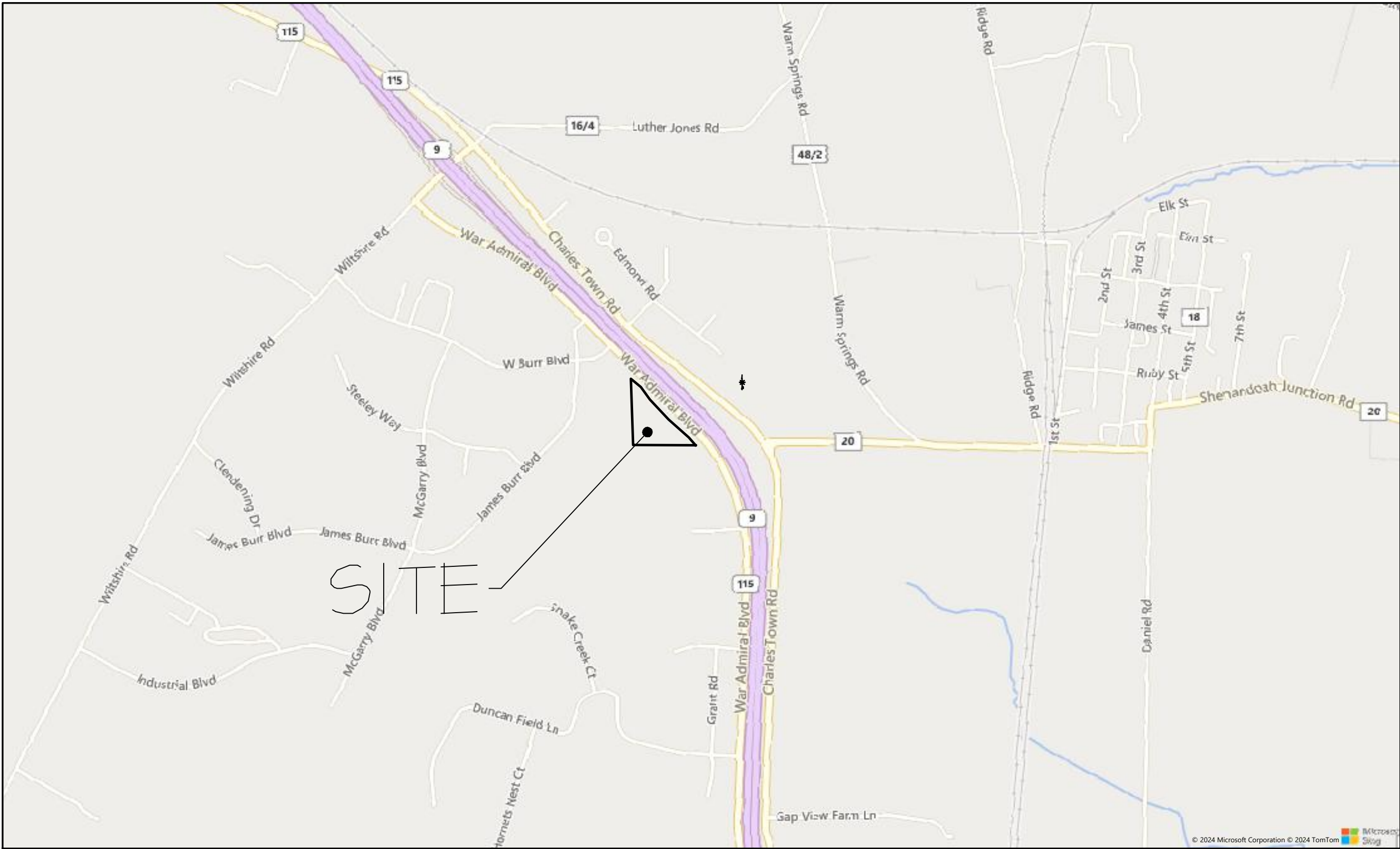


|  |                                         |
|--|-----------------------------------------|
|  | Major Industrial                        |
|  | Light Industrial                        |
|  | Industrial/Commercial                   |
|  | Office/Commercial Mixed-Use             |
|  | General Commercial                      |
|  | Highway Commercial                      |
|  | Neighborhood Commercial                 |
|  | Residential/Light Industrial/Commercial |
|  | Residential Growth                      |
|  | Planned Neighborhood Development        |
|  | Rural                                   |
|  | Village                                 |
|  | Incorporated Town                       |

# CONCEPT PLAN

# BCL PROPERTIES

## JEFFERSON COUNTY, WV



GENERAL LOCATION MAP  
(SCALE: 1" = 1,000')

OWNER / APPLICANT  
NICHOLAS WILSON E et al  
(BCL PROPERTIES LLC)  
ATTENTION: NICHOLAS WILSON  
301-188-4635  
WILSONTTC81@GMAIL.COM

PREPARED BY  
MORRIS & RITCHIE ASSOCIATES, INC.  
205 E. HIRST ROAD, SUITE 106  
PURCELLVILLE, VIRGINIA 20132  
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703-994-4047  
THECK@MRAGTA.COM

CONCEPT PLAN NARRATIVE:

THE PURPOSE OF THIS PLAN IS TO REQUEST APPROVAL FOR A 6,000 SF BREN/PUB COMPRISED OF APPROXIMATELY 2,625 SF OF CUSTOMER OCCUPANCY AREA, ASSOCIATED PARKING AND SUPPORTING INFRASTRUCTURE.

A WAIVER OF SECTION 2.5 & 10.5 (OFF-STREET PARKING STANDARDS) IS REQUEST TO ALLOW GRAVEL SURFACE FOR THE PARKING AREAS.

SEC. 2.5 OFF-STREET PARKING STANDARDS

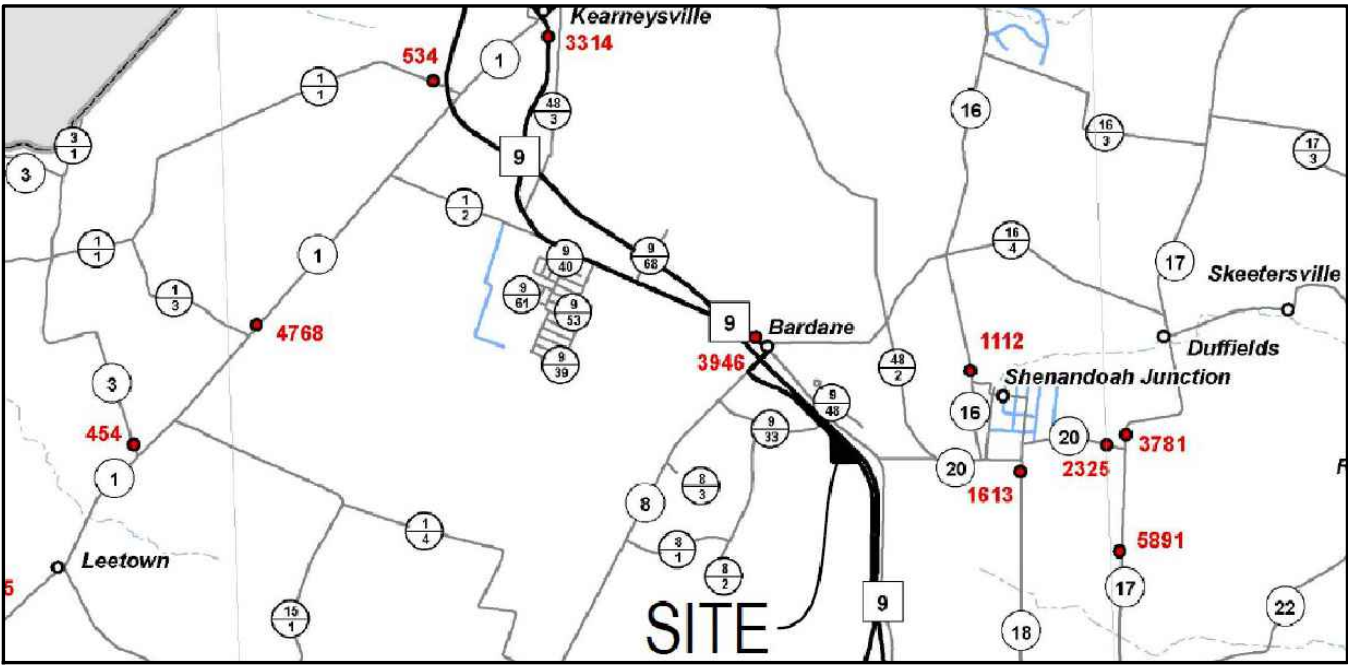
M. "ALL PARKING AREAS SHALL BE BITUMINOUS ASPHALT OR CONCRETE PAVED. PAVING SECTIONS SHALL BE AS ESTABLISHED BY THE COUNTY ENGINEER."

| ZONING SUMMARY                 |                                |       |                                     |
|--------------------------------|--------------------------------|-------|-------------------------------------|
| ZONING DISTRICT                | INDUTRIAL - COMMERCIAL (IC)    |       |                                     |
| LAND USE                       | COMERCIAL                      |       |                                     |
| LAND USE SUBTYPE               | PUBLIC /CENTAL WATER AND SEWER |       |                                     |
| MIN. LOT AREA                  | N/A                            | SF    |                                     |
| EXISTING LOT AREA              | 204,732                        | SF    | 4.7 AC                              |
| MAX BUILDING HEIGHT            | 75                             | FT    | (SUBJECT TO SECTION 9.2)            |
| PROPOSED BUILDING HEIGHT       | 25                             | FT    | PROPOSED BUILDING WILL BE (1) STORY |
| BUILDING SETBACKS              | FRONT                          | 25    | FT                                  |
|                                | SIDE                           | 25    | FT (FOR EXTERIOR ONLY)              |
|                                | REAR                           | 25    | FT                                  |
| PARKING / DRIVE AISLE SETBACKS | FRONT                          | 15    | FT                                  |
|                                | SIDE                           | 10    | FT                                  |
|                                | REAR                           | 10    | FT                                  |
| SCREENED BUFFERS               | FRONT                          | N/A   | FT                                  |
|                                | SIDE                           | 10(S) | FT ADJACENT TO COMMERCIAL USES      |
|                                | REAR                           | 10(S) | FT                                  |

| IMPERVIOUS SURFACE LIMIT                                                                                                                                                                                                                                          |            |      |       |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------|------|-------|
|                                                                                                                                                                                                                                                                   | SF         | AC   | %     |
| <b>*Max Allowed</b>                                                                                                                                                                                                                                               | 163,785.60 | 3.76 | 80.0% |
| <b>**Proposed Impervious Area</b>                                                                                                                                                                                                                                 | 36,100.00  | 0.83 | 17.6% |
| NOTES:<br>SITE AREA = 4.7 AC / 204,732 SF<br>*PER APPENDIX B: NON RESIDENTIAL SITE DEVELOPMENT STANDARDS<br>**THE PROPOSED IMPERVIOUS AREA IS SUBJECT TO FINAL ENGINEERING AND DESIGN AND MAY INCREASE PROVIDED IS DOESN'T EXCEED THE MAXIMUM ALLOWED PERCENTAGE. |            |      |       |

SUMMARY

SITE AREA = 4.7 AC  
BUILDING AREA = 16,000 SF  
PAVILION AREA = 1225 SF  
REQUIRED PARKING = 52.5 SPACES  
PROVIDED PARKING = 154 SPACES  
(1 SPACE PER 50 SF OF CUSTOMER OCCUPANCY (12,625 SF))



WVDOH MAP  
(SCALE: 1" = 1 MILE)

**MORRIS & RITCHIE ASSOCIATES, INC.**  
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CONCEPT PLAN - BCL PROPERTIES  
COVER SHEET & NOTES

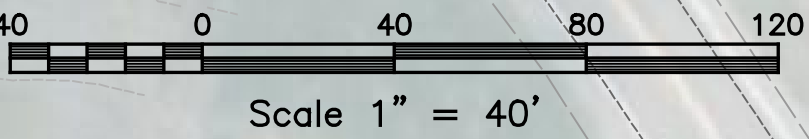
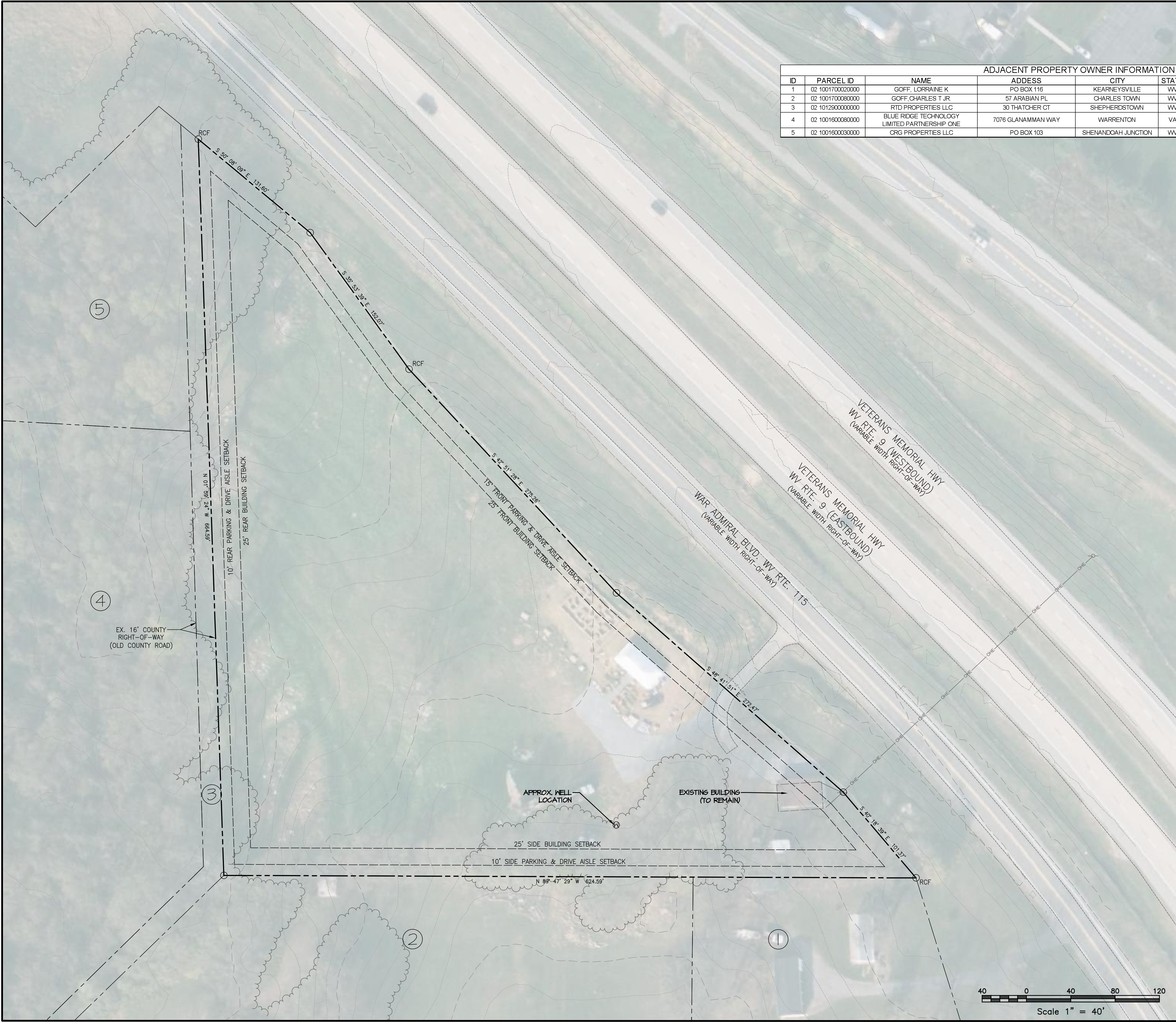
JEFFERSON COUNTY, WEST VIRGINIA  
TAX DISTRICT; CHARLES TOWN DISTRICT  
TAX MAP 1, PARCEL 271; D.B./18 PG. 255

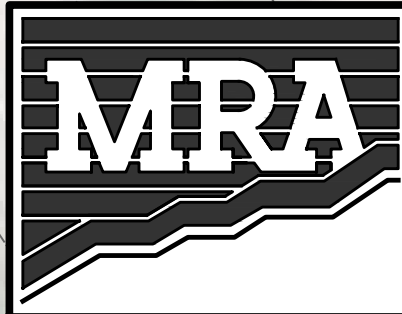
DATE:5/17/24 (REVISED 6/03/24 & 6/11/24)  
SHEET 1 OF 3

| Sheet List Table |                                         |
|------------------|-----------------------------------------|
| Sheet Number     | Sheet Title                             |
| 1                | COVER SHEET & NOTES                     |
| 2                | EXISTING CONDITIONS & SITE RESOURCE MAP |
| 3                | CONCEPT PLAN                            |



| ADJACENT PROPERTY OWNER INFORMATION |                  |                                               |                    |                     |       |       |                  |                      |
|-------------------------------------|------------------|-----------------------------------------------|--------------------|---------------------|-------|-------|------------------|----------------------|
| ID                                  | PARCEL ID        | NAME                                          | ADDRESS            | CITY                | STATE | ZIP   | DEED BOOK / PAGE | EXISTING USE         |
| 1                                   | 02 1001700020000 | GOFF, LORRAINE K                              | PO BOX 116         | KEARNEYSVILLE       | WV    | 25430 | 389 / 647        | RESIDENTIAL          |
| 2                                   | 02 1001700060000 | GOFF, CHARLES T JR                            | 57 ARABIAN PL      | CHARLES TOWN        | WV    | 25414 | 1024 / 707       | VACANT / RESIDENTIAL |
| 3                                   | 02 1012900000000 | RTD PROPERTIES LLC                            | 30 THATCHER CT     | SHEPHERDSTOWN       | WV    | 25443 | 1282 / 477       | VACANT               |
| 4                                   | 02 1001600080000 | BLUE RIDGE TECHNOLOGY LIMITED PARTNERSHIP ONE | 7076 GLANAMMAN WAY | WARRENTON           | VA    | 20187 | 697 / 708        | COMMERCIAL           |
| 5                                   | 02 1001600030000 | CRG PROPERTIES LLC                            | PO BOX 103         | SHENANDOAH JUNCTION | WV    | 25442 | 968 / 326        | COMMERCIAL           |





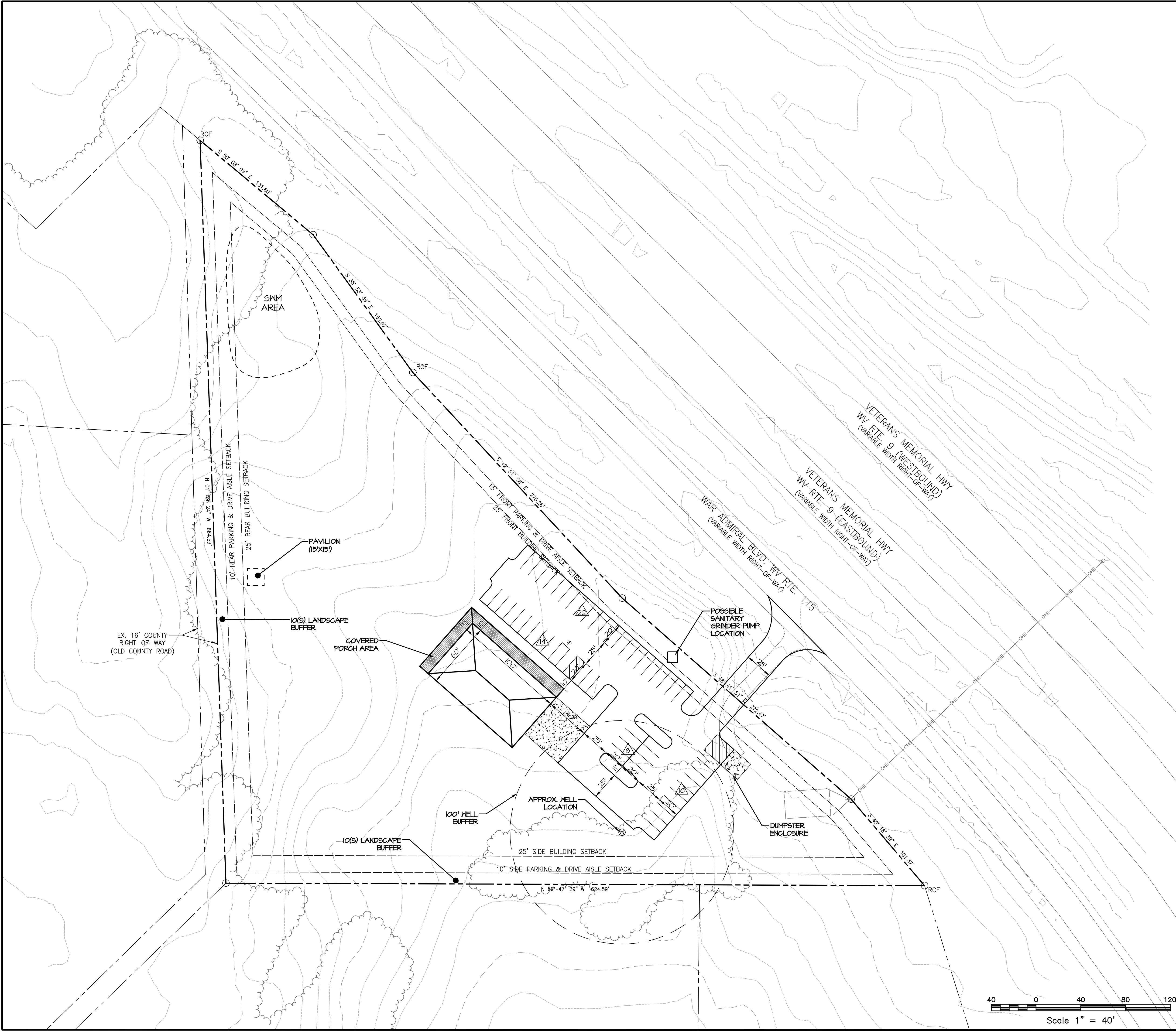
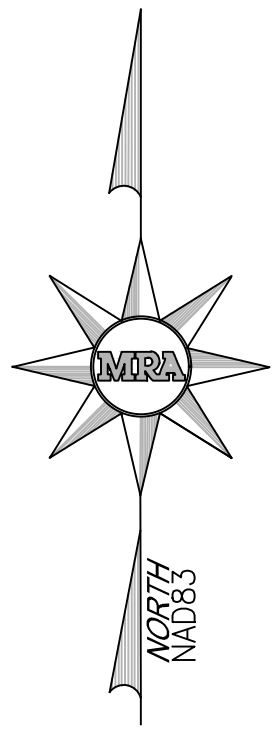
**MORRIS & RITCHIE ASSOCIATES, INC.**  
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CONCEPT PLAN - BCL PROPERTIES  
EXISTING CONDITIONS & SITE RESOURCE MAP

JEFFERSON COUNTY, WEST VIRGINIA  
TAX DISTRICT: CHARLES TOWN DISTRICT  
TAX MAP 1, PARCEL 271; D.B.1918 PG. 255

DATE: 5/17/24 (REVISED 6/03/24 & 6/11/24)  
SHEET 2 OF 3







**MORRIS & RITCHIE ASSOCIATES, INC.**  
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CONCEPT PLAN - BCL PROPERTIES  
CONCEPT PLAN

JEFFERSON COUNTY, WEST VIRGINIA  
TAX DISTRICT 1; CHARLES TOWN DISTRICT  
TAX MAP 1, PARCEL 271; D.B.1918 PG. 255

DATE: 5/11/24 (REVISED 6/3/24 & 6/11/24)  
SHEET 3 OF 3