



Agenda
Jefferson County Planning Commission
Tuesday, July 8, 2025 at 7:00 PM

**By order of the President of the Jefferson County Planning Commission,
Public Participation is available in-person only.
The meeting will be broadcast live via ZOOM for viewing purposes only.**

In-Person Meeting Location: County Commission Meeting Room located in the lower level of the Charles Town Library (side entrance on Samuel Street)
200 East Washington Street, Charles Town, WV 25414

ZOOM Broadcast Information*: Meeting ID: 885 0093 8788
Meeting Link: <https://us02web.zoom.us/j/88500938788>

**If watching live broadcast, please ensure your microphone is muted and be mindful that your video is streaming to others.*

1. **Approval of Meeting Minutes:** June 10, 2025 meeting.
2. **Request for postponement**

The following items are open for public comment

3. **Public Hearing:** Request for a Final Plat Amendment to lift the single family restriction for a detached accessory dwelling unit for a farm caretaker. See Note #3 on the Garrot Minor Subdivision Final Plat (PB 9/PG 26). Property Owner: Steven Lashley. Property Location: Garrot Minor Subdivision, Lot 1, 273 Job Corp Road, Shenandoah Junction, WV. Parcel ID: 02000300110000; Size: 10.10 ac; Zoning District: Rural (File # 25-2-FPA).
4. **Public Hearing:** Waiver from Section 20.203B.2 of the Subdivision Regulations that requires the proposed project to process as a Limited Site Plan. The project consists of the installation of a 14,861 sq/ft gravel parking lot. Property Owner: Trustee of the Mission Tabernacle Holiness Church. Property Location: Vacant parcel North of 25 Tabernacle Lane, Harpers Ferry, WV. Parcel ID: 02021A00140001; Size: 0.36 ac; Zoning District: Rural (File # 25-20-PCW).
5. **Public Hearing:** Waiver from Section 24.112.C of the Subdivision Regulations to extend the timeframe to submit a sufficient Preliminary Plat for the Orchard Springs Subdivision to July 11, 2026. Property Owner: Alharmoosh Development Group, LLC. Consultant: Civil & Environmental Consultants, Inc. / Attn: Chris Waddell. Property Location: 257 & 263 Ride Road, Shenandoah Junction, WV. Parcel IDs: 02000100290000 and 02000100450000; Size ~76.22 combined acres; Zoning District: Residential Growth (File # 25-21-PCW).
6. **Public Hearing:** Hallmark Glen Preliminary Plat for a Major Subdivision. The proposal consists of a Major Residential Subdivision with 20 lots and associated infrastructure. Property Owners: Harvest Homes, LLC. Property Location: 4001 Engle Molers Rd, Harpers Ferry, WV. Parcel ID: 09001800250000; Size: 100 acres; Zoning District: Rural (File #25-4-SD).
7. **Public Hearing:** Waiver from Section 20.102B of the Subdivision Regulations to allow site grading to commence prior to site plan approval for the proposed Hallmark Glen Subdivision (File: 25-4-SD). Property Owners: Harvest Homes, LLC. Property Location: 4001 Engle Molers Rd, Harpers Ferry, WV. Parcel ID: 09001800250000; Size: 100 acres; Zoning District: Rural (File #25-22-PCW).

There is no public comment for the following items.

- 8. Discussion and Action on the Hoxton Center (General Commercial) Zoning Map Amendment**
Request: Planning Commission review and recommendation to the County Commission regarding whether the petition for a Zoning Map Amendment to rezone the 1.07 acre Hoxton Center, LLC Property from Rural(R) to General Commercial (GC) is consistent with the *2045 Comprehensive Plan*. Property Owners: Hoxton Center, LLC. Property Location: 8516, 8524, and 8530 Shepherdstown Pike, Shepherdstown WV. Parcel ID: 09008B01300000; Size: 100 acres; Zoning District: Rural (File #25-2-Z)
 - 9. Discussion and Possible Action:** Draft amendments to the Zoning and Land Development Ordinance and Subdivision and Land Development Regulations regarding the creation of the proposed Rural Residential zoning district.
 - 10. Discussion and Possible Action:** Staff review of proposed text amendment regarding Data Centers.
 - 11. Discussion and Possible Action:** Staff review of proposed text amendment to revise language on Solar Energy Facilities in the Zoning & Land Development Ordinance Section 2.2, Section 4.13, and Section 8.20 and add specific requirements for Solar Energy Facilities to the Subdivision & Land Development Regulations.
 - 12. Discussion and Possible Action:** Review of draft Planning Commission Public Meetings Policy
 - 13. Reports from Legal Counsel**
 - 14. Planner's Memo:**
 - a. Planning Commission Training Discussion
 - 15. President's Report**
 - 16. Actionable Correspondence**
 - a. Emails re: "Please don't limit public input to 90 minutes" received between 06/21/25 – 07/01/25 from the following citizens:

Susan Shackelford, Lori Bahamonde-DiGiambattista, Windsong Bergman, Jane Butler, Amy Cunningham, Amy Cunningham, David Fraser, Rosemary Graham-Gardner, Ruth Hatcher, Dennis Hatcher, Edward Hogan, Joseph Martin, Mark Muse, Elizabeth Watts, and Joseph White, Katherine Austin, A Eliza, Sharon Garlena, Vicki Haygood, Elizabeth Watts, Jennifer Jones, Marie Withers, Marie Chamblin, Kathryn Christopher, Martha Ehlman, Thomas Peck, Ali Printz, Pam Rowley, Carolyn Thomas, Walter Tomlin, Terry Tucker, Lisa Wellington, Rosalid Welsh, Anne Barrat, Ned Marshall, Suzanne Patrick, Philip Carter Salladay, Abraham Camacho, Keith Carter, Lindsay Chase, Chris Cramphin, Hannah Darr-Clarke, Toby Degenhardt, Laura Degenhardt, Sonny Discini, Karla Dodd, Christine Dorsey, John Doyle, Charlotte Fremaux, Emmet Fremaux, Jennifer Fisher, Roseanna Fisher, Joyce Heiderman, Holland Hook, Majorie Howard, Victoria Johnston, Debby Kay, Linda Lewis, Leah Lloyd, Kathy Lloyd, Joseph Martin, Barbara Milleson, Alicia Michaels, Suellen Myers, Danielle Patterson, Stacey Rawlings, Edward Reifer, Leah Rampy, Suzanne Ravgiala, Linda Roberts, Trudy Roth, Alden Roth, Anne Ryan, Douglas Shaffer, Ellen Smith, Theresa Stogner, Molly Sutter, Lizz Temple, Steven Vogel, AnnaMary Walsh, Karen Weigel, Carol Wood, Irene Yates, Linda Zwobota, Skye Allen, David Barrett, Nicola Bastian, Pamela Camacho, Lynn Delles, William Grantham, Nicholas Gray, Patrick Green, Beth Healey, Theresa Johnson, Leigh Koonce, Hilary Lo, Teresa McBee, Zachary Meehan, Jennifer Miller,
-

Troy Miller, Madge Morningstar, Jennifer Newsome, Lisa Payne, Maria Russo, Michael Simms, A Temple, B Temple, Rebecca Thompson, Thomas Thompson, Brown Truslow, Elizabeth Vesper, Christine Wiegman, Christine Wimer, Susie Wimer, Sam Yates, Julia Yuhasz

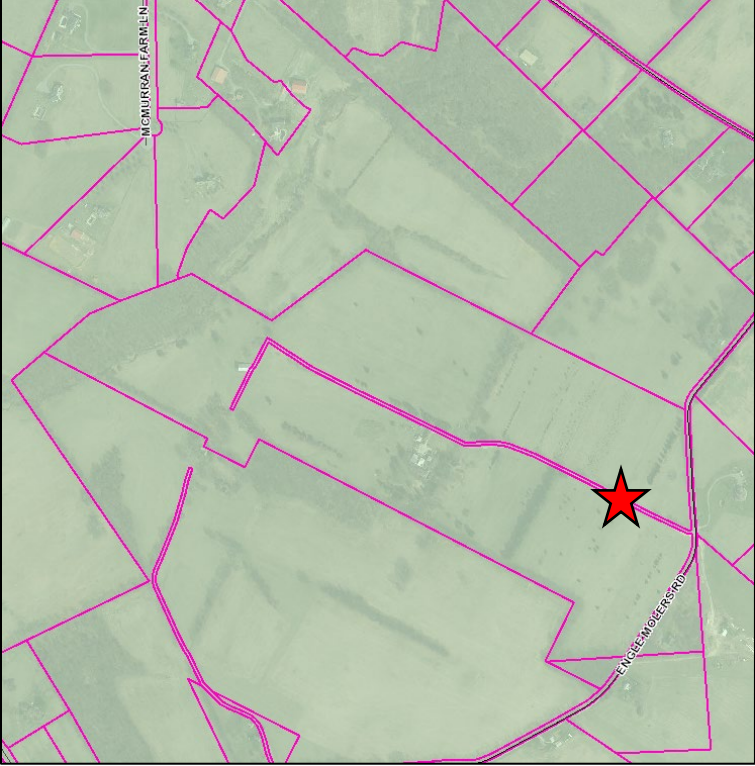
- b. Elizabeth Nicholson
- c. Jacquelyn Milliron
- d. Cheryl Middleton
- e. Jefferson County Foundation

17. Non-Actionable Correspondence

Staff Report
 Jefferson County Planning Commission Meeting
 July 8, 2025

Hallmark Glen Preliminary Plat (File #25-4-SD)

Item #6: Public Hearing: Hallmark Glen Preliminary Plat for a Major Subdivision. The proposal consists of a Major Residential Subdivision with 20 lots and associated infrastructure.

Owner:	Harvest Homes, LLC.	
Consultant:	P.J. Raco Consulting, LLC / Attn: Paul Raco	
Parcel Information:	<p style="text-align: center;">4001 Engle Molers Road, Harpers Ferry; Size: 100 acres; Parcel ID: 09001800250000; Zoning District: Rural</p> 	
Adjacent Zoning:	<i>North, South, East, and West: Rural</i>	
Proposed Activity:	Residential Housing Development	
Proposed Request:	Major Residential Subdivision with 20 lots and associated infrastructure.	
Previous Approvals:	03/25/2025: PC approved waiver to reduce road width requirement (25-9-PCW) 07/08/2025: Waiver to allow site grading to commence prior to site plan approval (25-22-PCW) PENDING	
Concept Plan Status:	Submitted:	01/24/2025
	Sufficiency Letter:	01/31/2025
	Second Review Submitted:	02/26/2025
	Approved with proffers:	03/25/2025

Site Background

The applicant is proposing the development of a Major Subdivision through the cluster provision of the Zoning Ordinance. The project will consist of 19 new single-family detached dwellings and 1 existing lot of green space. The subdivision will be served by individual well and septic systems. The property is located along Engle Molers road north of the Village of Bakerton.

Staff Report
Jefferson County Planning Commission Meeting
July 8, 2025

Hallmark Glen Preliminary Plat (File #25-4-SD)

Section 5.7.D.2b.i.(c) provides the green space preservation requirements for clustering subdivisions in the Rural zoning district. The Preliminary Plat indicates that 50% of the property will be in greenspace, allowing 1 lot per 5 acres. The property is currently 100 acres, which allows 20 lots to be subdivided. The narrative indicates that the lot size of the single-family detached lots will be approximately 2 acres.

Concept Plan Approval

The applicant submitted the Concept Plan for the Hallmark Glen Subdivision for review on January 24, 2025. Following staff review and public notice, Planning Commission held the Public Workshop for the Concept Plan on March 25, 2025. Planning Commission provided direction to the applicant for the preliminary plat with the following agreed to proffers. The applicant will conduct a Stormwater Management Plan designed to release a flow for a 25 year storm following development, as if the existing 10 inch culvert remained and did not overtop the road, and to replace the 10 inch culvert with a culvert designed to pass a 25 year storm without overtopping the road.

Preliminary Plat Approval Process

The applicant submitted the Preliminary Plat for Hallmark Glen Subdivision for review on April 2, 2025. In accordance with Section 24.113 of the Subdivision Regulations and Planning Commission action delegating the Completeness review to staff, the Preliminary Plat was deemed complete by staff on May 27, 2025. In accordance with Section 24.114 of the Subdivision Regulations, this Public Hearing for July 8, 2025, was scheduled to be held within 45 days of accepting the application as complete. This hearing has been advertised as required in the Subdivision Regulations.

The Subdivision Regulations require the review of the submitted application and plat and plans by the Department of Engineering, Planning and Zoning as well as the WVDOH and the relevant Public Utility Agency, in this case the Jefferson County Health Department. The Department is required to determine whether the density, use, and plan meet the requirements of the Zoning Ordinance and any other zoning issues and/or variances that can be identified at the Preliminary Plat submission. The Department is also required to provide a written opinion as to whether the Preliminary Plat meets the site planning criteria specified in Articles 21 and 22 of the Subdivision Regulations and whether the Concept Plan was fulfilled. All required permits including WVDOH entrance permits, Health Department well and septic permits, and DEP NPDES permits must be submitted to staff before a Preliminary Plat is deemed complete. The applicant has provided the necessary permit information.

Engineering, Planning and Zoning Staff completed their review of the Preliminary Plat in accordance with these Articles and the requirements of Appendix A, Section 1.3. There are no outstanding comments at this time. This staff report serves as the staff's written determination the Plat meets the requirements of the Zoning Ordinance and Articles 21 and 22 of the Subdivision Regulations, as required by the Subdivision Regulations. The purpose of today's Public Hearing is to receive public comment on the proposed Preliminary Plat in accordance with the Subdivision Regulations and WV Code 8A, and to allow the applicant to prepare a final plat, final engineering, and final landscape plan.

Staff Report
Jefferson County Planning Commission Meeting
July 8, 2025
Hallmark Glen Preliminary Plat (File #25-4-SD)

1. Approved Waivers

The Planning Commission has approved the following waivers pertaining to this development:

- 25-9-PCW: Waiver of Sec. 2.3.A.3 “Road Width Surface” (Approved 3/25/25)

The waiver was granted on the condition that the 24’ road width of asphalt with a 3’ shoulder be constructed until the first intersection. Following the first intersection, the requirement was waived to be a 20’ road width of asphalt.

The applicant has also requested a waiver to perform early grading on the site prior to Final Plat approval. This waiver (25-22-PCW) is part of the July 8, 2025 Planning Commission meeting.

Subdivision Requirements Related to Preliminary Plat Approval

The following list summarizes the requirements of Section 24.115 of the Subdivision Regulations, which requires the Planning Commission to review the recommendations and opinions of the reviewing agencies, the staff’s decision regarding compliance with the Zoning Ordinance, and the testimony of the public and render its decision. It also states that, in making its decision, the Planning Commission shall apply the following excerpted rules:

1. Zoning. The Planning Commission cannot deny an application on the basis of zoning if the staff’s decision is that the application complies with the Zoning Ordinance.
2. Impact Fees. The Preliminary Plat application cannot be denied on the grounds of adverse impact on services which benefit from the County’s adopted impact fees (parks and recreation, schools, law enforcement, fire protection, and emergency services).
3. Roads. The Planning Commission shall defer to the WVDOH on final requirements and approvals for improvements to the public roads.
4. Sewer and Water Systems. All sewer and water systems, whether privately owned or publicly owned shall be permitted only on the recommendation of the relevant Public Service District or private utility. The Hallmark Glen subdivision will be on well and septic and does not require permitting from a utility provider. The applicant has provided the required permits from the Jefferson County Health Department.
5. Engineering and Landscaping. The plan being reviewed consists of the required sediment and erosion control, stormwater management, sewer or water system engineering, landscaping, and site development plan. The Preliminary Plat application cannot be denied based on engineering considerations that have not been addressed at this stage of the proceedings. The Planning Commission and County Engineer may attach conditions to ensure that specific issues are addressed.
6. Open Space. Open space to be provided to satisfy the requirements of the Zoning Ordinance shall be identified on the Preliminary Plat. Covenants and deed restrictions applicable to such open space to assure its retention shall be submitted and approved. As a Cluster Subdivision, Hallmark Glen must provide Green Space as noted on the Plat.

Approval of the Preliminary Plat may include conditions based on input from the Department of Engineering, Planning and Zoning and relevant agencies that must be met in the preparation of the

Staff Report
Jefferson County Planning Commission Meeting
July 8, 2025

Hallmark Glen Preliminary Plat (File #25-4-SD)

final plat, final engineering, and final landscaping. Such conditions may include any proffers made by the developer and accepted by the Planning Commission or agency benefiting from the proffer. In no event shall a condition require the developer to reduce the density below the requirements of the Zoning Ordinance or what is shown on the proposal unless the reduction is proffered by the applicant.

Planning Commission Action Required

Section 24.115 of the Subdivision Regulations states that, after the close of the public hearing, or at any meeting within 14 days thereafter, the Planning Commission shall do one of the following:

- (1) Approve the application;
- (2) Approve the application with conditions;
- (3) Deny the application; or
- (4) Hold the application for up for 45 days for additional information. If the application is to be held for the additional time, a date certain for re-opening the public hearing must be set by the Planning Commission simultaneously with the vote to hold the Public Hearing. Additional legal advertisement is not required.

It further states that the Planning Commission may approve the plan if it meets the standards of the land use ordinances, deny the plan if it does not meet the standards of the land use ordinances, or approve the plan with conditions to complete any remaining items. In the event that the Preliminary Plat is approved with conditions to complete any remaining items, unless otherwise directed by the Planning Commission, Staff shall have the authority to grant final approval of the Preliminary Plat once the conditions are met. Also, if the Planning Commission conditionally approves the Preliminary Plat, then the applicant shall be required to submit a notarized document expressly and explicitly waiving the 45-day time requirement for the Planning Commission and/or Staff to act. If the applicant is unwilling to provide such document, then the Planning Commission shall proceed in the final consideration of the Preliminary Plat.

Sec. 24.115 of the Subdivision Regulations further states that the approval of the Preliminary Plat, with or without conditions, allows the applicant to proceed to prepare a Final Plat, final engineering, and final landscape plan. The approval shall be good for a period of five years, with the provision that any zoning changes that have been advertised for a public hearing prior to the date of approval may be made a condition of approval if adopted prior to submission of Final Plat including all engineering and landscaping. The Final Plat will not require any further public input unless a waiver or variance is required.



Jefferson County, West Virginia
 Department of Engineering, Planning and Zoning
Office of Planning and Zoning
 116 E. Washington Street, 2nd Floor, P.O. Box 716
 Charles Town, West Virginia 25414

File #: 25-4-SD
 Fees Paid: \$4550
 Staff Int.: CAU

Email: planningdepartment@jeffersoncountywv.org
zoning@jeffersoncountywv.org

Phone: (304) 728-3228
 Fax: (304) 728-8126

Subdivision or Site Development Application

Application Type

<input type="checkbox"/> Concept Plan	<input type="checkbox"/> Final Plat (major/minor)
<input type="checkbox"/> Preliminary Plat	<input type="checkbox"/> Site Plan

Project Name: _____
 Description: _____

Primary Contact Phone Number (must be a direct line number) _____

Property Owner Information

Owner Name: _____
 Business Name: _____
 Mailing Address: _____
 Phone Number: _____ Email: _____

Applicant Information Same as Owner:

Applicant Name: _____
 Business Name: _____
 Mailing Address: _____
 Phone Number: _____ Email: _____

Registered WV Engineer or Surveyor or Consultant Information

Contact Name: _____
 Business Name: _____
 Mailing Address: _____
 Phone Number: _____ Email: _____

Physical Property Details Vacant Lot:

Physical Address: _____
 Tax District: _____ Map No: _____ Parcel No: _____
 Parcel Size: _____ Deed Book: _____ Page No: _____
 Zoning District: _____

Additional Parcels (if any)

Physical Property Details Vacant Lot:

Physical Address: _____
 Tax District: _____ Map No: _____ Parcel No: _____
 Parcel Size: _____ Deed Book: _____ Page No: _____
 Zoning District: _____

Physical Property Details Vacant Lot:

Physical Address: _____
 Tax District: _____ Map No: _____ Parcel No: _____
 Parcel Size: _____ Deed Book: _____ Page No: _____
 Zoning District: _____

PRELIMINARY PLAT HALLMARK GLEN SUBDIVISION

JEFFERSON COUNTY FILE NUMBER: 25-4-SD
SHEPHERDSTOWN TAX DISTRICT
JEFFERSON COUNTY, WEST VIRGINIA
TAX MAP 18, PARCEL 25; D.B. 1338, PG. 538

OWNER/APPLICANT:
HARVEST HOMES LLC
67 LUTMANS LN. SUITE 100
SHENANDOAH JUNCTION, WV 25442
(304)702-2500



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Martinsburg, WV 25401 • www.ifs-ae.com

SHEET LIST TABLE

Sheet Number	Sheet Title
01	COVER SHEET
02	GENERAL NOTES
03	GENERAL DETAILS
04	CERTIFIED EXISTING CONDITIONS
05	EXISTING CONDITIONS
06	EROSION & SEDIMENT CONTROL NARRATIVE
07	EROSION & SEDIMENT CONTROL NOTES
08	EROSION & SEDIMENT CONTROL PLAN PHASE I
09	EROSION & SEDIMENT CONTROL PLAN PHASE II
10	EROSION & SEDIMENT CONTROL DETAILS
11	EROSION & SEDIMENT CONTROL CALCULATIONS
12	DEMOLITION PLAN
13	OVERALL KEY MAP
14	OVERALL PRELIMINARY PLAT
15	PRELIMINARY PLAT
16	PRELIMINARY PLAT
17	PRELIMINARY PLAT
18	PRELIMINARY PLAT
19	GRADING PLAN
20	GRADING PLAN
21	GRADING PLAN
22	GRADING PLAN
23	MISTLETOE LANE PLAN & PROFILE
24	MISTLETOE LANE PLAN & PROFILE
25	JINGLE BELLS COURT PLAN & PROFILE
26	SIGHT DISTANCE PLAN & PROFILE
27	SITE ENTRANCE PLAN & PROFILE
28	SWM FACILITY DESIGN - POND A
29	SWM FACILITY DESIGN - POND A BIORETENTION
30	SWM FACILITY DESIGN - POND B
31	SWM NARRATIVE AND DETAILS
32	SWM NARRATIVE AND DETAILS
33	SWM NARRATIVE AND DETAILS
34	ROAD CULVERT PROFILES

JEFFERSON COUNTY SITE WORK MILESTONE INSPECTIONS

THE DEVELOPER SHALL REQUEST COUNTY ENGINEER INSPECTIONS A MINIMUM OF 48 HOURS IN ADVANCE (CALL: 304-264-1966). INSPECTIONS SHALL BE REQUESTED ACCORDING TO THE TABLE OF MILESTONES SHOWN BELOW:

1.	INSTALLATION OF SEDIMENT & EROSION CONTROL DEVICES PRIOR TO BEGINNING SITE GRADING.
2.	ROADWAY AND/OR PARKING LOT SUBGRADE PROOF ROLL PRIOR TO PLACING STONE BASE.
3.	ROADWAY AND/OR PARKING LOT STONE BASE DEPTH CHECK PRIOR TO PLACING ASPHALT OR CONCRETE PAVEMENT.
4.	WATER SYSTEM AND SANITARY SEWER SYSTEM INSPECTION AND APPROVAL BY THE PUBLIC SERVICE DISTRICT/UTILITY PRIOR TO BACKFILLING OF TRENCHES.
5.	FINAL INSPECTION INCLUDING BUT NOT LIMITED TO: SEEDING & MULCHING, ROADWAY & PARKING LOT PAVING, SIDEWALKS, STORM DRAINAGE AND STORMWATER MANAGEMENT SYSTEMS, TRAFFIC CONTROL SIGNS & PAVEMENT MARKINGS, LANDSCAPING, ETC.

NOTE:
THE COUNTY ENGINEER MAY ACCEPT "THIRD-PARTY" INSPECTION AND CERTIFICATION REPORTS IN PLACE OF INSPECTIONS PERFORMED BY THE OFFICE OF ENGINEERING, UPON PRIOR APPROVAL. THIRD-PARTY INSPECTION REPORTS SHALL BE SUBMITTED IN THE FORMAT SPECIFIED BY THE COUNTY ENGINEER.

JEFFERSON COUNTY CONSTRUCTION NOTES

(TABLE 1.2-1)

1.	EROSION & SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AND INSPECTED PRIOR TO PERFORMING ANY SIGNIFICANT EARTH DISTURBING ACTIVITIES AND SITE GRADING.
	EARTH WORK SHALL BE COMPACTED TO THE PERCENTAGES OF MAXIMUM DRY DENSITY IN ACCORDANCE WITH AASHTO T99C, AS SHOWN BELOW:
A.	ROADWAYS.....98%
B.	PARKING LOTS FOR HEAVY TRUCKS.....98%
C.	PARKING LOTS FOR PASSENGER VEHICLES.....95%
D.	UTILITY LINE TRENCHES.....98%
E.	BUILDING PADS.....100%
	THE ABOVE COMPACTION REQUIREMENTS SHALL BE CERTIFIED BY A PROFESSIONAL ENGINEER OR A SOILS TECHNICIAN UNDER THE DIRECTION OF A PROFESSIONAL ENGINEER, AND ACCEPTABLE TO THE COUNTY ENGINEER.
3.	CHANGES AND REVISIONS TO THE CONSTRUCTION PLANS AND SPECIFICATIONS SHALL NOT BE MADE UNLESS FIRST SUBMITTED IN WRITING AND APPROVED BY THE COUNTY ENGINEER AND ANY OTHER AGENCIES, AS DEEMED APPROPRIATE.
4.	WORK ZONE TEMPORARY TRAFFIC CONTROL ALONG A PUBLIC ROAD SHALL BE IN ACCORDANCE WITH WEST VIRGINIA DIVISION OF HIGHWAY REQUIREMENTS AND APPROVAL.
5.	SEVENTY-TWO (72) HOURS PRIOR TO EXCAVATION IN PUBLIC RIGHT-OF-WAYS OR IN AREAS SERVED BY UNDERGROUND UTILITIES, CALL MISS UTILITY 1-800-245-4848.

EXISTING		CIVIL LEGEND:		PROPOSED																																			
EX_VCH	EX_CC	BOUNDARY/RIGHT-OF-WAY LINE	ADJACENT BOUNDARY LINE	CONCRETE MONUMENT/IRON REBAR	CC-TBS	TBS																																	
		EASEMENT LINE	ROAD CENTERLINE	HEADER CURB	CURB	TRANS.	REVERSE CURB																																
		EDGE OF PAVEMENT	EDGE OF CONCRETE	EDGE OF GRAVEL	SIDEWALK	GUARDRAIL	BOARD FENCE	CHAIN LINK FENCE	WIRE FENCE																														
		BUILDINGS	RETAINING WALL	MISCELLANEOUS SIGNS	MAIL BOX	SITE LIGHT WITH POLE	BUILDING MOUNTED LIGHT	UTILITY POLE	UTILITY POLE GUY WIRE	OVERHEAD UTILITY LINE	UNDERGROUND UTILITY LINE	OVERHEAD COMMUNICATIONS LINE	UNDERGROUND COMMUNICATIONS LINE	UNDERGROUND GAS LINE	SANITARY SEWER MAIN	SANITARY SEWER FORCE MAIN	SANITARY SEWER MANHOLE	SANITARY SEWER CLEAN-OUT	STORM SEWER LINE	STORM SEWER MANHOLE	STORM SEWER DROP INLET	STORM SEWER CURB INLET	STORM SEWER RIP-RAP	STORM SEWER END SECTION	WATER MAIN	FIRE HYDRANT	WATER VALVE	WATER METER	INDEX CONTOUR LINE	INTERMEDIATE CONTOUR LINE	SPOT ELEVATIONS	TREES/SHRUBS	DRIP LINE OF TREES	LIMITS OF CONSTRUCTION	SOIL BOUNDARY				
TO BE REMOVED		TO REMAIN																																					



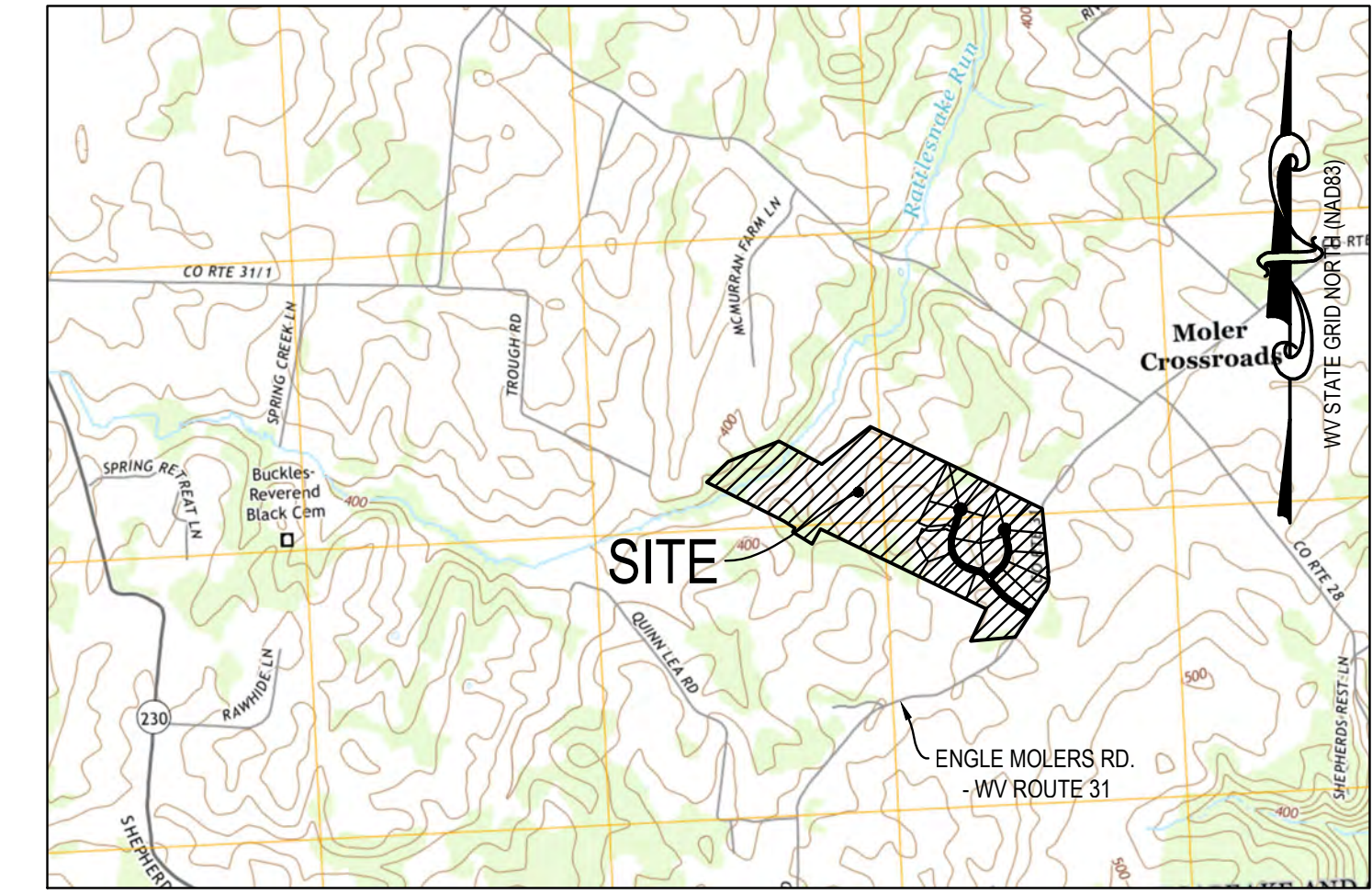
Know what's below.
Call before you dig.

JEFFERSON COUNTY - COMPLETE LIST OF WAIVERS/VARIANCES (TABLE 1.2-2)

ORDINANCE	SECTION OF ORDINANCE	DESCRIPTION OF WAIVER OR VARIANCE	DATE GRANTED
SUBDIVISION	2.3.A.3	ALLOWS FOR SINGLE 24-FT WIDTH ENTRANCE TO INTERSECTION, AND TRANSITION TO 20-FT ROADS	3/25/2025

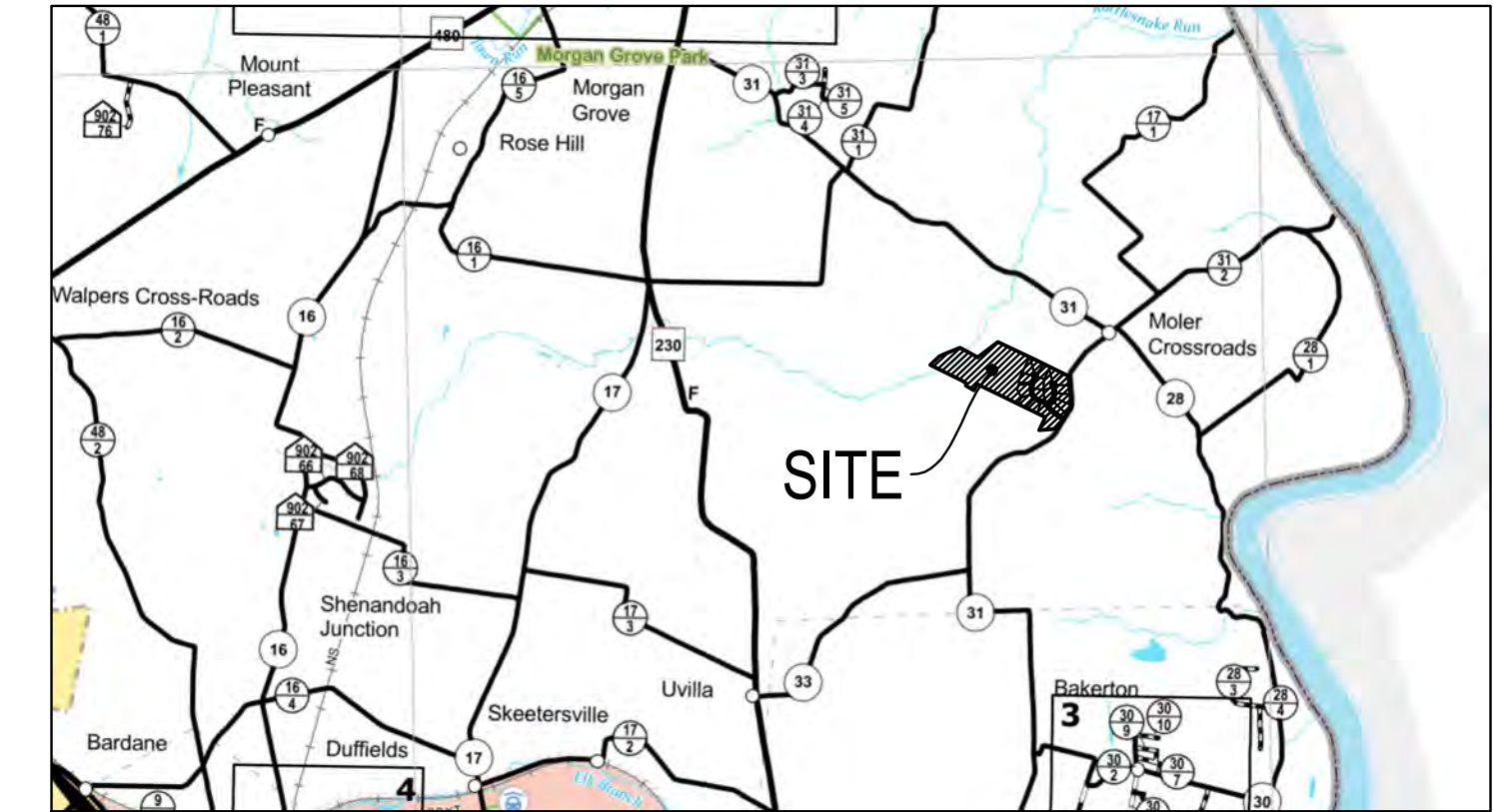
VICINITY MAP

SCALE: 1"=2,000'



WVDOH VICINITY MAP

SCALE: 1"=1 MILE



STATEMENT OF ACCEPTANCE:

THE DEVELOPER, IN SIGNING THIS PLAT, AGREES TO ABIDE BY ALL CONDITIONS, TERMS, AND SPECIFICATIONS PROVIDED HEREON; AND TO COMPLETE ALL THE IMPROVEMENTS REQUIRED BY THE PRELIMINARY PLAT OR SITE PLAN.

HARVEST HOMES LLC
67 LUTMANS LN. SUITE 100
SHENANDOAH JUNCTION, WV 25442

DATE

JEFFERSON COUNTY, WEST VIRGINIA

- PRELIMINARY PLAT APPROVAL
 SITE PLAN APPROVAL

BY: _____ COUNTY ENGINEER _____ DATE _____
BY: _____ COUNTY PLANNER _____ DATE _____

LIST OF APPROVALS:

WEST VIRGINIA DEPARTMENT OF TRANSPORTATION DIVISION OF HIGHWAYS: PERMIT #05-2025-5625 DATED: _____	JEFFERSON COUNTY GIS/ADDRESSING: APPROVED: 2025/02/03
WEST VIRGINIA DEPARTMENT OF HEALTH AND HUMAN RESOURCES STATE HEALTH PERMITS BUREAU FOR PUBLIC HEALTH: PERMIT # : SUB-19-25-043 DATE: 04/14/2025	WEST VIRGINIA DEPARTMENT OF ENVIRONMENTAL PROTECTION: WVAPDES PERMIT # : WV112915 APPROVED: 2025/04/29

REVISIONS:

NO.	SHEET NUMBER AND REVISION DESCRIPTION	DATE
1	ADDRESSING 1ST SUB JEFFERSON COUNTY COMMENTS	04/28/2025
2	ADDRESSING 2ND SUB JEFFERSON COUNTY COMMENTS	05/09/2025

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SEAL:

REVISIONS
1. 04/28/2025 - ADDRESSING 1ST SUB JEFFERSON COUNTY COMMENTS
2.
3.
4.
5.

COVER SHEET HALLMARK GLEN PRELIMINARY PLAT

TAX MAP 18, PARCEL 25; D.B. 1338, PG. 538
SHEPHERDSTOWN TAX DISTRICT
JEFFERSON COUNTY, WEST VIRGINIA

SCALE: HORIZ.:
VERT.:

DATE: FEBRUARY 2025

JOB: 5098-0101

DRAWN: JCH CHECK: JPG

CADD:

NCS:

SHEET:

GENERAL NOTES:

- THE PROPOSED SITE IMPROVEMENTS FOR 'HALLMARK GLEN' INCLUDE, BUT ARE NOT LIMITED TO, THE CONSTRUCTION OF 19 SINGLE FAMILY DETACHED LOTS AND 1 RESIDUE LOT, BASED UPON 100 DEEDED ACRES, AND DEVELOPED UTILIZING THE CLUSTER PROVISION OF THE JEFFERSON COUNTY ORDINANCE. THE PROPOSAL ALSO INCLUDES THE CONSTRUCTION OF ASSOCIATED SWM FACILITIES, SEPTIC FIELDS, POTABLE WELLS, ROADWAYS, AND ALL OTHER ASSOCIATED INFRASTRUCTURE.
- THE ROADWAY IS PROPOSED IN ACCORDANCE WITH AN APPROVED WAIVER, WHICH INCLUDES A 24-FT WIDTH SINGLE ENTRANCE ROADWAY, BEFORE CHANGING TO 20-FT ROADWAYS AT THE FIRST INTERSECTION.
- THE SUBJECT PRELIMINARY PLAT WAS PREPARED IN ACCORDANCE WITH THE "JEFFERSON COUNTY ZONING AND LAND DEVELOPMENT ORDINANCE" AS AMENDED JUNE 16, 2022; AND THE 'SUBDIVISION AND LAND DEVELOPMENT REGULATIONS' AS AMENDED JULY 11, 2024.
- THE LAND LIES WITHIN AN APPROVED RURAL CLUSTER DEVELOPMENT BASED UPON 100 DEEDED ACRES AND NO FURTHER SUBDIVISION OF THE REMAINING LAND IS PERMITTED UNLESS THE PROPERTY IS PLACED IN ANOTHER ZONE OR FURTHER SUBDIVISION IS ALLOWED BY ORDINANCE OR REGULATION.
- THE SUBDIVISION, TOGETHER WITH PAST SUBDIVISION OF THIS PROPERTY, HAS UTILIZED ALL DEVELOPMENT POTENTIAL OR LOTS TO WHICH THE 100 ACRE PARENT PARCEL IS ENTITLED UNDER THE TERMS OF THE JEFFERSON COUNTY SUBDIVISION REGULATIONS. NO ADDITIONAL LOTS WILL BE PERMITTED SUBSEQUENT TO THE APPROVAL OF THIS PLAT OF SUBDIVISION UNLESS OR UNTIL SUCH TIME AS THE PROPERTY MAY BE REZONED OR AMENDMENTS TO THE COUNTY DEVELOPMENT REGULATIONS MAY PERMIT ADDITIONAL SUBDIVISION. THIS DOES NOT APPLY TO FAMILY TRANSFER PROVISIONS AND FURTHER SUBDIVISION CAN OCCUR VIA FAMILY TRANSFERS.
- THE SUBJECT PROPERTY IS LOCATED IN THE SHEPHERDSTOWN TAX DISTRICT, IDENTIFIED AS TAX MAP 18, PARCEL 25. THE PROPERTY OWNER IS HARVEST HOMES LLC AS RECORDED IN D.B. 1338 PG. 538 AMONG THE LAND RECORDS OF JEFFERSON COUNTY, WEST VIRGINIA.
- THE TOTAL EXISTING SITE ACREAGE FOR THE SUBJECT PARCEL IS 100 ACRES PER THE RECORDED DEED, AND 99.69 ACRES PER THE 2025 FIELD SURVEY. DISTURBED AREA ±17.03 ACRES.
- THE TOPOGRAPHIC CONTOUR INTERVAL IS TWO (2) FEET. TOPOGRAPHIC INFORMATION WAS COMPILED FROM A FIELD TOPOGRAPHIC SURVEY PREPARED BY A TO Z LAND CONSULTING SERVICES, LLC; DATED JANUARY 6TH, 2025. HORIZONTAL DATUM IS REFERENCED TO THE WEST VIRGINIA COORDINATE SYSTEM OF 1983, NORTH ZONE. VERTICAL DATUM IS REFERENCED TO NAVD 88.
- PERIMETER BOUNDARY INFORMATION SHOWN HEREON IS PER A FIELD RUN SURVEY PERFORMED JANUARY 6TH, 2025 BY A TO Z LAND CONSULTING SERVICES, LLC. IT HAS BEEN ESTABLISHED BY A NETWORK OF TRAVERSE CONTROL HAVING A RELATIVE ERROR OF CLOSURE OF 1:7500 OR BETTER.
- THE SUBJECT PROPERTY IS LOCATED ON F.E.M.A. MAP 54037C0045E DATED DECEMBER 18, 2009. ZONE A 100-YEAR FLOODPLAIN EXISTS WITHIN THE SUBJECT PROPERTY; HOWEVER, ALL ZONE A FEMA FLOODPLAIN IS OUTSIDE THE LIMITS OF DISTURBANCE ASSOCIATED WITH THIS PROJECT. THE REST OF THE PROPERTY IS IN ZONE X.
- THE CURRENT NATIONAL WETLANDS INVENTORY MAP DOES NOT SHOW WETLANDS/SENSITIVE AREAS WITHIN THE LIMITS OF DISTURBANCE.
- CHANGES OR REVISIONS IN CONSTRUCTION PLANS AND SPECIFICATIONS SHALL NOT BE MADE UNLESS FIRST APPROVED BY JEFFERSON COUNTY AND/OR OTHER APPROPRIATE AGENCIES.
- SEE COVER SHEET, SHEET 01, FOR LEGEND OF SYMBOLS USED HEREIN.

CONSTRUCTION NOTES:

- CONTRACTOR SHALL CONTACT "MISS UTILITY" AT 811 OR 1-800-245-4848 A MINIMUM OF SEVENTY-TWO (72) HOURS PRIOR TO ANY EXCAVATION, DEMOLITION OR OTHER EARTH DISTURBING ACTIVITIES WITHIN PUBLIC RIGHT-OF-WAYS OR WITHIN AREAS SERVED BY UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING THE PRESENCE OF ANY UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THERE IS NO EVIDENCE OF ANY GRAVE, OBJECT OR STRUCTURE MARKING A PLACE OF BURIAL WITHIN HALLMARK GLEN. THERE ARE NO KNOWN CEMETERIES, ARCHEOLOGICAL SITES, NATURAL FEATURES, NOR HISTORIC SITES LISTED, OR DETERMINED TO BE ELIGIBLE, OR WHICH THE OWNER HAS REASON TO BELIEVE MAY BE ELIGIBLE FOR LISTING ON THE NATIONAL REGISTER OF HISTORIC PLACES WITHIN THE CONSTRUCTION LIMITS.
- INTEGRITY FEDERAL SERVICES DOES NOT CERTIFY TO THE LOCATION OF OR THE EXISTENCE OF ANY EXISTING UNDERGROUND UTILITIES. THE EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE BASED UPON AVAILABLE INFORMATION. THIS DOES NOT CONSTITUTE A GUARANTEE OF THEIR ACTUAL LOCATIONS OR THAT THEY HAVE ALL BEEN SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK AND FOR ANY DAMAGES WHICH OCCUR BY THEIR FAILURE TO LOCATE OR PRESERVE THESE UNDERGROUND UTILITIES. IF DURING CONSTRUCTION OPERATIONS THE CONTRACTOR SHOULD ENCOUNTER UTILITIES OTHER THAN THOSE SHOWN ON THE PLAN, THEY SHALL IMMEDIATELY NOTIFY THE ENGINEER AND TAKE NECESSARY AND PROPER STEPS TO PROTECT THE FACILITY AND INSURE THE CONTINUANCE OF SERVICE. IF NECESSARY, THE SITE PLAN WILL BE MODIFIED TO ELIMINATE THE CONFLICT AT THE DEVELOPER'S EXPENSE.
- INTEGRITY FEDERAL SERVICES DOES NOT CERTIFY TO THE SUB-SURFACE CONDITIONS OF THE SITE, THE LOCATION OF UNDERLYING ROCK, OR THE LOCATION OF POTENTIAL SINKHOLES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DIGGING OF TEST HOLES TO VERIFY SUB-SURFACE CONDITIONS PRIOR TO BEGINNING ANY CONSTRUCTION. IF SINKHOLES ARE FOUND IN THE FIELD, REMEDIATION WILL BE REQUIRED AS SPECIFIED BY THE WVDEP AND/OR A QUALIFIED GEOTECHNICAL ENGINEERING FIRM.
- EROSION AND SEDIMENT CONTROL DEVICES ARE TO BE IN PLACE PRIOR TO ANY CONSTRUCTION. REFER TO EROSION AND SEDIMENT CONTROL PLAN FOR PHASING AND DETAILS.
- ALL LAND, ON OR OFF SITE, WHICH IS DISTURBED BY THIS DEVELOPMENT, AND WHICH IS NOT BUILT UPON OR SURFACED, SHALL BE ADEQUATELY STABILIZED TO CONTROL EROSION AND SEDIMENTATION.
- DEVELOPMENT OF THE SITE INCLUDING CONSTRUCTION AND MATERIALS SHALL BE IN CONFORMANCE TO CURRENT JEFFERSON COUNTY, AND THE WEST VIRGINIA DEPARTMENT OF TRANSPORTATION DIVISION OF HIGHWAYS STANDARDS AND SPECIFICATIONS.
- ALL TESTS, STUDIES, ETC., REQUIRED DURING CONSTRUCTION WILL BE CARRIED OUT BY A THIRD PARTY ENGINEERING FIRM AND PAID FOR BY THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER AND THE ENGINEER OF ANY CHANGES OR CONDITIONS ATTACHED TO PERMITS REQUIRED FOR CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE ADEQUATE MEANS OF CLEANING TRUCKS AND/OR OTHER EQUIPMENT OF MUD PRIOR TO ENTERING THE RIGHT-OF-WAY, AND IT IS THE CONTRACTORS RESPONSIBILITY TO CLEAN STREETS OF MUD AND/OR ALLY DUST AND TO TAKE WHATEVER MEASURES NECESSARY TO ENSURE THAT THE STREETS ARE KEPT IN A CLEAN AND DUST FREE CONDITION AT ALL TIMES.
- THE CONTRACTOR SHALL NOTIFY OPERATORS WHO MAINTAIN EXISTING UNDERGROUND UTILITY LINES IN THE AREA OF PROPOSED EXCAVATION OR BLASTING AT LEAST TWO (2) WORKING DAYS, BUT NOT MORE THAN TEN (10) WORKING DAYS, PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION.
- THE CLIENT, CONTRACTOR, AND/OR SURVEYOR SHALL BE RESPONSIBLE FOR NOTIFYING INTEGRITY FEDERAL SERVICES OF ANY CONDITIONS FOUND IN THE FIELD THAT VARY FROM WHAT IS SHOWN ON THE APPROVED PLANS. OBSERVATIONS REGARDING APPARENT INCONSISTENCIES IN THE PLANS SHALL BE BROUGHT TO INTEGRITY FEDERAL SERVICES'S ATTENTION FOR VERIFICATION PRIOR TO STAKEOUT.
- THE CLIENT AND CONTRACTOR ARE RESPONSIBLE FOR REVIEWING THE PLANS PRIOR TO CONSTRUCTION AND NOTIFYING INTEGRITY FEDERAL SERVICES OF ANY CIRCUMSTANCES FOUND WITHIN THESE PLANS IN NEED OF VERIFICATION SO THAT APPROPRIATE REVISIONS CAN BE MADE, IF WARRANTED.
- WHEN APPLICABLE, ALL HANDICAPPED PARKING SPACES SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA - CURRENT VERSION). ALL TRAILS & SIDEWALKS SHALL COMPLY WITH ADA REQUIREMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH PERFORMANCE OF ITS WORK AND THE WORK OF ITS SUBCONTRACTORS. INTEGRITY FEDERAL SERVICES SHALL NOT HAVE CONTROL OVER, CHARGE OF, OR RESPONSIBILITY FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
- THE CONTRACTOR SHALL VISIT THE SITE AND FIELD VERIFY EXISTING CONDITIONS AND GRADES PRIOR TO STARTING CONSTRUCTION.
- THE CONTRACTOR SHALL CLEAR THE SITE OF ALL APPLICABLE VEGETATION, BUILDINGS, FOUNDATIONS, ETC. WITHIN THE LIMITS OF CONSTRUCTION AND SHALL BE RESPONSIBLE FOR COORDINATING ANY DISCONNECTION AND/OR ABANDONMENT OF EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND ABANDONING ALL EXISTING WELLS AND/OR SEPTIC DRAIN FIELDS AND COORDINATING THEIR ABANDONMENT WITH THE HEALTH DEPARTMENT
- ALL PROPOSED GRADES AS SHOWN HEREIN ARE FINISHED GRADE UNLESS OTHERWISE NOTED ON THE PLAN.
- MAINTAIN A MINIMUM VERTICAL CLEARANCE OF ONE (1) FOOT SIX (6) INCHES BETWEEN CROSSINGS OF ALL UTILITY LINES UNLESS OTHERWISE NOTED.
- THE APPROVAL OF THESE PLANS SHALL IN NO WAY GRANT PERMISSION BY THE APPROVING JURISDICTION FOR THE CONTRACTOR TO TRESPASS ON OFF-SITE PROPERTIES. THE APPROVAL OF THESE PLANS SHALL IN NO WAY RELIEVE THE OWNER OF COMPLYING WITH OTHER APPLICABLE LOCAL, STATE AND FEDERAL REQUIREMENTS.
- WHERE THE ORDINANCES DIFFER BETWEEN LOCAL, STATE, AND FEDERAL REQUIREMENTS, THE MOST RESTRICTIVE SHALL APPLY.
- THE PLANS HAVE NOT BEEN PREPARED IN ACCORDANCE WITH A GEOTECHNICAL REPORT.
- CONTRACTOR TO REFERENCE GEOTECHNICAL REPORT OR A PROFESSIONAL ENGINEER OR CERTIFIED TECHNICIAN FOR SUITABLE BACKFILL MATERIAL REQUIREMENTS AND COMPACTION REQUIREMENTS. CBR TESTS SHALL BE PERFORMED PRIOR TO DETERMINATION OF FINAL SUBGRADE ELEVATION FOR PAVEMENT AREAS. SOILS TESTS OF SUBGRADE MUST BE SUBMITTED FOR ACTUAL DETERMINATION OF REQUIRED PAVEMENT SECTION THICKNESS PRIOR TO CONSTRUCTION. ALL SUBGRADE SHALL BE COMPACTED TO THE PERCENTAGES OF MAXIMUM DRY DENSITY (AASHTO T99C) UNLESS OTHERWISE DIRECTED BY AN APPROVED GEOTECHNICAL REPORT. (SEE JEFFERSON COUNTY CONSTRUCTION NOTE 2, SHEET 01.)
- BUILDING FOOTPRINTS AS SHOWN ARE APPROXIMATE IN BUILDING SIZE AND DO NOT REPRESENT FINAL ARCHITECTURALS.
- CHANGES IN THE TOP & BOTTOM OF SLOPES SHALL BE A MINIMUM OF FIVE FEET (5) FROM PROPERTY OR RIGHT-OF-WAY LINE.
- ALL GRADING SHALL PROVIDE PROPER DRAINAGE & DISPOSAL OF STORM WATER WITHOUT PONDING.
- ALL FILL SHALL BE COMPACTED TO PREVENT EROSION.
- GRADING SHALL NOT BE DONE IN SUCH A WAY TO DIVERT WATER ONTO THE PROPERTY OF ANOTHER LAND OWNER.
- LOTS SHALL BE GRADED TO SECURE PROPER DRAINAGE AWAY FROM BUILDINGS AND TO PREVENT POOLING OR COLLECTION OF STORM WATER.
- EXCAVATION OR FILL SHALL NOT ENDANGER AN ADJOINING PROPERTY.
- ALL CLEARING, GRADING, DRAINAGE, CONSTRUCTION, AND DEVELOPMENT SHALL BE CONDUCTED IN STRICT ACCORDANCE WITH THE APPROVED PLAN.
- FIELD VERIFY EXISTING GRADES PRIOR TO CONSTRUCTION.
- CONTRACTOR TO ENSURE POSITIVE DRAINAGE THROUGHOUT CONSTRUCTION.
- ALL APPLICABLE STATE & FEDERAL PERMITS SHALL BE OBTAINED PRIOR TO DISTURBANCES WITHIN JURISDICTIONAL WATERS AND WETLANDS.

FINAL PLAT NOTES: THE FOLLOWING NOTES WILL BE REQUIRED ON THE FINAL PLAT IN ACCORDANCE WITH THE JC SUBDIVISION ORDINANCE.

- VERIFICATION FROM A WELL DRILLER THAT A PRESSURE GROUTED WELL IS DRILLED AND IS PRODUCING WATER AT A QUANTITY APPROVED BY THE JEFFERSON COUNTY HEALTH DEPARTMENT AND/OR THE WEST VIRGINIA BUREAU OF HEALTH SHALL BE SUBMITTED TO THE PLANNING COMMISSION PRIOR TO THE ISSUANCE OF AN IMPROVEMENT LOCATION PERMIT. CERTIFICATION THAT THE WATER IS POTABLE MUST BE SUBMITTED TO THE PLANNING COMMISSION OFFICE WITHIN 6 MONTHS OF THE ISSUANCE OF AN IMPROVEMENT LOCATION PERMIT.
- THE PUBLIC SERVICE DISTRICT MAY REQUIRE IN THE FUTURE EACH PROPERTY OWNER TO ABANDON EXISTING WELL AND SEPTIC SYSTEMS AND TO CONNECT TO A CENTRALIZED SYSTEM WHEN AND IF IT BECOMES AVAILABLE
- THE SELLER OF ANY LOT WITHIN THIS SUBDIVISION SHALL PROVIDE THE BUYER WITH A REASONABLE OPPORTUNITY, BEFORE SETTLEMENT, TO DETERMINE THAT THE LOT IS SUITABLE FOR THE CONSTRUCTION OF A SEPTIC DISPOSAL SYSTEM. IF, BEFORE SETTLEMENT, THE BUYER IS DENIED A SEPTIC SYSTEM CONSTRUCTION PERMIT BY THE JEFFERSON COUNTY HEALTH DEPARTMENT, THE BUYER MAY REFUSE TO PURCHASE THE LOT WITHOUT PENALTY
- A BLANKET EASEMENT IS GRANTED TO THE APPROPRIATE PUBLIC SERVICE DISTRICT IN ALL ROAD RIGHT-OF-WAYS FOR CONSTRUCTION AND MAINTENANCE OF WATER AND SANITARY SEWER LINES

SUBDIVISION ORDINANCE SUMMARY:

- PROPERTY CORNERS ARE TO BE SET WITH 5/8" x 3/4" REBAR WITH I.D. CAPS UNLESS OTHERWISE NOTED.
- SITE GRADING: FILL SLOPES SHALL NOT EXCEED (3:1) 3' HORIZONTAL TO 1' VERTICAL. FILL SECTIONS NEED NOT HAVE DITCHES UNLESS THE FILL SLOPE EXCEEDS SIX FEET IN HEIGHT. CUT SLOPES SHALL NOT EXCEED (2:1) 2' VERTICAL TO 1' HORIZONTAL.
- ALL UTILITY TRANSMISSION LINES (E.G. ELECTRIC, PHONE, CABLE, WATER, SEWER, ETC.) AND SERVICE LINES WITHIN THE SUBDIVISION OR SITE DEVELOPMENT AREA SHALL BE UNDERGROUND.
- MINIMUM COVER OVER CULVERTS IS 1' UNLESS OTHERWISE SHOWN.
- AT THIS TIME NO OFF-SITE BORROW PITS ARE ANTICIPATED FOR THIS PROJECT.
- CONTACT JEFFERSON COUNTY E911 COORDINATOR FOR INSTALLATION OF STREET SIGNS. ALL SIGNS SHALL COMPLY WITH COUNTY ADDRESSING REQUIREMENTS.
- A BUILDING PERMIT SHALL BE OBTAINED FOR SIGNAGE AND SHALL BE IN CONFORMANCE WITH ALL EXISTING ORDINANCES IN JEFFERSON COUNTY AND/OR STATE AND FEDERAL LAW.
- THERE ARE NO EXISTING EASEMENTS, AND NO RIGHTS-OF-WAY WITHIN THIS SITE PLAN AREA (WITH THE EXCEPTION OF ENGLE MOLERS ROAD) PER D.B. 1338, PG. 538, SEE EXISTING CONDITIONS SHEETS.
- THERE ARE PROPOSED EASEMENTS AND RIGHTS-OF-WAY PROPOSED WITH THIS SITE PLAN, SEE PRELIMINARY PLAT SHEETS.
- THERE ARE NO FUTURE EASEMENTS AND/OR RIGHTS-OF-WAY PROPOSED AT THIS TIME.
- PROPOSED DEVELOPMENT IS NOT WITHIN 500' OF A STREAM. NO GRADING, EXCAVATING, REMOVAL OR DESTRUCTION OF TOPSOIL, TREES OR OTHER VEGETATIVE COVER, OR CONSTRUCTION ACTIVITY SHALL RESULT IN POINT OR NON-POINT LOADING OF SUSPENDED MATTER SUCH THAT TURBIDITY STANDARDS SPELLED OUT IN THE WATER RESOURCES BOARD LEGISLATIVE RULES ARE VIOLATED. SAID STANDARDS STATE THAT TURBIDITY SHALL NOT EXCEED 10 NTUS OVER BACKGROUND TURBIDITY WHEN THE BACKGROUND IS 50 NTUS OR LESS, OR HAVE MORE THAN A 10 PERCENT INCREASE IN TURBIDITY (PLUS 10 NTU MINIMUM) WHEN THE BACKGROUND TURBIDITY IS MORE THAN 50 NTUS
- THERE ARE NO KNOWN CABLE, SEWER OR WATER UTILITIES EXISTING ON SITE OTHER THAN THOSE IDENTIFIED ON EXISTING CONDITIONS AND SITE PLAN.
- EXISTING TREES ARE TO REMAIN IN THEIR NATURAL CONDITION THROUGHOUT THE PROJECT WHEREVER PRACTICAL.
- ANY FENCING WITHIN THE BRL OR OTHER BUFFERS CANNOT EXCEED 6' IN HEIGHT.
- A HOMEOWNERS ASSOCIATION MUST BE ESTABLISHED WITHOUT DELAY AS SOON AS 50% OF PROPERTIES ARE SOLD. MEMBERSHIP IN THE ASSOCIATION IS MANDATORY FOR ALL PROPERTY OWNERS WITHIN THE SUBDIVISION. THE DEVELOPERS SHALL DEDICATE ALL COMMON LANDS (SWIM BASIN, ROADS, RIGHT-OF-WAYS, ETC.) TO THE ASSOCIATION
- A COMMON INTEREST OWNERSHIP AGREEMENT MUST BE ESTABLISHED TO PROVIDE FOR THE MAINTENANCE OF COMMONLY OWNED LAND, INCLUDING BUT NOT LIMITED TO THE PRIVATE ROAD SYSTEM WITHIN THE SUBDIVISION AND SWM AREAS. THIS COMMON INTEREST OWNERSHIP AGREEMENT MUST BE DEVELOPED IN ACCORDANCE WITH THE UNIFORM COMMON INTEREST OWNERSHIP ACT OF WEST VIRGINIA.
- THERE ARE NO KNOWN OFF-SITE MAN-MADE STRUCTURES LOCATED WITHIN 200' DOWNSTREAM OF ANY DRAINAGE PIPE OR STORMWATER MANAGEMENT FACILITY OUTFALL. THEREFORE, NO OFF-SITE STRUCTURES AND ASSOCIATED TOPOGRAPHY HAS BEEN SHOWN.
- ALL RESIDENTIAL AND NON-RESIDENTIAL BUILDING LOTS SHALL HAVE A STABILIZED CONSTRUCTION ENTRANCE INSTALLED PRIOR TO BEGINNING CONSTRUCTION ON THE LOT.
- RETAINING WALLS FOUR (4) FEET OR GREATER IN HEIGHT REQUIRE A BUILDING PERMIT UNDER THE JEFFERSON COUNTY BUILDING CODE ENFORCEMENT ORDINANCE THAT MUST BE OBTAINED BY THE OWNER/DEVELOPER. THESE WALLS MUST BE DESIGNED AND CERTIFIED BY A LICENSED WEST VIRGINIA ENGINEER.
- NO PERMANENT STRUCTURES SHALL BE PERMITTED WITHIN EXISTING OR PROPOSED EASEMENTS WITHOUT PRIOR APPROVAL FROM THE JEFFERSON COUNTY PLANNING COMMISSION.
- LIST OF TENTATIVE RESTRICTIVE COVENANTS HAS BEEN ATTACHED TO PRELIMINARY PLAT.

STANDARD W.V.D.O.H. NOTES:

- ALL UTILITIES, INCLUDING ALL POLES, ARE TO BE RELOCATED AS NECESSARY AT EITHER THE DEVELOPER OR UTILITY OWNER'S EXPENSE PRIOR TO CONSTRUCTION.
- THE DEVELOPER IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING ROADS AND UTILITIES WHICH OCCUR AS A RESULT OF PROJECT CONSTRUCTION WITHIN OR CONTIGUOUS TO EXISTING RIGHT-OF-WAY.
- OPEN CUTTING OF PAVED OR SURFACE TREATED STATE ROADS IS NOT PERMITTED UNLESS APPROVED BY THE WEST VIRGINIA DEPARTMENT OF TRANSPORTATION.
- THE DEVELOPER IS RESPONSIBLE FOR ALL TRAFFIC CONTROL.
- IF APPLICABLE, A SMOOTH GRADE SHALL BE MAINTAINED FROM THE CENTERLINE OF THE EXISTING ROAD TO THE PROPOSED EDGE OF PAVEMENT TO PRECLUDE THE FORMING OF FALSE GUTTERS AND/OR THE PONDING OF ANY WATER IN THE ROADWAY.
- OVERLAY OF EXISTING PAVEMENT SHALL BE A MINIMUM OF 1.5". ANY COSTS ASSOCIATED WITH PAVEMENT OVERLAY, OR THE MILLING OF EXISTING PAVEMENT TO OBTAIN REQUIRED DEPTH, SHALL BE THE RESPONSIBILITY OF THE DEVELOPER.
- STORMWATER DITCHES SHALL BE SEEDED AND MULCHED TO ACHIEVE STABILIZATION. ADDITIONAL DITCH LININGS SHALL BE PROVIDED IF WARRANTED TO ACHIEVE STABILIZATION.
- ALL TRAFFIC CONTROL SIGNS AND THE MAINTENANCE OF TRAFFIC SHALL COMPLY WITH THE STANDARDS OF THE WEST VIRGINIA DEPARTMENT OF TRANSPORTATION.
- IF APPLICABLE, ALL GUARDRAILS SHALL BE IN ACCORDANCE WITH WVDOH STANDARD DETAILS BOOK VOLUME 1. THE GUARDRAIL POST SHALL BE PRESSURE-TREATED.
- CONTRACTOR SHALL CONTACT WVDOH AT LEAST 48 HOURS PRIOR TO COMMENCING ANY WORK WITHIN WVDOH RIGHT-OF-WAY.

GOV'T. AGENCIES/UTILITIES:

- TRANSPORTATION WEST VIRGINIA DIVISION OF HIGHWAYS, DISTRICT FIVE 2120 NORTHWESTERN TURNPIKE BURLINGTON, WV 26710 (304) 289-3521
 - JEFFERSON COUNTY ENGINEERING 116 E. WASHINGTON STREET CHARLES TOWN, WV 25414 (304) 728-3257
 - JEFFERSON COUNTY PLANNING 116 E. WASHINGTON STREET CHARLES TOWN, WV 25414 (304) 728-3228
 - WATER WEST VIRGINIA AMERICAN WATER 150 EAST BURR BOULEVARD KEARNEYSVILLE, WV 25430 (681) 240-4192
 - SEWER CHARLES TOWN UTILITY BOARD 661 S. GEORGE STREET, SUITE 101 CHARLES TOWN, WV 25414 (304) 725-2316
 - ELECTRIC THE POTOMAC EDISON COMPANY 18444 NORTHWESTERN TURNPIKE AUGUSTA, WV 26704 (800) 686-0011
 - TELECOMMUNICATIONS FRONTIER COMMUNICATIONS 1108 N. MILDRED STREET RANSON, WV 25438 (304) 728-8500
 - GAS MOUNTAINEER GAS 67 AERO STREET MARTINSBURG, WV 25401 (800) 834-2070
 - OTHER MISS UTILITY 5608 MACCORKLE AVE, SW SOUTH CHARLESTON, WV 25309 (800) 245-4848 OR 811
- NOTES: THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES PRIOR TO CONSTRUCTION.

ZONING ORDINANCE SUMMARY:

ZONING REQUIREMENTS:

CURRENT ZONE: RURAL (R)
 PROPOSED USE: SINGLE-FAMILY DETACHED DWELLINGS (19 LOTS + RESIDUE)
 DENSITY: 19 LOTS / 100 ACRES = +/- 0.19 LOTS/ACRES

USE REQUIREMENTS	REQUIRED	PROVIDED
AREA PER DWELLING UNIT:	N/A	N/A
LOT AREA:		
SFD (NO PUBLIC WATER/SEWER)	40,000 S.F. (MIN)	40,000 S.F. (MIN)

Proposed Setbacks		
Front	Side	Rear
25-ft	12-ft	20-ft

LAND AREAS	AREA (AC)
RESIDENTIAL LOT AREA	40.90
PROPOSED INTERNAL ROAD RIGHT-OF-WAY	2.96
EXISTING ROAD RIGHT-OF-WAY	0.92
RESIDUE PARCEL	55.22
TOTAL	100.00

GREENSPACE REQUIREMENTS		
	% of Site	Land Area (AC)
Required	50%	100 x 0.50 = 50
Provided	50%	50 +/-

INTEGRITY FEDERAL SERVICES

CIVIL ENGINEERING • LANDSCAPE ARCHITECTURE • CONSTRUCTION MANAGEMENT

148 S. Queen Street, Suite 301 • Phone: 304-725-8450
 Martinsburg, WV 25401 • www.ifc-ae.com

SEAL:

NO.	REVISIONS

T. 04/28/2025 - ADDRESSING 1ST SUB JEFFERSON COUNTY COMMENTS

GENERAL NOTES

HALLMARK GLEN PRELIMINARY PLAT

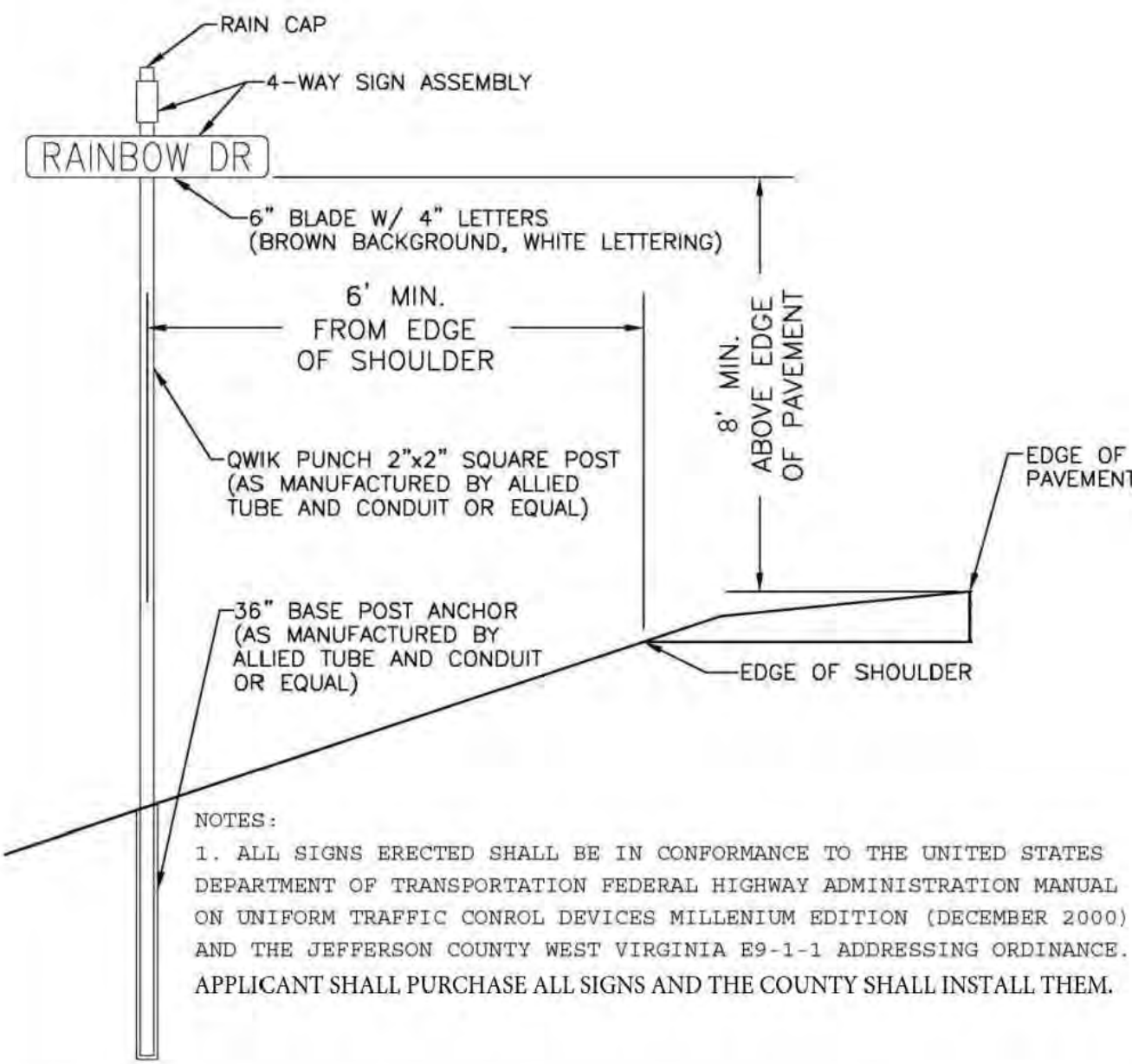
TAX MAP 18, PARCEL 25; D.B. 1338, PG. 538
 SHEPHERDSTOWN TAX DISTRICT
 JEFFERSON COUNTY, WEST VIRGINIA

SCALE:	HORIZ: VERT.:
DATE:	FEBRUARY 2025
JOB:	5098-0101
DRAWN:	JCH CHECK: JPG
CADD:	C-GI-002.DWG
NCS:	
SHEET:	

PLAT NO. 1338, PG. 538, AND MAP NO. 18, PARCEL 25, D.B. 1338, PG. 538, SHEPHERDSTOWN TAX DISTRICT, JEFFERSON COUNTY, WEST VIRGINIA. THE INFORMATION CONTAINED HEREIN IS UNOFFICIAL AND FOR INFORMATIONAL PURPOSES ONLY. IT IS NOT GUARANTEED AND DOES NOT CONSTITUTE A WARRANTY OF ANY KIND. THE USER ASSUMES ALL LIABILITY FOR ANY AND ALL DAMAGES, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING FROM THE USE OF THIS INFORMATION.

STREET SIGN DETAILS:

NOT TO SCALE



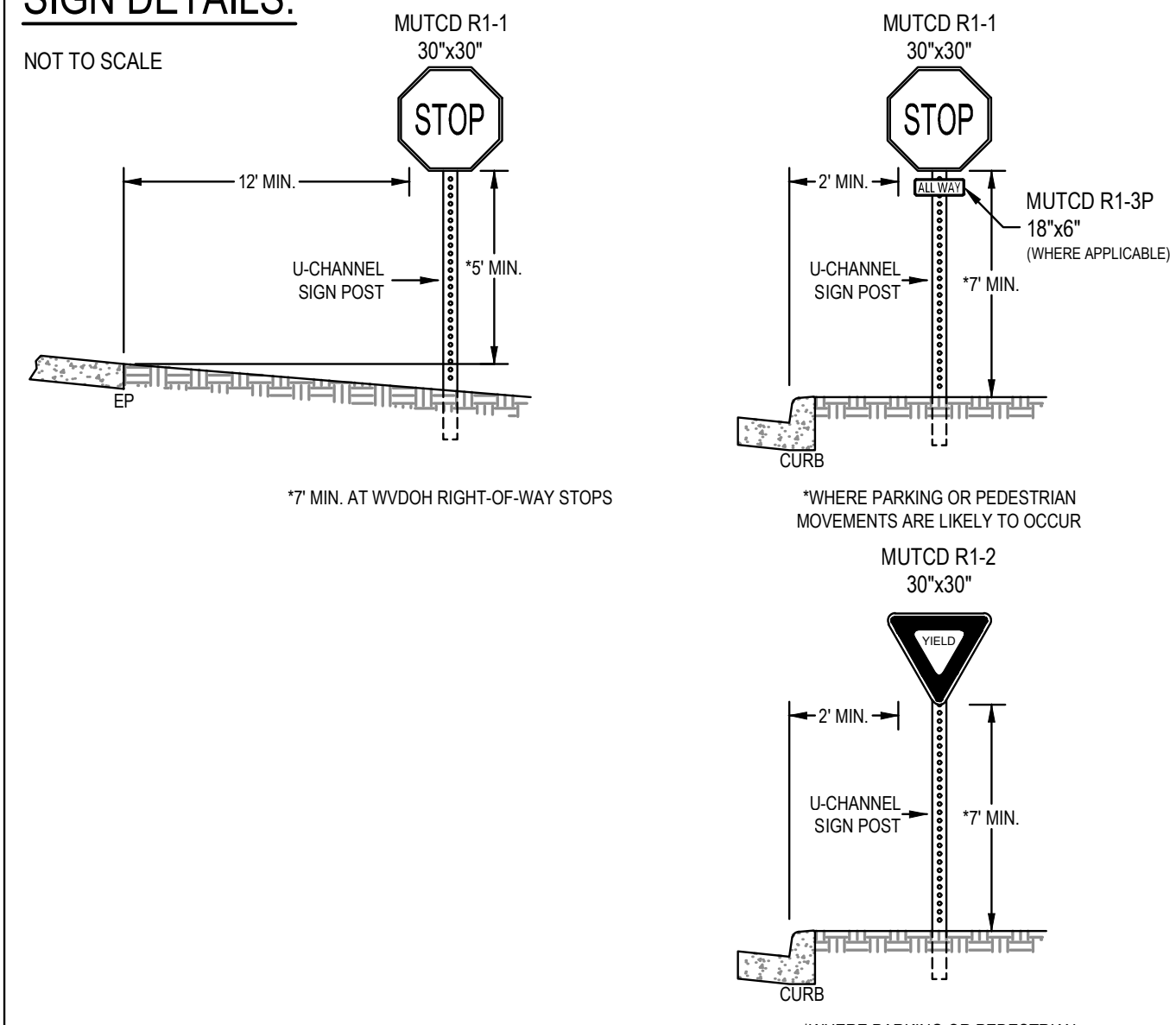
- NOTES:
1. ALL SIGNS ERECTED SHALL BE IN CONFORMANCE TO THE UNITED STATES DEPARTMENT OF TRANSPORTATION FEDERAL HIGHWAY ADMINISTRATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES MILLENNIUM EDITION (DECEMBER 2000) AND THE JEFFERSON COUNTY WEST VIRGINIA E9-1-1 ADDRESSING ORDINANCE. APPLICANT SHALL PURCHASE ALL SIGNS AND THE COUNTY SHALL INSTALL THEM.

STREET SIGN DETAILS

NOT TO SCALE

SIGN DETAILS:

NOT TO SCALE



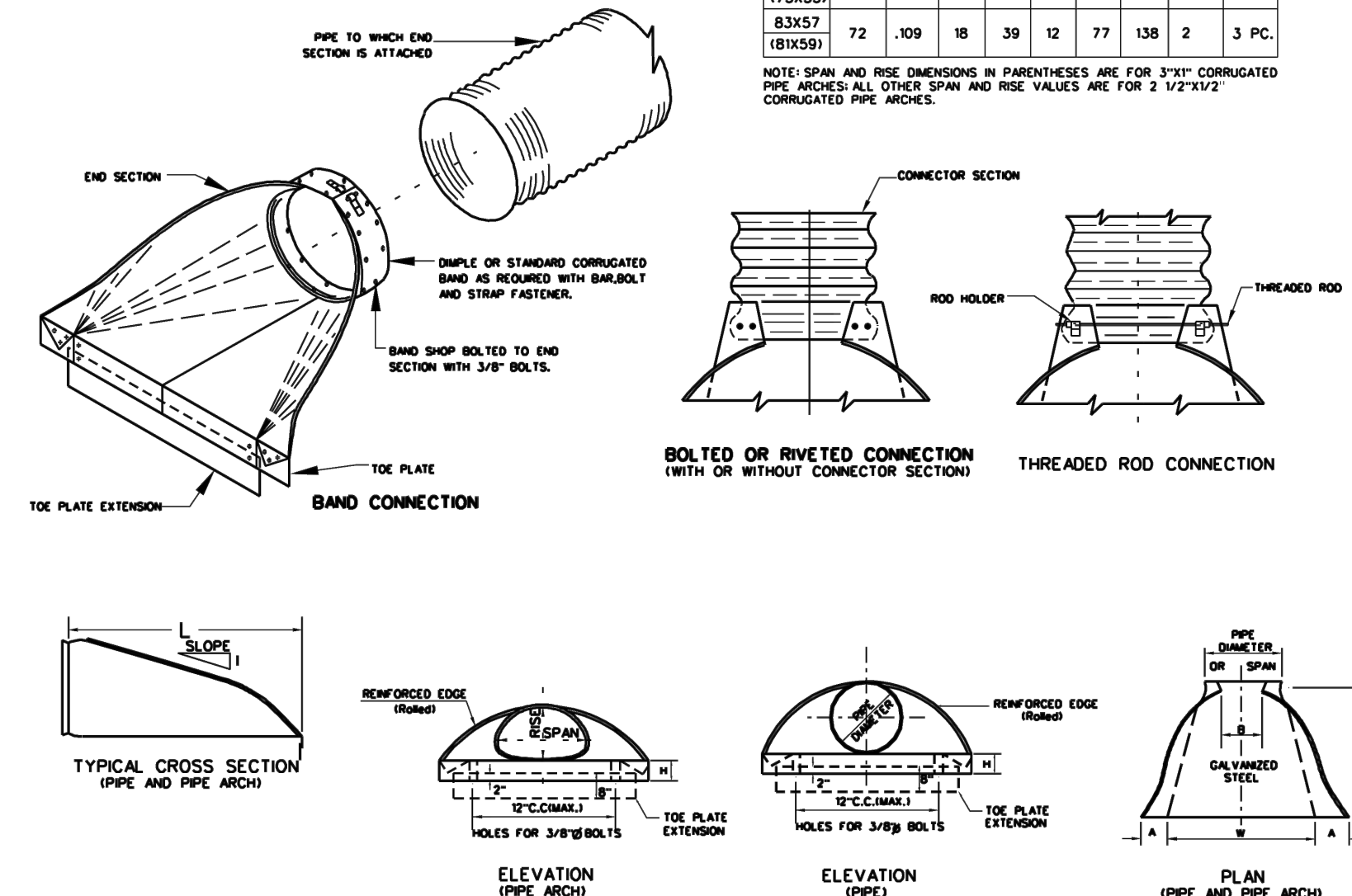
- NOTES:
1. FOR MORE EXTENSIVE STANDARDS REFER TO THE CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS 2009 EDITION (WITH UPDATES) AND THE STANDARDS OF THE WEST VIRGINIA DEPARTMENT OF TRANSPORTATION.
 2. U-CHANNEL SIGN POST SHALL BE PER WVDOT STANDARD DETAIL SHEET TE1-7A.
 3. ALL STOP BARS SHALL BE TYPE V, WHITE, 12" WIDTH, SOLID STOP LINES (PER WVDOT SPECIFICATIONS).

TABLE: DIMENSIONS OF GALVANIZED STEEL END SECTION FOR ROUND PIPE

PIPE SPAN (INCHES)	METAL THICKNESS (INCHES)	A (INCHES)	B (INCHES)	H (INCHES)	L (INCHES)	W (INCHES)	SLOPE	APPROX. BODY
12	.064	6	8	6	21	24	2 1/2	1 PC.
15	.064	7	8	6	26	30	2 1/2	1 PC.
18	.064	8	10	6	31	36	2 1/2	1 PC.
21	.064	9	12	6	36	42	2 1/2	1 PC.
24	.064	10	13	6	41	48	2 1/2	1 PC.
30	.079	12	18	8	51	60	2 1/2	1 PC.
36	.079	14	19	9	60	72	2 1/2	2 PC.
42	.09	16	22	11	69	84	2 1/2	2 PC.
48	.09	18	27	12	78	90	2 1/2	2 PC.
54	.09	18	30	12	84	102	2	2 PC.
60	.09	18	33	12	87	114	3	3 PC.
66	.09	18	36	12	87	120	3	3 PC.
72	.09	18	39	12	87	126	3	3 PC.
78	.09	18	42	12	87	132	3	3 PC.
84	.09	18	45	12	87	138	3	3 PC.

TABLE: DIMENSIONS OF GALVANIZED STEEL END SECTION FOR PIPE ARCH

PIPE SPAN (INCHES)	METAL THICKNESS (INCHES)	A (INCHES)	B (INCHES)	H (INCHES)	L (INCHES)	W (INCHES)	SLOPE	APPROX. BODY
12	.064	6	8	6	21	24	2 1/2	1 PC.
15	.064	7	8	6	26	30	2 1/2	1 PC.
18	.064	8	10	6	31	36	2 1/2	1 PC.
21	.064	9	12	6	36	42	2 1/2	1 PC.
24	.064	10	13	6	41	48	2 1/2	1 PC.
30	.079	12	18	8	51	60	2 1/2	1 PC.
36	.079	14	19	9	60	72	2 1/2	2 PC.
42	.09	16	22	11	69	84	2 1/2	2 PC.
48	.09	18	27	12	78	90	2 1/2	2 PC.
54	.09	18	30	12	84	102	2	2 PC.
60	.09	18	33	12	87	114	3	3 PC.
66	.09	18	36	12	87	120	3	3 PC.
72	.09	18	39	12	87	126	3	3 PC.
78	.09	18	42	12	87	132	3	3 PC.
84	.09	18	45	12	87	138	3	3 PC.



NOTES

- TYPICAL END SECTIONS FOR PIPES AND PIPE ARCHES ARE DETAILED HEREIN. OTHER SIMILAR DESIGNS MAY BE USED IF ACCEPTABLE TO THE ENGINEER.
- GALVANIZED STEEL END SECTIONS SHALL BE USED ON THE ENDS OF CORRUGATED STEEL PIPES AND/OR PIPE ARCHES AT THOSE LOCATIONS SPECIFIED ON THE PLANS. END SECTIONS SHALL BE MEASURED AS THE NUMBER OF UNITS INSTALLED OF EACH SIZE AND TYPE AND SHALL BE PAID FOR IN ACCORDANCE WITH 604 OF THE SPECIFICATIONS.
- TWO-PIECE AND THREE-PIECE END SECTIONS SHALL BE OF LAP SEAM CONSTRUCTION, TIGHTLY JOINED WITH 3/8" DIAMETER GALVANIZED RIVETS OR BOLTS.
- FOR 60" THRU 84" PIPES, THE REINFORCED EDGES OF THE END SECTIONS SHALL BE SUPPLEMENTED WITH GALVANIZED STIFFENER ANGLES FASTENED BY 3/8" DIAMETER GALVANIZED BOLTS AND NUTS. THIS REQUIREMENT SHALL ALSO BE APPLICABLE TO THE END SECTIONS FOR 77"x52", 73"x 55", 83"x 57", AND 81"x 59" PIPE ARCH SIZES. IN ADDITION, FOR THOSE PIPE ARCH SIZES, ANGLE REINFORCEMENT SHALL BE USED UNDER THE CENTER PANEL SEAMS.
- THE END SECTION CONNECTION DETAILS SHALL BE AS SHOWN ON THIS PLAN SHEET OR OF A SIMILAR DESIGN AS RECOMMENDED BY THE MANUFACTURER. ALL SIMILAR DESIGNS SHALL PROVIDE A SECURE ATTACHMENT OF THE END SECTION TO THE PIPE OR PIPE ARCH.
- ALTHOUGH A PIPE OR PIPE ARCH MAY HAVE A BITUMINOUS COATING AND/OR PAVED INVERT, IT WILL NOT BE NECESSARY TO BITUMINOUS COAT OR PAVE THE END SECTION, CONNECTORS, OR CONNECTOR SECTION.
- TOE PLATE EXTENSIONS SHALL BE THE SAME THICKNESS AS THE END SECTIONS AND SHALL BE FASTENED TO TOE PLATES WITH 3/8" DIAMETER GALVANIZED BOLTS. LENGTH OF TOE PLATE EXTENSION SHALL BE W+10" (ODD IN.) FOR 12" THRU 30" DIAMETER PIPES AND FOR PIPE ARCHES WITH RISE VALUES UP TO AND INCLUDING 29". THE LENGTH SHALL BE W+22" (ODD IN.) FOR LARGER PIPE SIZES AND W+18" (ODD IN.) FOR LARGER PIPE ARCHES.

WEST VIRGINIA DEPARTMENT OF TRANSPORTATION
DIVISION OF HIGHWAYS
STANDARD DETAIL

PREPARED 11-1-99
REVISION DATE

END SECTIONS FOR CORRUGATED STEEL PIPES AND PIPE ARCHES
STANDARD SHEET DR3

SELECT ROAD PAVEMENT SECTIONS FROM DETAIL A-05B AS FOLLOWS:

1. Check Soils Survey to determine soils series or soil to be used in the subgrade.
2. Determine the Subgrade Support Class of the soils series from the table below.
3. Select the appropriate road section based on the proposed use of the pavement and the Subgrade Support Class.

SUBGRADE SUPPORT CLASS	SOILS SERIES
A (good - excellent)	Berke and rock land and Weikert when shale content is high (40% or greater retained on the No. 4 screen).
B (medium)	Ashton, Berke, Blairton, Braddock, Dekalb, Edgewood, Huntington, Laidig, Landee, Lindside, Melvin, Monogahela, and Weikert, and Franketown when shale content is medium to high.
C (poor)	Benevola, Chilhowie, Clifton, Duffield, Franketown, Fodwick, Hagerstown, Opacon

USE	ROAD SECTION
Residential driveways and small parking lots with 50 stalls or less and no trucks	A-1, B-1, C-1
Subdivision roads and large parking lots	A-2, B-2, C-2
State road widening, industrial parking lots, and truck driveways	A-3, B-3, C-3

APPROVED: Jan 25, 1995
COUNTY ENGINEER

REVISIONS: DETAIL NO. R-05A

NOTE: These sections are based on a guide compiled by the Flexible Pavement Council.

LEGEND

- Bit. Conc. Surface Course
- Bit. Conc. Base
- Stone Base
- Stone subbase

See WDOT Standard Specifications, Tables 703.4 and 704.5.2 for sizes and classes of stone.

APPROVED: Jan 25, 1995
COUNTY ENGINEER

REVISIONS: DETAIL NO. R-05B

MINIMUM COVER TO RIGID PAVEMENT, H

UNDISTURBED EARTH

MIN. COVER TO FLEXIBLE PAVEMENT, H

FINAL BACKFILL

INITIAL BACKFILL

BEDDING

SUITABLE FOUNDATION

4" FOR PIPE UP TO 24"
6" FOR PIPE 30" AND 60"

NOTES:

1. ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST ADDITION
2. MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.
3. FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER. AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
4. BEDDING: SUITABLE MATERIAL SHALL BE CLASS II, III OR IIII. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. UNLESS OTHERWISE NOTED BY THE ENGINEER, MINIMUM BEDDING THICKNESS SHALL BE 4" (100mm) FOR 4"-24" (100mm-600mm), 6" (150mm) FOR 30"-60" (750mm-1500mm).
5. INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS II, III OR IIII IN THE PIPE ZONE EXTENDING TO THE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
6. MINIMUM COVER: MINIMUM COVER, H, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOTATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER, H, IS 12" UP TO 16" DIAMETER PIPE AND 24" OF COVER FOR 60" DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.

PIPE DIAM.	SURFACE LIVE LOADING CONDITION	
	H-25 (305mm)	HEAVY CONSTRUCTION (75T AXLE LOAD) *
12" - 48" (300mm - 1200mm)	12" (305mm)	48" (1219mm)
60" (1500mm)	24" (610mm)	1524mm

* VEHICLES IN EXCESS OF 75T MAY REQUIRE ADDITIONAL COVER

RECOMMENDED MINIMUM SPACING

PIPE DIAM.	MIN. "X"	MIN. "S" +
12" (300mm)	8" (203mm)	12" (305mm)
15" (375mm)	9" (229mm)	12" (305mm)
18" (450mm)	10" (254mm)	12" (305mm)
24" (600mm)	15" (381mm)	15" (381mm)
30" (750mm)	18" (457mm)	18" (457mm)
36" (900mm)	18" (457mm)	18" (457mm)
42" (1050mm)	18" (457mm)	21" (533mm)
48" (1200mm)	18" (457mm)	24" (610mm)
60" (1500mm)	18" (457mm)	30" (762mm)

MINIMUM SPACING ("S") MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER

PARALLEL PIPE INSTALLATION DETAIL
DRAWING NUMBER: STD-103

APPROVED: Jan 25, 1995
COUNTY ENGINEER

REVISIONS: DETAIL NO. R-05B

DUAL 15" HDPE PIPES DETAIL:

NOT TO SCALE

INTEGRITY FEDERAL SERVICES

CIVIL ENGINEERING • LANDSCAPE ARCHITECTURE • CONSTRUCTION MANAGEMENT

148 S. Queen Street, Suite 201 • Phone: 304-755-8466
Martinsburg, WV 25101 • www.ifs-ae.com

WEST VIRGINIA REGISTERED PROFESSIONAL ENGINEER

16, 1917 STATE OF WEST VIRGINIA

SEAL

REVISIONS

NO.	DATE	DESCRIPTION

T. 04/28/2025 - ADDRESSING 1ST SUB JEFFERSON COUNTY COMMENTS

GENERAL DETAILS

HALLMARK GLEN PRELIMINARY PLAT

TAX MAP 18, PARCEL 25, D.B. 1338, PG. 538
SHEPHERDSTOWN TAX DISTRICT
JEFFERSON COUNTY, WEST VIRGINIA

SCALE: HORIZ: VERT:

DATE: FEBRUARY 2025

JOB: 5098-0101

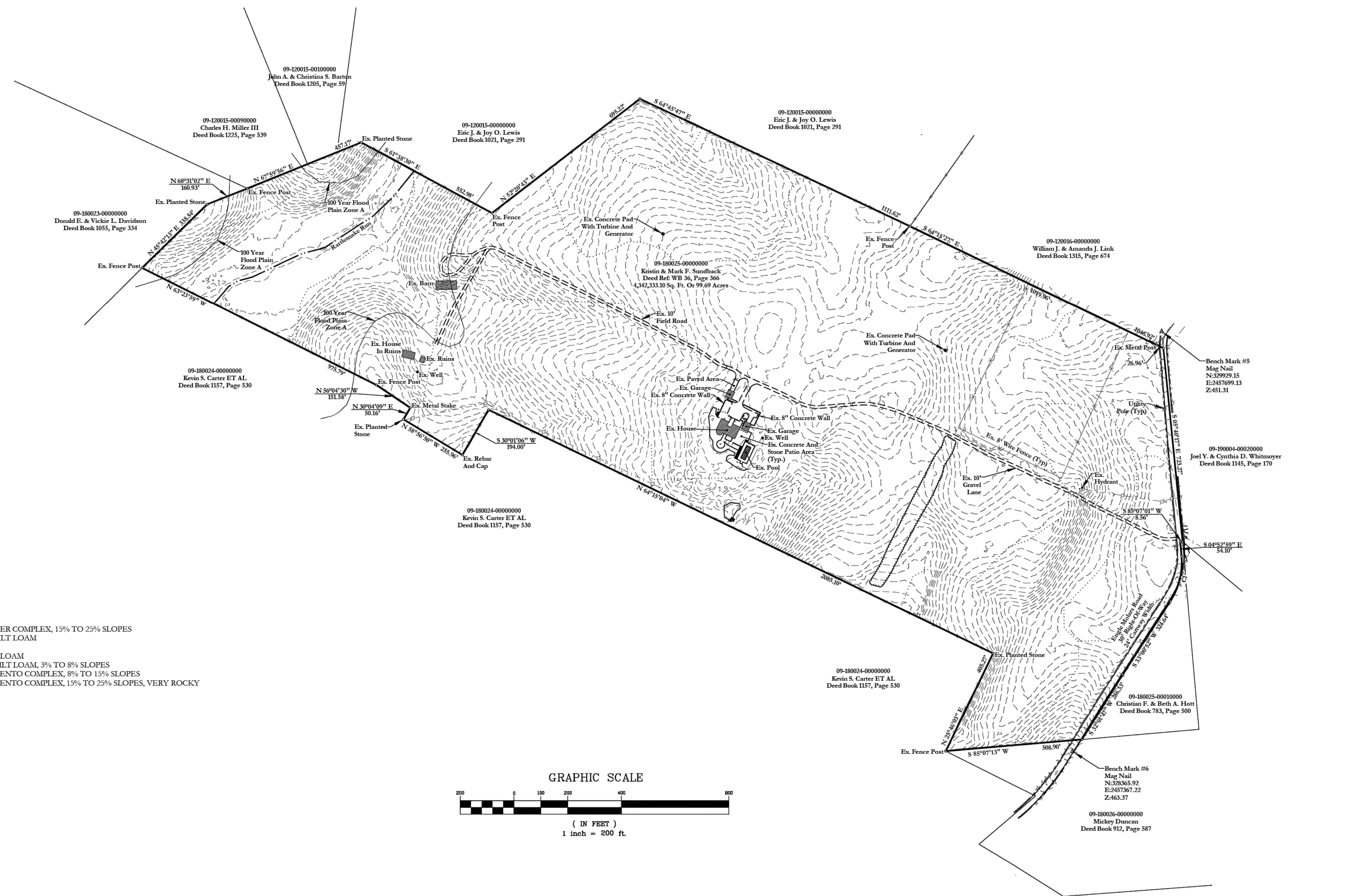
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CADD: C-GI-501.DWG

NCS: SHEET:

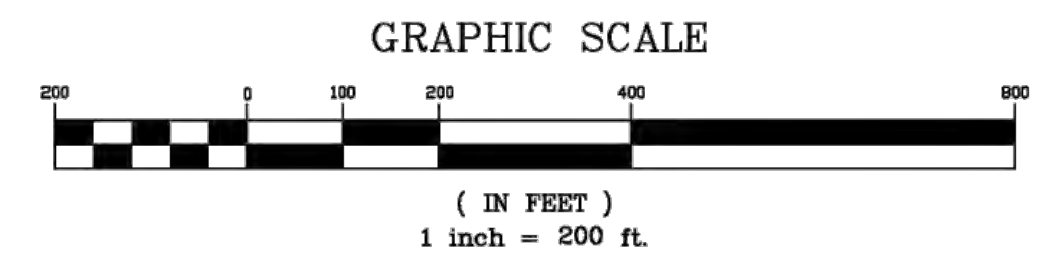
03 OF 34

- LEGEND**
- 5/8" Rebar Unless Otherwise Noted
 - All Points in Pavement (Set Mag-Nails)
 - Ex. Existing
 - Prop. Proposed
 - Utility Pole



SOIL TYPES

D ₇ D	DUFFIELD-RYDER COMPLEX, 15% TO 25% SLOPES
Fk	FUNKSTOWN SILT LOAM
Hy	HOLLY LOAM
L _n	LINDSIDE SILT LOAM
PmB	POPLIMENTO SILT LOAM, 3% TO 8% SLOPES
R _p C	RYDER-POPLIMENTO COMPLEX, 8% TO 15% SLOPES
R ₁ D	RYDER-POPLIMENTO COMPLEX, 15% TO 25% SLOPES, VERY ROCKY



- NOTES:**
- (PLAN NARRATIVE) THE INTENDED USE OF THIS PLAN IS FOR RETRACEMENT PURPOSES ONLY. THIS PLAN IS A RETRACEMENT OF THE BOUNDARY OF PARCEL 09-180025-0000000. PARCEL CONTAINS 4,342,333.10 SQ. FT. OR 99.69 ACRES.
 - A ENTIRE BOUNDARY SURVEY WAS COMPLETED AT THIS TIME.
 - PERIMETER BOUNDARY HAS BEEN ESTABLISHED BY A NETWORK OF TRAVERSE CONTROL HAVING A RELATIVE ERROR OF CLOSURE OF 1/7500 OR BETTER.
 - A PORTION OF THE SUBJECT PROPERTY DESCRIBED ON THIS SURVEY LIES WITHIN THE 100 YEAR FLOODPLAIN AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) AND SHOWN ON FLOOD INSURANCE RATE MAP (FIRM), INDICATED ON THE FLOOD INSURANCE RATE MAP-COMMUNITY PANEL NO. 54037004SE EFFECTIVE DATE 12/18/2009.
 - SEWAGE: PRIVATE; (NO TANK OR DRAIN FIELD OBSERVED AT TIME OF SURVEY)
 - WATER: PRIVATE.
 - THIS SURVEY WAS DONE WITHOUT THE BENEFIT OF A TITLE PACKET.
 - ADJOINERS WERE NOT FIELD VERIFIED.
 - TOPOGRAPHIC AND SOILS INFORMATION SHOWN IS BASED ON FILES DOWNLOADED FROM <https://data.wvgis.wvu/pub/temp/elevation/datarequest> AND A FIELD SURVEY COMPLETED BY A TO Z LAND CONSULTING SERVICES, LLC IN DECEMBER, 2024.
 - CONTOURS AND ELEVATIONS ARE BASED ON NATIONAL AMERICAN VERTICAL DATUM OF 1988 (NAVD 88)
 - BEARINGS ARE BASED ON WEST VIRGINIA STATE PLANE COORDINATES, NORTH ZONE, NORTH AMERICAN DATUM OF 1983 (NAD 83)
 - THE WV 811 LOCATE NUMBERS ARE 2434576173

A to Z
Land Consulting Services, LLC

403 LWE SUITE 100
McConnellsburg, PA 17233

PH 717-809-3025
www.atozlandconsultingservices.com

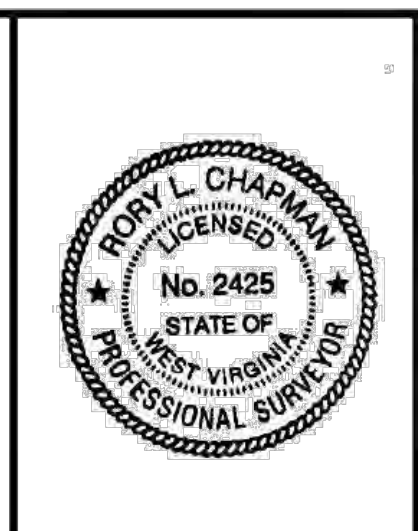
DATE	NO.	REVISION
4/28/2025	1	Per Jefferson County Comments Dated 4/15/2025

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE PLAN SHOWN HEREON IS CORRECT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF; THAT IT IS A RETRACEMENT OF ALL OF THE LANDS CONVEYED BY WALTER GUY CATON AND HAZEL F. CATON, HUSBAND AND WIFE, TO ERIC H. SUNDBACK AND GLORIA E. SUNDBACK, HUSBAND AND WIFE, BY DEED DATED MARCH 21, 1974, AND RECORDED IN DEED BOOK 372, PAGE 47, TO WHICH THE LAST WILL AND TESTAMENT OF ERIC H. SUNDBACK (WIDOWED) CONVEYED TO KRISTEN M. SUNDBACK AND MARK F. SUNDBACK, BY LAST WILL AND TESTAMENT OF ERIC H. SUNDBACK DATED AUGUST 4, 2022 AND RECORDED IN WILL BOOK 36, PAGE 366, ALL OF WHICH ARE RECORDED AMONG THE LAND RECORDS IN THE CLERKS OFFICE OF THE COUNTY COURT OF JEFFERSON COUNTY, WEST VIRGINIA.

1/6/2025
DATE

ROBY L. CHAPMAN, P.L.S.
WEST VIRGINIA REG. NO. 2425

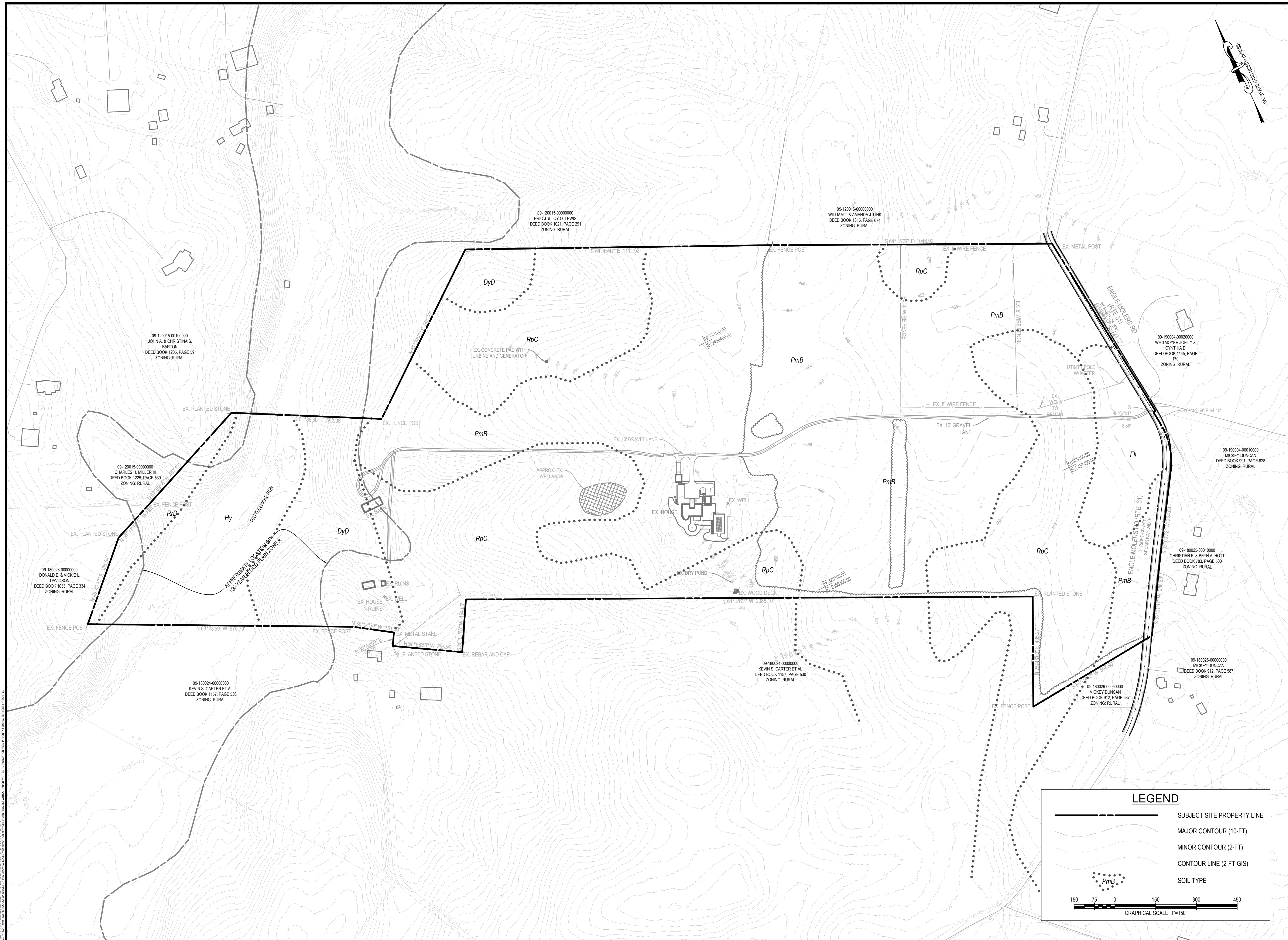


RETRACEMENT PLAT OF LANDS OF

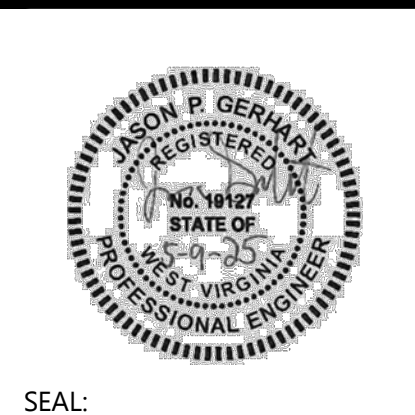
Kristen M. Sundback & Mark F. Sundback

SITUATED AT 401 ENGLE MOLARS ROAD, HARPERS FERRY IN SHEPHERDSTOWN DISTRICT, JEFFERSON COUNTY, WEST VIRGINIA

Tax Map	18
Parcel No.	25
Drawn By	TMK
Checked By	RLC
Date	1/6/2025
Scale	1"=200'
Job No.	24-310 WV
SHEET 1 OF 1	



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REVISIONS

EXISTING CONDITIONS
HALLMARK GLEN
PRELIMINARY PLAT
 TAX MAP 18, PARCEL 25, D.B. 1338, PG. 538
 SHEPHERDSTOWN TAX DISTRICT
 JEFFERSON COUNTY, WEST VIRGINIA

LEGEND

- SUBJECT SITE PROPERTY LINE
- MAJOR CONTOUR (10-FT)
- MINOR CONTOUR (2-FT)
- CONTOUR LINE (2-FT GIS)
- SOIL TYPE

GRAPHICAL SCALE: 1"=150'

SCALE:	HORIZ.: 1"=150'
	VERT.:
DATE:	FEBRUARY 2025
JOB:	5098-0101
DRAWN:	JCH
CHECK:	JPG
CADD:	C-XP-101.DWG
NCS:	
SHEET:	05 OF 34

JEFFERSON COUNTY EROSION & SEDIMENT CONTROL NOTES:

- ANY AREA OF EXPOSED SOIL WHERE NO CONSTRUCTION IS ANTICIPATED FOR A PERIOD OF LONGER THAN TWO WEEKS OR WHERE CONSTRUCTION ACTIVITY HAS STOPPED FOR TWO WEEKS SHALL BE TEMPORARILY STABILIZED WITHIN FOUR DAYS.
- FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT STABILIZATION SHALL BE COMPLETED WITHIN FOUR (4) CALENDAR DAYS AFTER COMPLETION OF ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES GREATER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1), AND FOUR (4) CALENDAR DAYS AFTER REACHING FINAL GRADE FOR ALL OTHER DISTURBED OR GRADED AREAS.
 - THESE PROVISIONS DO NOT APPLY TO THOSE AREAS THAT ARE SHOWN ON THE PLAN FOR MATERIAL STORAGE OR FOR THOSE AREAS ON WHICH ACTUAL CONSTRUCTION ACTIVITIES ARE CURRENTLY BEING PERFORMED.
 - THESE TIME REQUIREMENTS MAY BE EXTENDED, AS DEEMED NECESSARY BY THE JEFFERSON COUNTY ENGINEER IN THE EVENT THAT ADVERSE CONDITIONS PREVENT COMPLIANCE WITH THE STATED TIME LIMITATIONS FOR THE COMPLETION OF PERMANENT OR TEMPORARY STABILIZATION.
- STABILIZATION WILL BE CONSIDERED ADEQUATE WHEN THE FOLLOWING CONDITIONS ARE MET:
 - WATER COURSES, STREAM BANKS, AND DRAINAGE EASEMENTS SHALL BE 100% STABILIZED AND FREE FROM EROSION AND DEPOSITION.
 - SLOPES STEEPER THAN 10% SHALL HAVE AT LEAST 98% STABLE GROUND COVER, AS DETERMINED BY THE JEFFERSON COUNTY ENGINEER.
 - ALL OTHER AREAS SHALL HAVE AT LEAST 85% STABLE GROUND COVER, AS DETERMINED BY THE JEFFERSON COUNTY ENGINEER.
 - GRASS VEGETATION SHALL HAVE REACHED A MINIMUM OF 3 INCHES OF HEIGHT OR HAVE BEEN MOWED BACK TO A MINIMUM OF 2 INCHES IN HEIGHT.
- FOR ALL PROJECTS ADJACENT TO OR WITHIN 500 FEET OF A CONTINUOUSLY FLOWING STREAM, NO GRADING, EXCAVATING, REMOVAL, OR DESTRUCTION OF TOPSOIL, TREES, OR OTHER VEGETATIVE COVER, OR CONSTRUCTION ACTIVITY SHALL RESULT IN POINT OR NON-POINT LOADING OF SUSPENDED MATTER SUCH THAT TURBIDITY STANDARDS SPELLED OUT IN THE WATER RESOURCES BOARD LEGISLATIVE RULES ARE VIOLATED. SAID STANDARDS STATE THAT TURBIDITY SHALL NOT EXCEED 10 NTUS OVER BACKGROUND TURBIDITY WHEN THE BACKGROUND IS 50 NTUS OR LESS, OR HAVE MORE THAN A 10% INCREASE IN TURBIDITY (PLUS 10 NTUS MINIMUM) WHEN THE BACKGROUND TURBIDITY IS MORE THAN 50 NTUS.
- NO OFF-SITE SOURCE OF BORROW MATERIALS IS ANTICIPATED FOR THIS PROJECT. IN THE EVENT THAT AN OFF-SITE SOURCE OF BORROW MATERIALS IS USED, AN EROSION AND SEDIMENT CONTROL PLAN SHALL BE PROVIDED FOR THE BORROW PIT AND THE BORROW PIT SHALL MEET ALL APPLICABLE REQUIREMENTS AND PERMITS OF THE WVDEP.
- MAINTENANCE SHALL BE PERFORMED AS NECESSARY TO ENSURE THAT ALL EROSION AND SEDIMENT CONTROL MEASURES ARE PERFORMING AS DESIGNED. THE JEFFERSON COUNTY ENGINEER MAY REQUIRE MODIFICATIONS TO AN APPROVED PLAN, REQUIRE ADDITIONAL SEDIMENT AND EROSION CONTROL MEASURES, OR CAUSE NEW PLANS TO BE SUBMITTED AS A RESULT OF FIELD INSPECTION REVEALING THE APPROVED PLANS DO NOT PROVIDE ADEQUATE PROTECTION. MODIFICATIONS MAY ALSO BE REQUESTED BY THE OWNER OR DEVELOPER DUE TO UNFORESEEN FIELD CONDITIONS.
- ALL RESIDENTIAL AND NON-RESIDENTIAL LOTS SHALL HAVE A STABILIZED CONSTRUCTION ENTRANCE INSTALLED PRIOR TO BEGINNING CONSTRUCTION ON THE LOT.

PUBLIC NOTICE SIGN:

NOT TO SCALE

NOTES:

- SECTION G 4 b 5 OF THE GENERAL PERMIT STATES THAT "WITHIN 72 HOURS OF FILING AN NOI (ONE TO LESS THAN THREE ACRES) OR A SITE REGISTRATION APPLICATION (THREE ACRES OR MORE) WITH THE DIVISION OF WATER AND WASTE MANAGEMENT (DWWM), ALL PROJECTS SHALL DISPLAY A SIGN FOR THE DURATION OF THE CONSTRUCTION PROJECT NEAR THE ENTRANCE OF THE PROJECT OR, FOR LINEAR PROJECTS, AT A LOCATION NEAR AN ACTIVE PART OF THE PROJECT THAT IS ACCESSIBLE BY THE PUBLIC CONTAINING THE FOLLOWING INFORMATION:
 - THE APPLICANT'S NAME OR THE NAME OF THE CONTACT PERSON, A TELEPHONE NUMBER AND ADDRESS WHERE THE APPLICANT CAN BE REACHED;
 - A BRIEF DESCRIPTION OF THE PROJECT;
 - A STATEMENT INDICATING THAT THE APPLICATION HAS BEEN SUBMITTED TO THE DIRECTOR;
 - A STATEMENT THAT ANY PERSON MAY REVIEW THE APPLICATION BY USING PUBLIC QUERY FUNCTION OF THE ELECTRONIC SUBMISSION SYSTEM (ESS) LOCATED AT: http://apps.dep.wv.gov/WebApp_dep/Search/ePermitting/ePermittingApplicationSearchPage.cfm
 - ADDITIONALLY, THE SIGN SHALL NOTIFY THE PUBLIC THAT COMMENTS ABOUT THE PROPOSED PROJECT MAY BE SUBMITTED AT DEP.Comments@wv.gov.
 - THE SIGN SHALL BE A MINIMUM OF TWO FEET BY TWO FEET AND BE AT LEAST THREE FEET ABOVE GROUND LEVEL, CLEARLY VISIBLE AND LEGIBLE FROM A PUBLIC ROADWAY OR RIGHT-OF-WAY.
 - IF IT IS NOT FEASIBLE TO DISPLAY A SIGN AT OR NEAR THE PROJECT, THE APPLICANT MAY POST, WITHIN 72 HOURS OF FILING THE APPLICATION NOTICE CONTAINING THE FOREGOING INFORMATION AT A LOCAL PUBLIC BUILDING, INCLUDING, BUT NOT LIMITED TO, A TOWN HALL OR PUBLIC LIBRARY.
 - THE APPLICANT SHALL PROVIDE THE LOCATION WHERE THE SIGN OR NOTICE IS TO BE POSTED.
 - WITHIN 7 DAYS OF ASSIGNMENT OF THE PERMIT REGISTRATION NUMBER, THE APPLICANT SHALL AFFIX SUCH NUMBER TO THE SIGN OR TO THE POSTED NOTICE.
- A TEMPLATE FOR THE SIGN IS AS FOLLOWS:
- THE TOP PART OF THE SIGN, DOWN TO THE WORDS "APPLICATION DATE", SHALL BE WORDED AND FORMATTED AS SHOWN. REMAINING TEXT SHALL BE FILLED IN BY THE APPLICANT (DATE, NAME OF REGISTRANT OR CONTACT, PROJECT DESCRIPTION, AND PHONE) IN THE SIZE AND FORMAT SHOWN. HIGH CONTRAST COLORS MUST BE USED.
 - THE SIGN SHALL BE A MINIMUM 24" x 24" WITH 1.6" AND 0.8" LETTERS
 - THE SIGN SHALL BE A MINIMUM 36" ABOVE GROUND LEVEL.

- 1.6" LETTERS
- 0.8" LETTERS

① For Info on NPDES
 ① Stormwater Permit
 ② To comment on Sediment Control
 ② Call: 800-654-5227
 or
 ② DEP.Comments@wv.gov
 ② DEP 601 57th Street SE, Charleston WV 25304
 ② Application Date: **02/24/25**
 Hallmark Glen Subdivision,
 WV112915
 ② (304) 702-2500

Table 3.10.1 Temporary seed chart

PLANT NAMES		PLANTING DATES	APPLICATION RATE LBS/ACRE
COMMON	SCIENTIFIC		
Annual Ryegrass	<i>Lolium multiflorum</i>	2/16 – 5/15 8/1 – 11/1	40
Field Bromegrass	<i>Bromus ciliatus</i>	3/1 – 6/15 8/1 – 9/15	40
Spring Oats	<i>Avena sativa</i>	3/1 – 6/15	100
Winter Rye	<i>Secale cereale</i>	8/15 – 2/28	170
Winter Wheat	<i>Triticum aestivum</i>	8/15 – 2/28	180
Japanese Millet	<i>Echinochloa crusgalli</i>	5/15 – 8/15	30
Redtop	<i>Agrostis alba</i>	3/1 – 6/15	10
Annual Ryegrass and Spring Oats	<i>Lolium multiflorum</i> <i>Avena sativa</i>	3/1 – 6/15	30 70
German/Foxtail Millet	<i>Setaria italica</i>	5/1 – 8/1	40
Hairy Vetch	<i>Vicia villosa</i>	8/15 – 4/1	60

*Inoculation is required. If a hydroseeder is utilized, the application rate is 5 times the recommended rate.

Table 3.11.1 Permanent seeding

SEED MIX	PLANT NAMES		APPLICATION RATE LBS/ACRE
	COMMON	SCIENTIFIC	
A	Kentucky 31 Fescue	<i>Festuca arundinacea</i>	65
	Red Fescue	<i>Festuca rubra</i>	20
	Birdsfoot Trefoil	<i>Lotus corniculatus</i>	5
B	Switchgrass	<i>Panicum virgatum</i>	15
	Perennial Ryegrass	<i>Lolium perenne</i>	20
	Redtop	<i>Agrostis alba</i>	5
	Birdsfoot Trefoil	<i>Lotus corniculatus</i>	15
C	Red Fescue	<i>Festuca rubra</i>	20
	Kentucky Bluegrass	<i>Poa pratensis</i>	40
	Merion Bluegrass	<i>Poa pratensis</i>	30
D	Kentucky 31 Fescue	<i>Festuca arundinacea</i>	45
	Red Fescue	<i>Festuca rubra</i>	20
	Kentucky Bluegrass	<i>Poa pratensis</i>	25
	White Dutch Clover	<i>Trifolium repens</i>	5
E	Perennial Ryegrass	<i>Lolium perenne</i>	30
	Switchgrass	<i>Panicum virgatum</i>	15
	Crownvetch or Perennial Pea	<i>Coronilla varia</i> <i>Lathyrus latifolius</i>	20 30
	F	Orchardgrass	<i>Dactylis glomerata</i>
Ladino Clover		<i>Trifolium repens</i>	5
Redtop		<i>Agrostis alba</i>	5
G		Birdsfoot Trefoil	<i>Lotus corniculatus</i>
	Weeping Lovegrass	<i>Eragrostis curvula</i>	45
	Perennial Ryegrass	<i>Lolium perenne</i>	10
	H	Crownvetch	<i>Coronilla varia</i>
Orchardgrass		<i>Dactylis glomerata</i>	40
I	Crownvetch	<i>Coronilla varia</i>	25
	Perennial Ryegrass	<i>Lolium perenne</i>	30
J	Perennial Pea	<i>Lathyrus latifolius</i>	30
	Orchardgrass	<i>Dactylis glomerata</i>	30
K	Deertongue	<i>Panicum clandestinum</i>	30
	Birdsfoot Trefoil	<i>Lotus corniculatus</i>	15
	Weeping Lovegrass	<i>Eragrostis curvula</i>	5
	L	Orchardgrass	<i>Dactylis glomerata</i>
Serecia Lespedeza		<i>Lespedeza cunata</i>	40
Ladino Clover		<i>Trifolium repens</i>	5
M		Perennial Ryegrass Ladino	<i>Lolium perenne</i>
	Clover	<i>Trifolium repens</i>	5
	Redtop	<i>Agrostis alba</i>	5
N	Crownvetch	<i>Coronilla varia</i>	15
	Orchardgrass	<i>Dactylis glomerata</i>	30
A-3	Redtop	<i>Agrostis alba</i>	5

O	Perennial Ryegrass	<i>Lolium perenne</i>	40
P	Birdsfoot Trefoil	<i>Lotus corniculatus</i>	15
	Serecia Lespedeza	<i>Lespedeza cunata</i>	40
	Orchardgrass	<i>Dactylis glomerata</i>	30
Q	Redtop	<i>Agrostis alba</i>	5
	Ladino Clover	<i>Trifolium repens</i>	5
	Orchardgrass	<i>Dactylis glomerata</i>	25
R	Reed Canarygrass ¹	<i>Phalaris arundinacea</i>	30
	Redtop	<i>Agrostis alba</i>	5
	White Clover or Birdsfoot Trefoil	<i>Trifolium repens</i> <i>Lotus corniculatus</i>	5 15
	S	Reed Canarygrass ¹	<i>Phalaris arundinacea</i>
T	Weeping Lovegrass	<i>Eragrostis curvula</i>	5
	Perennial Ryegrass	<i>Lolium perenne</i>	30
	Reed Canarygrass ¹	<i>Phalaris arundinacea</i> <i>Lotus corniculatus</i>	15 5
U	Timothy	<i>Phleum pratense</i>	10
	Alfalfa	<i>Medicago sativa</i>	18
V	Timothy	<i>Phleum pratense</i>	10
	Birdsfoot Trefoil	<i>Lotus corniculatus</i>	15
W	Redtop	<i>Agrostis alba</i>	5
	Perennial Ryegrass	<i>Lolium perenne</i>	30
	Orchardgrass	<i>Dactylis glomerata</i>	25
X	Reed Canarygrass ¹	<i>Phalaris arundinacea</i>	30
	Birdsfoot Trefoil	<i>Lotus corniculatus</i>	20
	Redtop	<i>Agrostis alba</i>	5
Y	Switchgrass	<i>Panicum virgatum</i>	30
	Birdsfoot Trefoil	<i>Lotus corniculatus</i>	20
Z	Switchgrass	<i>Panicum virgatum</i>	15
	Serecia Lespedeza	<i>Lespedeza cunata</i>	30
A-1	Orchardgrass	<i>Dactylis glomerata</i>	30
	Red Clover	<i>Trifolium pratense</i>	10
A-2	Switchgrass	<i>Panicum virgatum</i>	15
	Big Bluestem	<i>Andropogon gerardii</i>	5
	Indiangrass	<i>Sorghastrum nutans</i>	5
	Little Bluestem	<i>Andropogon scoparius</i>	5
	Sideoats Grama ²	<i>Bouteloua curtipendula</i>	5
A-3	Switchgrass	<i>Panicum virgatum</i>	20
	Eastern Gamagrass ³	<i>Tripsacum dactyloides</i>	15

NOTE: When utilizing a properly prepared seedbed, the rates of application can be reduced by 30 percent except for seed mixes A-2 & A-3.
¹ Reed Canarygrass shall not be used east of I-79 and/or south of Charleston.
² Use north and east of I-64 and I-79.
³ Use south and west of I-64 and I-79.

Table 3.11.2 Nurse crops

PLANT NAMES		PLANTING DATES	APPLICATION RATE LBS/ACRE
COMMON	SCIENTIFIC		
Annual Ryegrass	<i>Lolium multiflorum</i>	2/16 – 5/15 8/1 – 11/1	25
Field Bromegrass	<i>Bromus ciliatus</i>	3/1 – 6/15 8/1 – 9/15	20
Spring Oats	<i>Avena sativa</i>	3/1 – 6/15	50
Winter Rye	<i>Secale cereale</i>	8/15 – 2/28	85
Winter Wheat	<i>Triticum aestivum</i>	8/15 – 2/28	90
Japanese Millet	<i>Echinochloa crusgalli</i>	5/15 – 8/15	15
Redtop	<i>Agrostis alba</i>	3/1 – 6/15	10
Annual Ryegrass and Spring Oats	<i>Lolium multiflorum</i> <i>Avena sativa</i>	3/1 – 6/15	15 35
German/Foxtail Millet	<i>Setaria italica</i>	5/1 – 8/1	25
Hairy Vetch*	<i>Vicia villosa</i>	8/15 – 4/1	30

* Inoculation is required. If a hydroseeder is utilized, the application rate is five times the recommended rate.

Table 3.12.1 Organic mulch materials and application rates

Mulches:	Rates:		Notes:
	Per acre	Per 1,000 ft. ²	
Straw or hay	1½ - 2 tons (minimum 2 tons for winter cover)	70 - 90 lbs.	Free from weeds and coarse matter. Must be anchored. Spread with mulch blower or by hand.
Fiber mulch	Minimum 1,500 lbs.	35 lbs.	Do not use as mulch for winter cover or during hot, dry periods.* Apply as slurry.
Cornstalks	4 - 6 tons	185 - 275 lbs.	Cut or shredded in 4-6" lengths. Air-dried. Do not use in fine turf areas. Apply with mulch blower or by hand.
Wood chips	4 - 6 tons	185 - 275 lbs.	Free of coarse matter. Air-dried. Treat with 12 lbs. nitrogen per ton. Do not use in fine turf areas. Apply with mulch blower, chip handler, or by hand.
Bark chips or Shredded bark	50 - 70 cu. yds.	1-2 cu. yds.	Free of coarse matter. Air-dried. Do not use in fine turf areas. Apply with mulch blower, chip handler, or by hand.

* When fiber mulch is the only available mulch during periods when straw should be used, apply at a minimum rate of 2,000 lbs./ac. or 45 lbs./1,000 sq. ft.
From VA DSWC

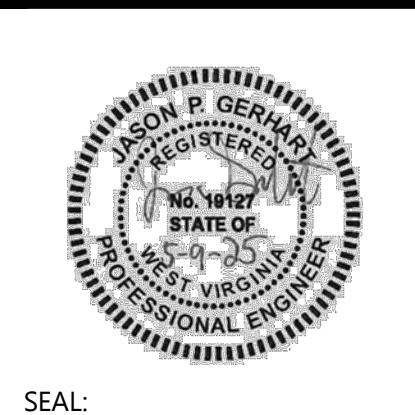
Table 3.11.3 Permanent seeding requirements

SEED MIX	FINE LAWN	COARSE LAWN	LOW MAINT.	NO MAINT.	PASTURE	SENSITIVE NATURAL AREAS	pH RANGE	DRAINAGE	SHADE TOLERANCE	PREFERRED PLANTING DATES			
										3/1-6/15	6/16-8/14	8/15-9/15	9/16-2/28
A			✓				6.0-7.5	MOD - WELL	PULL SUN	✓	✓	✓	✓
B				✓			5.0-7.5	MOD - WELL	PULL SUN	✓	✓	✓	✓
C	✓						6.0-7.5	MOD - WELL	PULL SUN	✓	✓	✓	✓
D		✓					6.0-7.5	MOD - WELL	PULL SUN	✓	✓	✓	✓
E				✓			6.0-7.5	MOD - WELL	PULL SUN	✓	✓	✓	✓
F			✓	✓	✓		5.5-7.5	MOD - WELL	TOLERANT	✓	✓	✓	✓
G				✓	✓		5.0-7.5	MOD - WELL	PULL SUN	✓	✓	✓	✓
H			✓	✓	✓		5.0-7.5	MOD - WELL	TOLERANT	✓	✓	✓	✓
I			✓	✓	✓		5.0-7.5	MOD - WELL	PULL SUN	✓	✓	✓	✓
J			✓	✓	✓		4.0-8.0	MOD - WELL	TOLERANT	✓	✓	✓	✓
K				✓	✓		4.0-7.0	MOD - WELL	PULL SUN	✓	✓	✓	✓
L				✓	✓		4.5-7.5	MOD - WELL	TOLERANT	✓	✓	✓	✓
M			✓	✓	✓		5.0-7.5	MOD - WELL	TOLERANT	✓	✓	✓	✓
N			✓	✓	✓		5.0-7.5	MOD - WELL	TOLERANT	✓	✓	✓	✓
O			✓	✓	✓		5.0-7.5	MOD - WELL	PULL SUN	✓	✓	✓	✓
P			✓	✓	✓		4.5-7.5	MOD - WELL	TOLERANT	✓	✓	✓	✓
Q			✓	✓	✓		4.5-7.5	POOR - WELL	TOLERANT	✓	✓	✓	✓
R			✓	✓	✓		5.5-7.5	MOD - WELL	PULL SUN	✓	✓	✓	✓
S			✓	✓	✓		4.5-7.5	POOR - WELL	PULL SUN	✓	✓	✓	✓
T				✓	✓		5.5-7.5	POOR - WELL	PULL SUN	✓	✓	✓	✓
U				✓	✓		6.5-8.0	MOD - WELL	PULL SUN	✓	✓	✓	✓
V				✓	✓		5.5-7.5	POOR - WELL	PULL SUN	✓	✓	✓	✓
W			✓	✓	✓		5.0-7.5	MOD - WELL	TOLERANT	✓	✓	✓	✓
X				✓	✓		5.5-7.5	POOR - WELL	PULL SUN	✓	✓	✓	✓
Y			✓	✓	✓		5.0-7.5	MOD - WELL	PULL SUN	✓	✓	✓	✓
Z			✓	✓	✓		5.0-7.5	MOD - WELL	PULL SUN	✓	✓	✓	✓
A-1			✓	✓	✓		4.5-7.5	MOD - WELL	TOLERANT	✓	✓	✓	✓
A-2			✓	✓	✓		5.0-7.5	MOD - WELL	PULL SUN	✓	✓	✓	✓
A-3			✓	✓	✓		5.0-7.5	POOR - WELL	PULL SUN	✓	✓	✓	✓

◆ Nurse crop required - See Table B
 1 Urban areas only

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REVISIONS

NO.	DATE	DESCRIPTION

EROSION & SEDIMENT CONTROL NOTES

HALLMARK GLEN PRELIMINARY PLAT

TAX MAP 18, PARCEL 25, D.B. 1338, PG. 538
 SHEPHERDSTOWN TAX DISTRICT
 JEFFERSON COUNTY, WEST VIRGINIA

SCALE: HORIZ.: _____
 VERT.: _____

DATE: FEBRUARY 2025

JOB: 5098-0101

DRAWN: JCH CHECK: JPG

CADD: C-GC-001.DWG

NCS:

SHEET: **07 OF 34**

09-120016-0000000
WILLIAM J. & AMANDA J. LINK
DEED BOOK 1315, PAGE 674
ZONING: RURAL

0.32 AC SEPTIC RESERVE:
SSF INSTALLED DURING DISTURBANCE AND
NOT REMOVED UNTIL FULLY STABILIZED

0.32 AC SEPTIC RESERVE:
SSF INSTALLED DURING DISTURBANCE AND
NOT REMOVED UNTIL FULLY STABILIZED

0.38 ACRES
TO 342 LF SSF

0.18 ACRES
TO 246 LF SSF

0.30 AC SEPTIC RESERVE:
SSF INSTALLED DURING DISTURBANCE AND
NOT REMOVED UNTIL FULLY STABILIZED

0.41 ACRES
TO 417 LF SSF

1.98 ACRES DISTURBED
TO SEDIMENT TRAP 1

0.30 AC SEPTIC RESERVE:
SSF INSTALLED DURING DISTURBANCE AND
NOT REMOVED UNTIL FULLY STABILIZED

0.62 ACRES DISTURBED
TO PERMANENT SWM BASIN

0.29 AC SEPTIC RESERVE:
SSF INSTALLED DURING DISTURBANCE AND
NOT REMOVED UNTIL FULLY STABILIZED

PERMANENT SWM TO BE BUILT WITH E&S PHASE 1
AND IMMEDIATELY STABILIZED PRIOR TO SITE
GRADING AND INSTALLATION OF SEDIMENT TRAP.

SEDIMENT TRAP 1
TOP OF EMBANKMENT = 456.00
SPILLWAY ELEV / TOP OF DRY = 455.00
TOP OF WET STORAGE = 453.00
CLEANOUT = 452.00
BOTTOM OF BASIN = 451.00

SEDIMENT BASIN DRAINAGE
DIVIDE (44.54 ACRES)

13.85 ACRES DISTURBED
TO SEDIMENT BASIN 1
DA = 44.54 ACRES

TOP OF EMBANKMENT=444.00
TOP OF DRY STORAGE=442.50
TOP OF WET STORAGE=441.00
CLEANOUT ELEVATION=440.00
BOTTOM OF BASIN=437.00

09-180225-00010000
CHRISTIAN F. & BETH A. HOTT
DEED BOOK 783, PAGE 500
ZONING: RURAL

09-180206-00000000
MICKEY DUNCAN
DEED BOOK 912, PAGE 587
ZONING: RURAL

09-180024-00000000
KEVIN S. CARTER ET AL
DEED BOOK 1167, PAGE
530
ZONING: RURAL

KEY	SYMBOL	DESCRIPTION
CE		TEMPORARY STABILIZED CONSTRUCTION ENTRANCE
SSF		SUPER SILT FENCE
DD		TEMPORARY DIVERSION DIKE
#1		TEMPORARY SEDIMENT TRAP
#1		TEMPORARY SEDIMENT BASIN
PS		PERMANENT SEEDING
- - -		LIMITS OF CONSTRUCTION TOTAL = 23.15 ACRES
		LIMITS OF "GRADING" TOTAL = 17.30 ACRES
		SEPTIC FIELD. INCLUDED IN LOD FOR DEQ PERMITTING AND E&S CONTROL, BUT NO DISTURBANCE PERMITTED EXCEPT FOR INSTALLATION OF SEPTIC. TOTAL = 5.76 ACRES

KEY MAP
(NOT TO SCALE)

SCALE: HORIZ.: 1"=80'
VERT.: 1"=80'

DATE: FEBRUARY 2025

JOB: 5098-0101

DRAWN: JCH CHECK: JPG

CADD: C-GC-101.DWG

NCS: SHEET: 08 OF 34

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REVISIONS

EROSION & SEDIMENT CONTROL PLAN PHASE I

HALLMARK GLEN
PRELIMINARY PLAT

TAX MAP 18, PARCEL 25, D.B. 1338, PG. 538
SHEPHERDSTOWN TAX DISTRICT
JEFFERSON COUNTY, WEST VIRGINIA

SCALE: HORIZ.: 1"=80'
VERT.: 1"=80'

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NCS: SHEET: 08 OF 34

09-120016-0000000
WILLIAM J. & AMANDA J. LINK
DEED BOOK 1315, PAGE 674
ZONING: RURAL

09-190004-0002000
WHITMOYER, JOE LY & CYNTHIA
DEED BOOK 1145, PAGE 170
ZONING: RURAL

09-180025-0001000
CHRISTIAN F. & BETH A. HOTT
DEED BOOK 783, PAGE 500
ZONING: RURAL

09-180024-0000000
KEVIN S. CARTER ET AL
DEED BOOK 1167, PAGE
530
ZONING: RURAL

09-180026-0000000
MICKEY DUNCAN
DEED BOOK 912, PAGE 587
ZONING: RURAL

EROSION & SEDIMENT CONTROL LEGEND

KEY	SYMBOL	DESCRIPTION
	---	LIMITS OF DISTURBANCE
(CIP)	●	CULVERT INLET PROTECTION
(PS)	→	PERMANENT SEEDING
	[Yellow Area]	SEPTIC FIELD, INCLUDED IN LOD FOR DEQ PERMITTING AND EAS CONTROL, BUT NO DISTURBANCE PERMITTED EXCEPT FOR INSTALLATION OF SEPTIC. TOTAL = 5.76 ACRES

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No. 19127
STATE OF WEST VIRGINIA
MECHANICAL PROFESSIONAL ENGINEER

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EROSION & SEDIMENT CONTROL PLAN PHASE II

**HALLMARK GLEN
PRELIMINARY PLAT**

TAX MAP 18, PARCEL 25, D.B. 1338, PG. 538
SHEPHERDSTOWN TAX DISTRICT
JEFFERSON COUNTY, WEST VIRGINIA

SCALE:	HORIZ.: 1"=80'
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SHEET:	09 OF 34



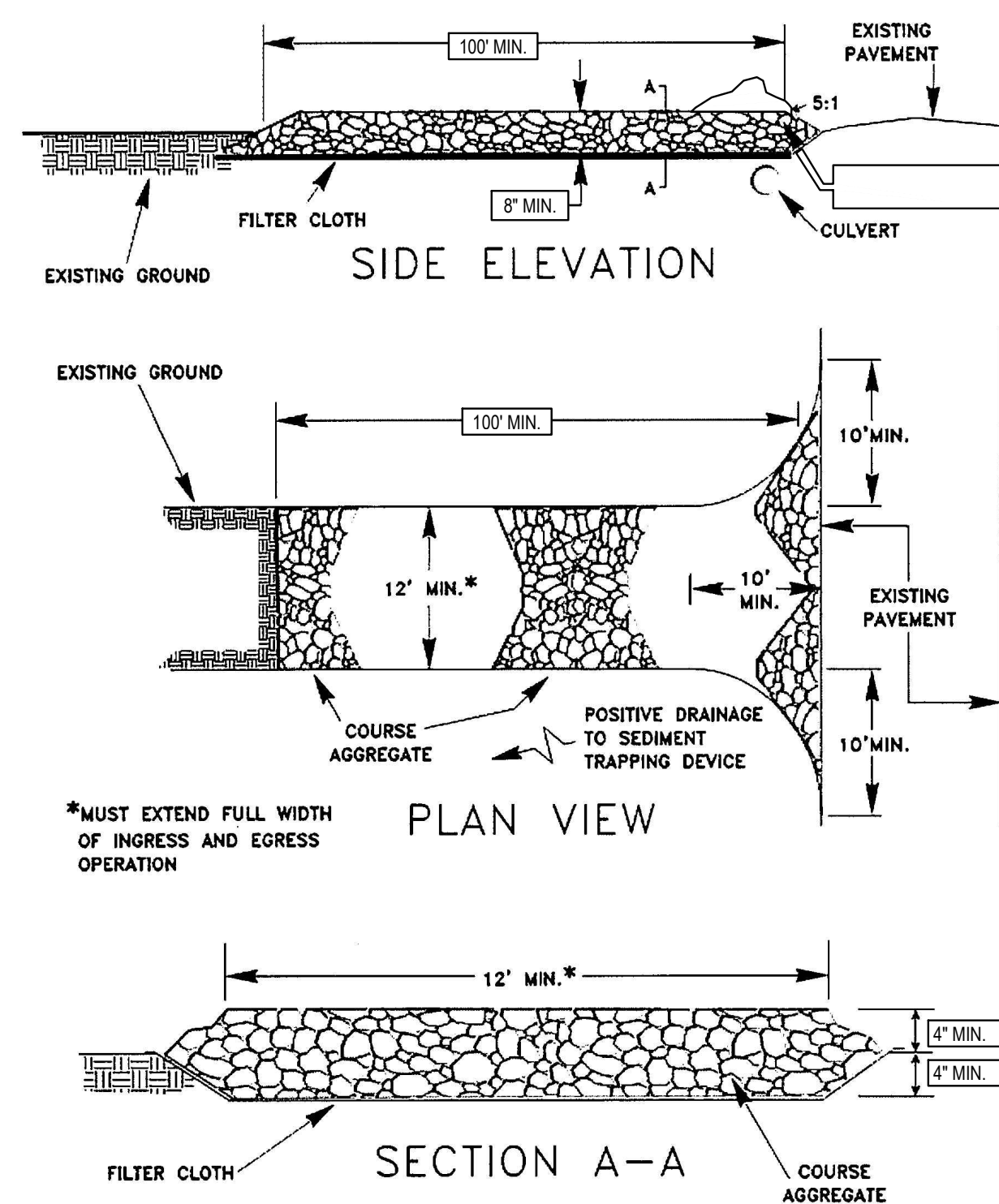
KEY MAP
(NOT TO SCALE)

80 40 0 80 160 240
GRAPHICAL SCALE: 1"=80'

I:\Projects\5098-0101\5098-0101-02\5098-0101-02-01\5098-0101-02-01-01.dwg
 DATE: 02/02/2025 10:10:10 AM
 USER: jch
 PLOT: 02/02/2025 10:10:10 AM
 PLOTTER: HP DesignJet 5000PSN

FIGURE 3.02.1

STONE CONSTRUCTION ENTRANCE



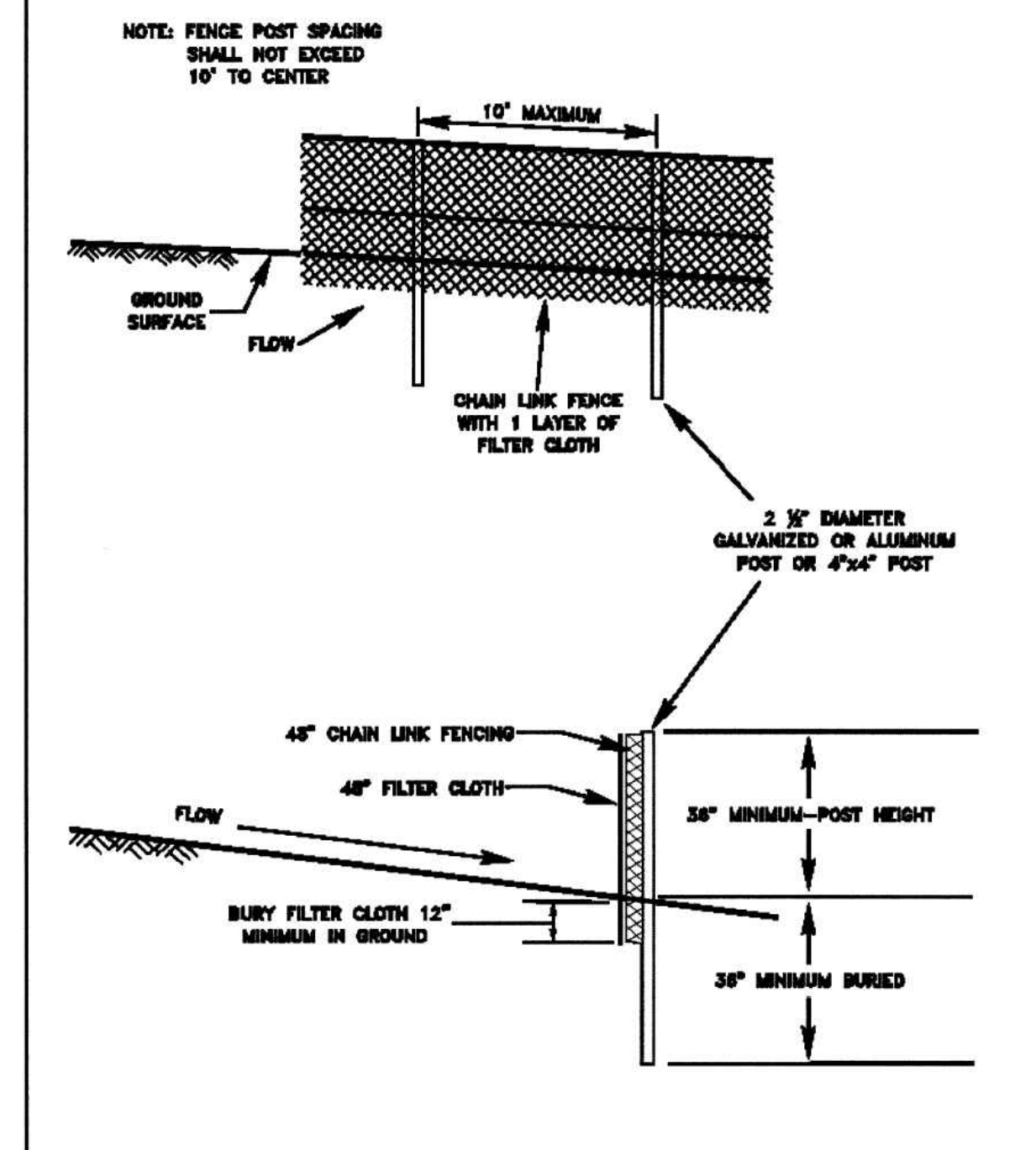
*MUST EXTEND FULL WIDTH OF INGRESS AND EGRESS OPERATION

SOURCE: ADAPTED FROM 1983 Maryland Standards for Soil Erosion and Sediment Control and Va. DSWC

CE

FIGURE 3.2B.1

SUPER SILT FENCE

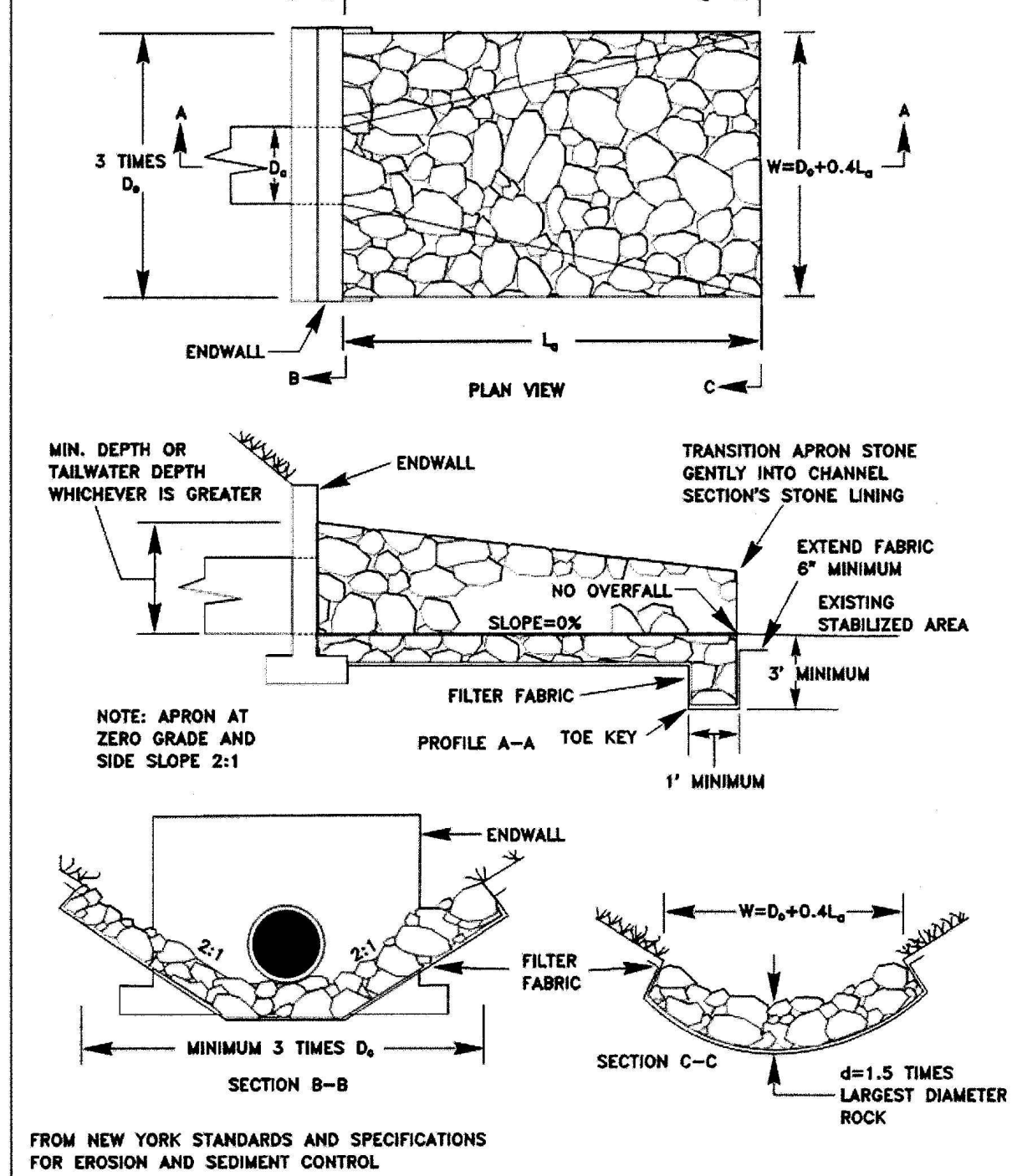


NOTE: FENCE POST SPACING SHALL NOT EXCEED 10' TO CENTER

SSP

FIGURE 3.17.5

OUTLET PROTECTION
DISCHARGE TO SEMI-CONFINED SECTION (MAXIMUM TAILWATER)

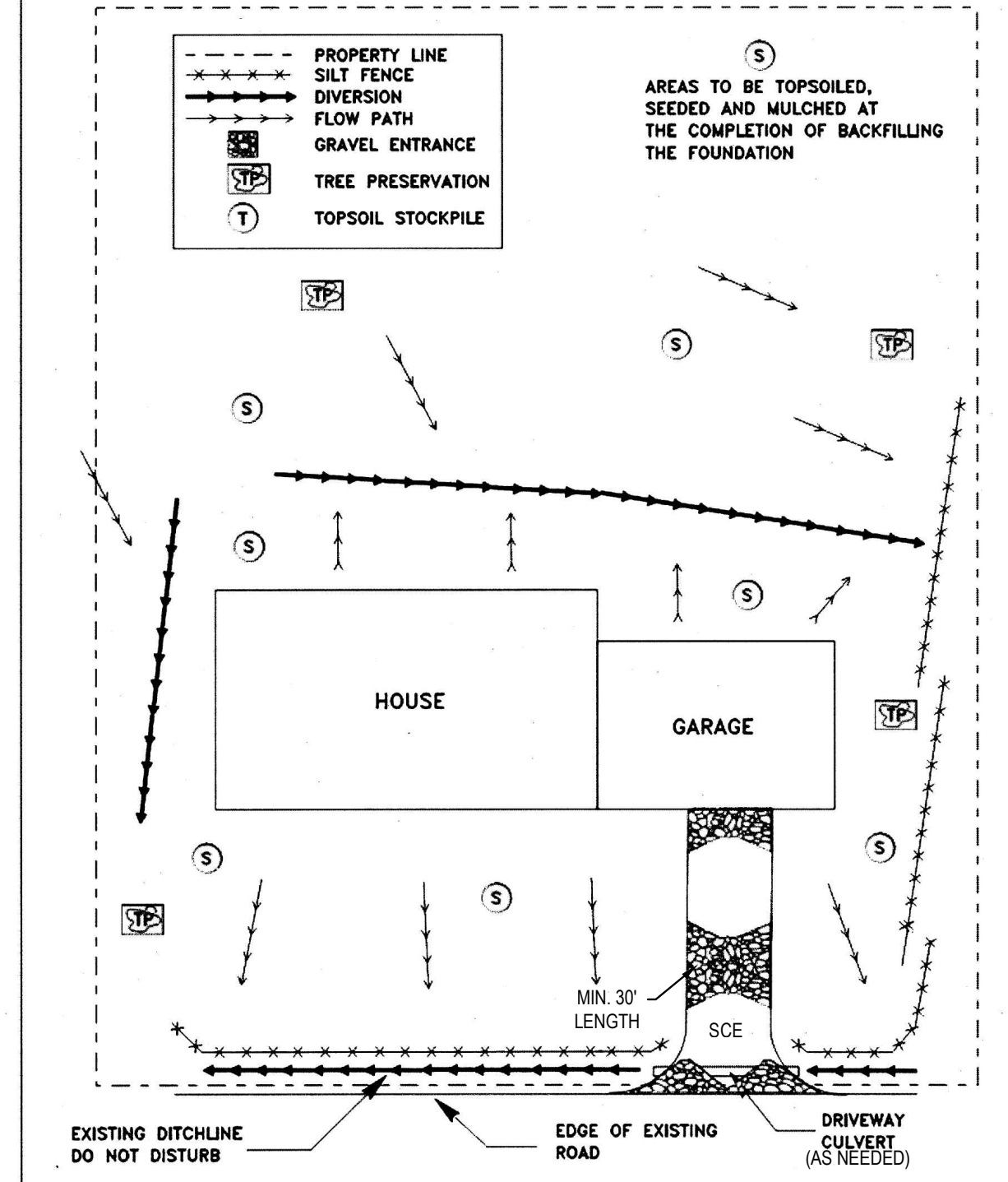


FROM NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL

OP

FIGURE 6.1

INDIVIDUAL HOUSE LOT SEDIMENT CONTROL PLAN

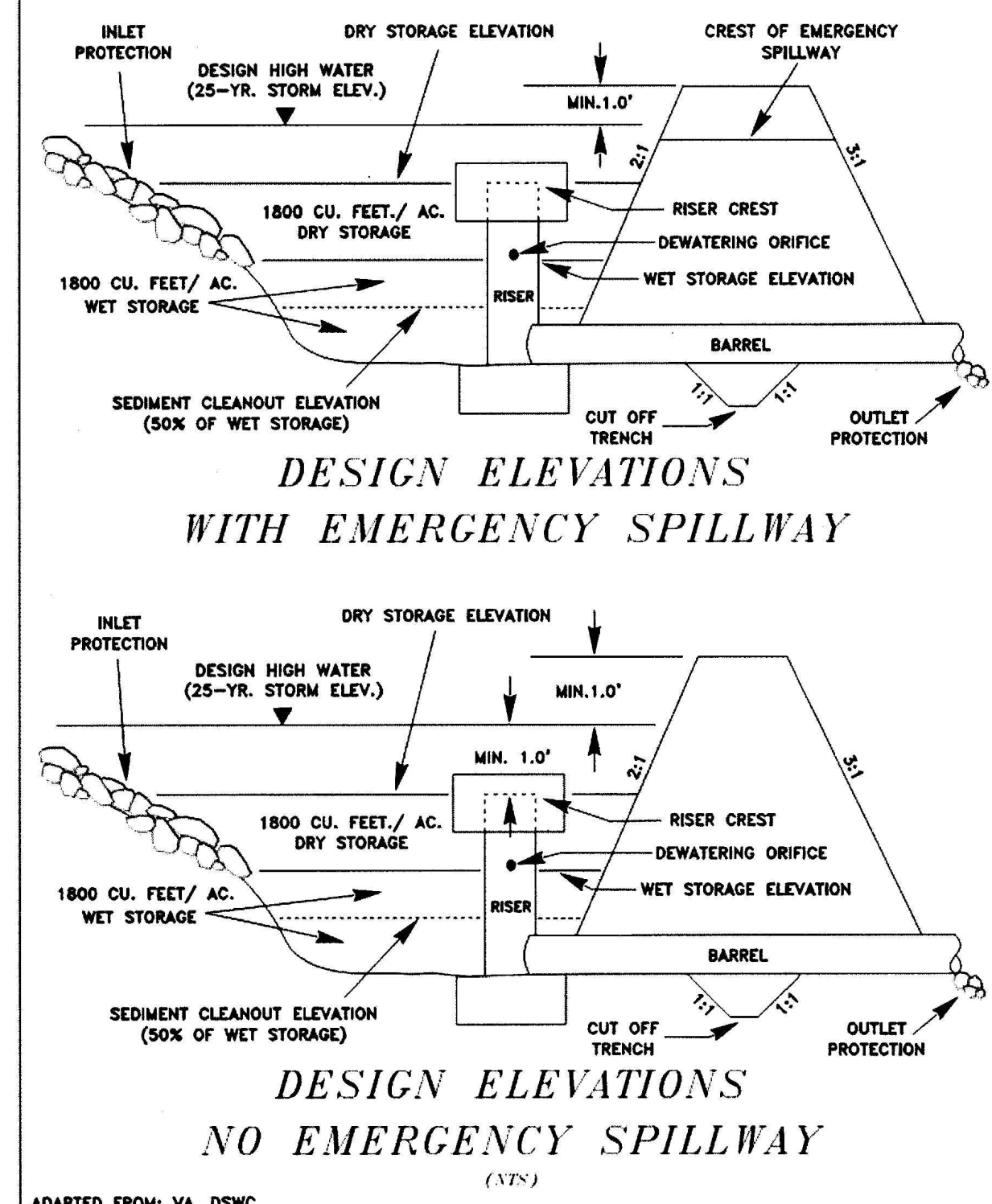


NOTES:
1. FINAL LIMITS OF CONSTRUCTION WILL BE DETERMINED DURING HOUSE SITING.
2. AREAS OF DISTURBANCE ARE TO BE TOPSOILED, SEEDING AND MULCHED AT THE COMPLETION OF BACKFILLING THE FOUNDATION.

DD

FIGURE 3.30.2

SEDIMENT BASIN

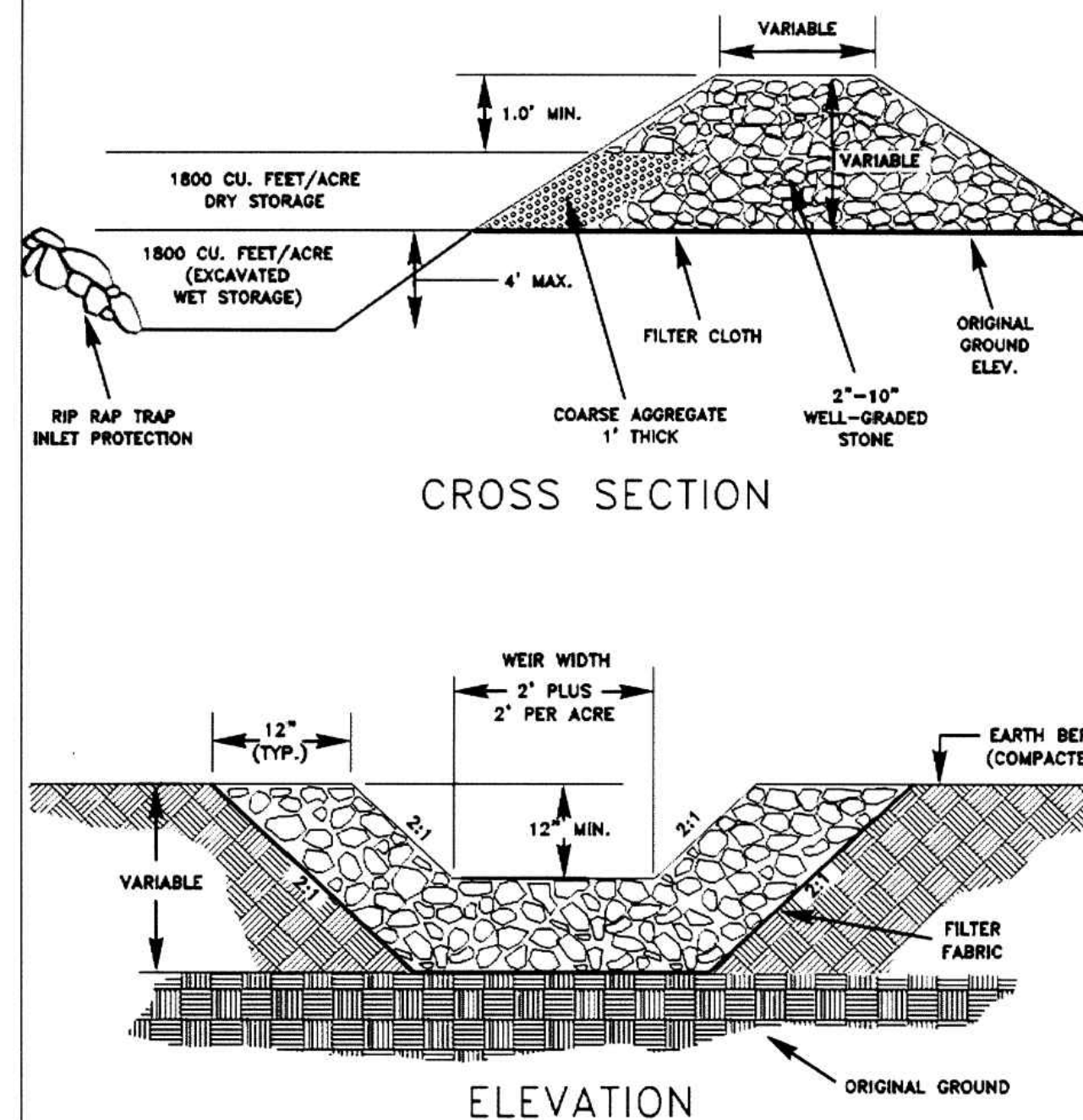


ADAPTED FROM: VA. DSWC

#1

FIGURE 3.29.1

ROCK OUTLET SEDIMENT TRAP

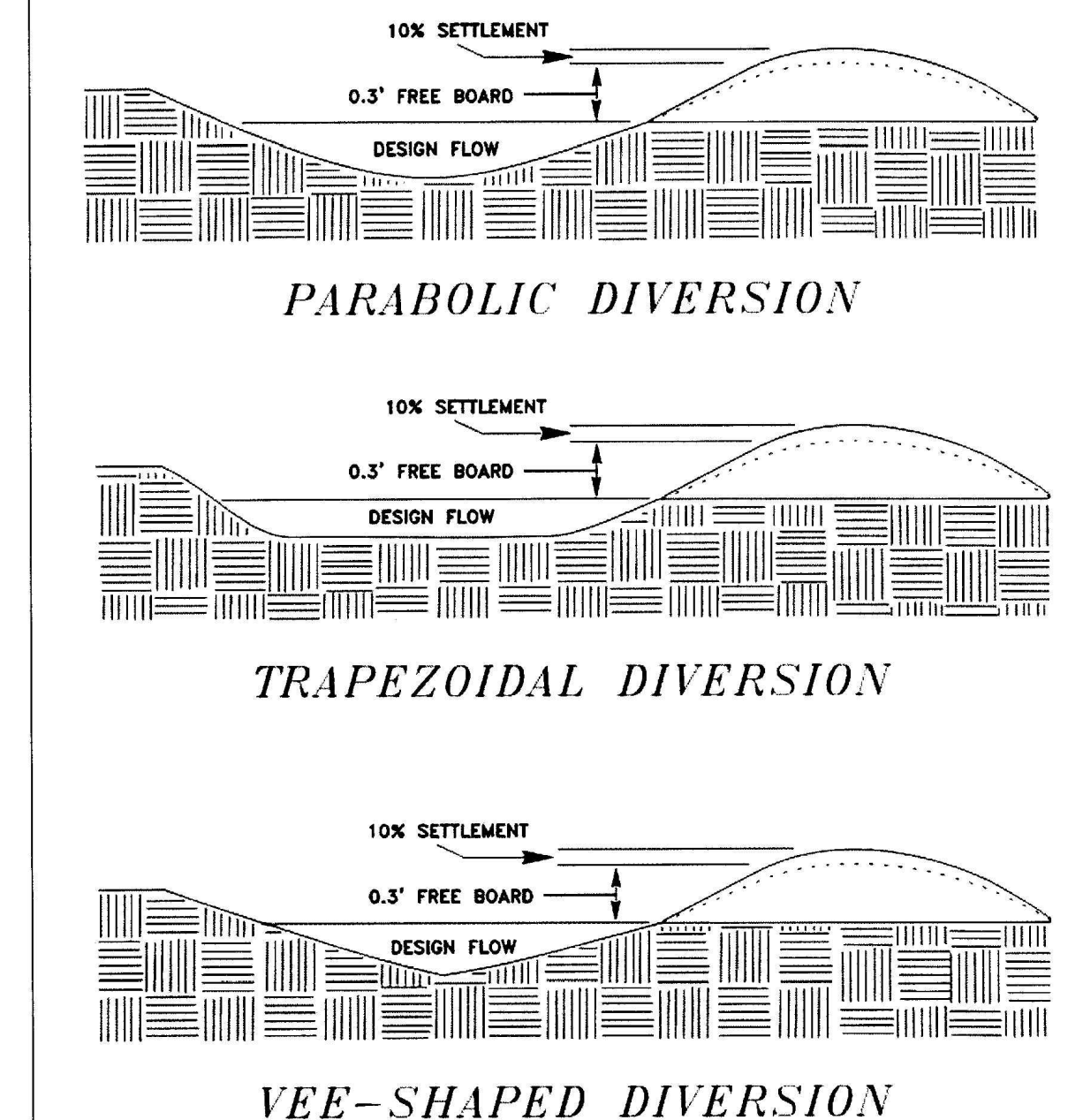


3.29-6

#1

FIGURE 3.15.1

TYPICAL DIVERSIONS



SOURCE: VIRGINIA DCR-DSWC

NOTES:
• MINIMUM CONSTRUCTED DEPTH SHALL BE 1.5' (2:1 SIDE SLOPES)

DD

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PROFESSIONAL ENGINEER
STATE OF WEST VIRGINIA
No. 19127
JAMES P. GERMANN
SEAL

NO.	REVISIONS

EROSION & SEDIMENT CONTROL DETAILS
HALLMARK GLEN PRELIMINARY PLAT
TAX MAP 18, PARCEL 25, D.B. 1338, PG. 538
SHEPHERDSTOWN TAX DISTRICT
JEFFERSON COUNTY, WEST VIRGINIA

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WILLIAM J. & AMANDA J. LINK
DEED BOOK 1315, PAGE 874
ZONING: RURAL

N 330001.00
E 245400.00

PE SYSTEMS
N5490

PE SYSTEMS
N6568

N 328900.00
E 183790.00

PE SYSTEMS
26667

EX. UTILITY
POLE
301-CT-P109

09-190004-0002000
WHITMOYER, JOEL Y & CYNTHIA
DEED BOOK 1145, PAGE 170
ZONING: RURAL

ALLG PWR
M22003

UTILITY POLE
W/ METER

ALLG PWR
1238950

S 04°07'01" W
8.56'

S 04°52'29" E 64.10'

EX. 10' GRAVEL LANE
& ASSOCIATED GRADING
TO BE REMOVED

EXISTING FENCE TO BE REMOVED

EX. 10' GRAVEL LANE

EX. HOUSE

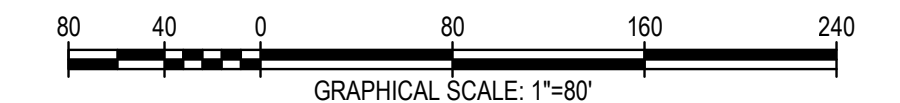
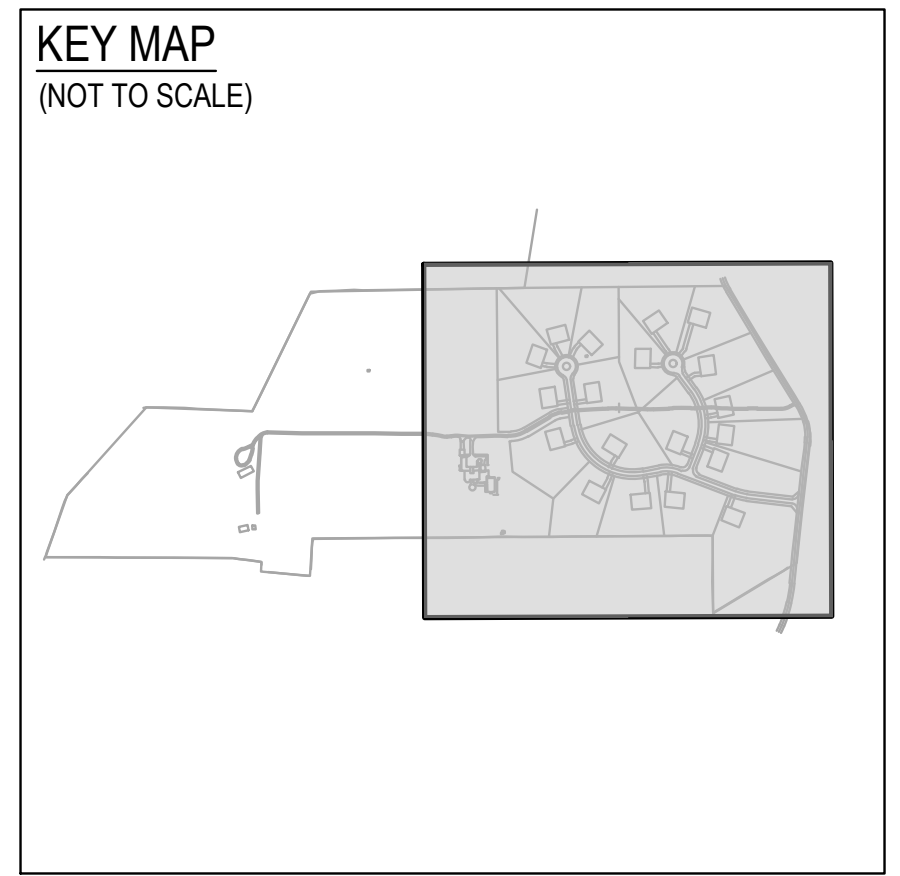
EX. DRY POND

PE CO.
M113856

09-180025-0001000
CHRISTIAN F. & BETH A. HOTT
DEED BOOK 783, PAGE 500
ZONING: RURAL

09-180024-0000000
KEVIN S. CARTER ET AL
DEED BOOK 1187, PAGE
530
ZONING: RURAL

09-180026-0000000
MICKEY DUNCAN
DEED BOOK 912, PAGE 587
ZONING: RURAL



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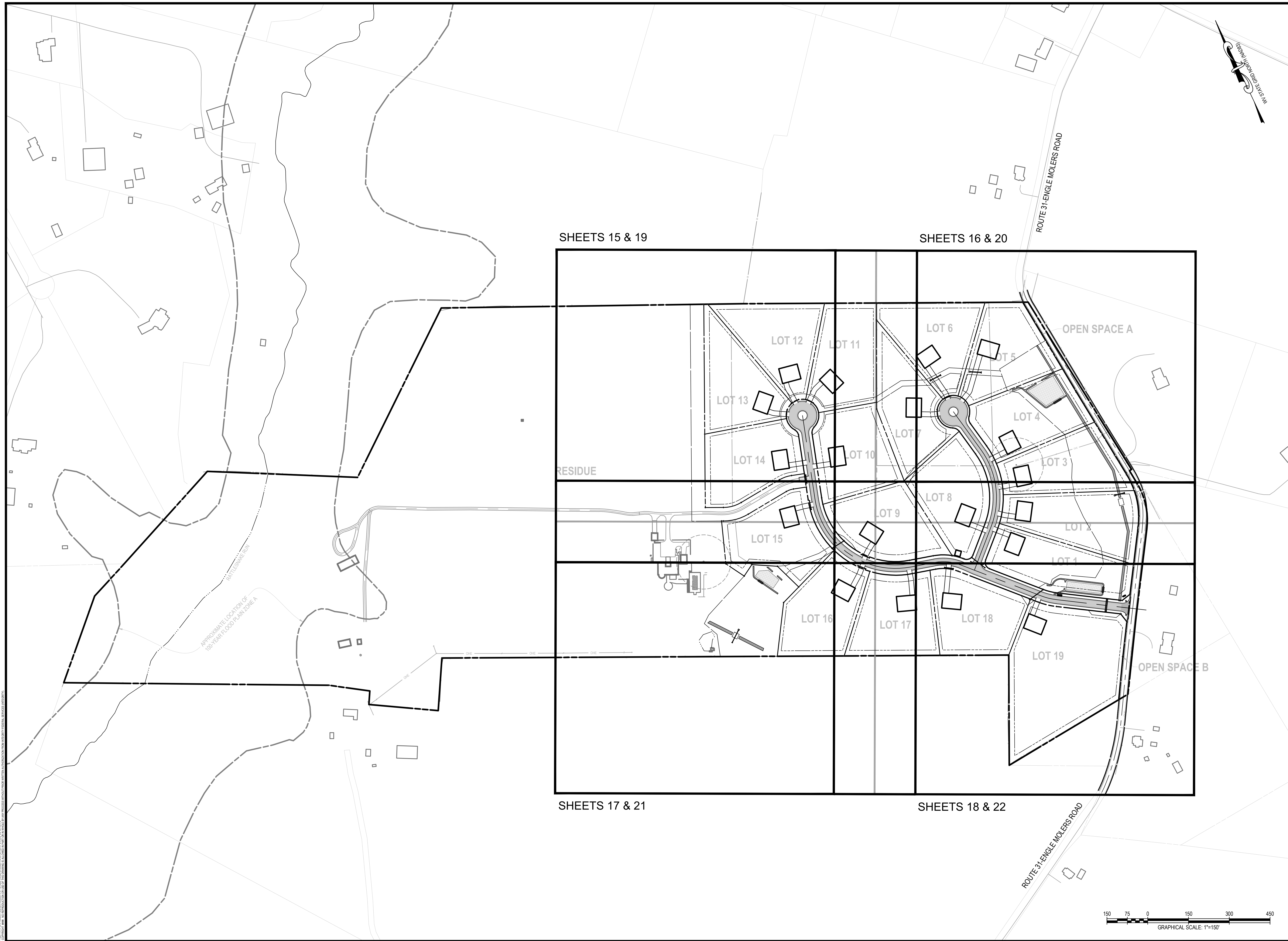
DEMOLITION PLAN

**HALLMARK GLEN
PRELIMINARY PLAT**

TAX MAP 18, PARCEL 25, D.B. 1338, PG. 538
SHEPHERDSTOWN TAX DISTRICT
JEFFERSON COUNTY, WEST VIRGINIA

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	VERT:
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NCS:	
SHEET:	12 OF 34

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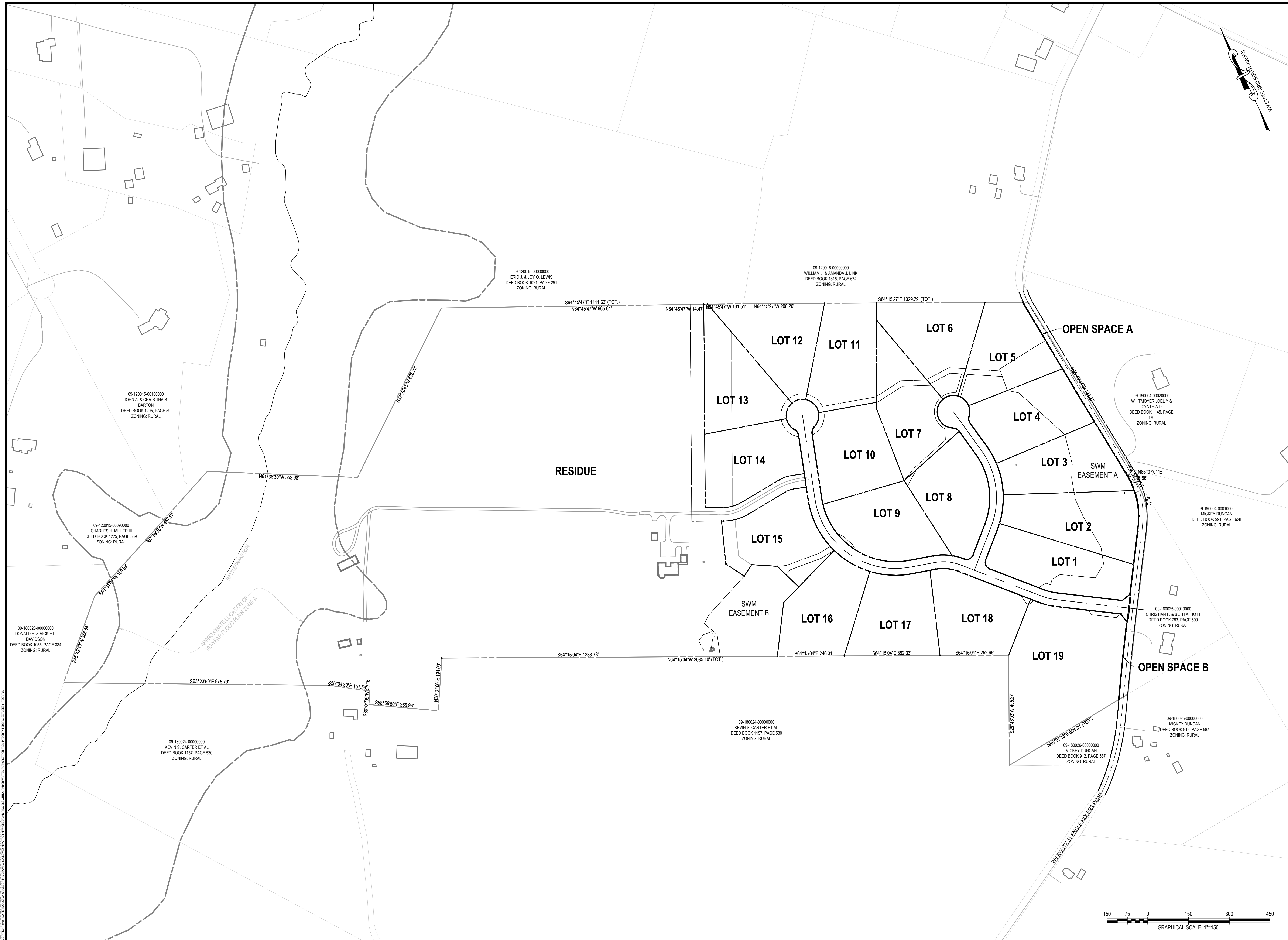
SEAL:
 JASON P. GERHART
 REGISTERED PROFESSIONAL ENGINEER
 No. 19127
 STATE OF WEST VIRGINIA
 12-1-25

REVISIONS	

T. 04/28/2025 - ADDRESSING 1ST SUB JEFFERSON COUNTY COMMENTS

OVERALL KEY MAP
HALLMARK GLEN
PRELIMINARY PLAT
 TAX MAP 18, PARCEL 25, D.B. 1338, PG. 538
 SHEPHERDSTOWN TAX DISTRICT
 JEFFERSON COUNTY, WEST VIRGINIA

SCALE:	HORIZ.: 1"=150'
	VERT.:
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DRAWN:	JCH
CHECK:	JPG
CADD:	C-CS-001.DWG
NCS:	
SHEET:	13 OF 34



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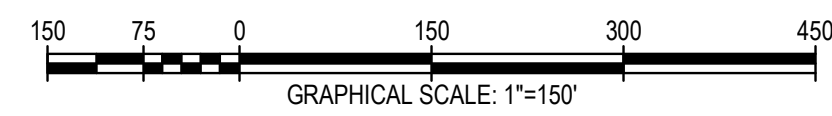
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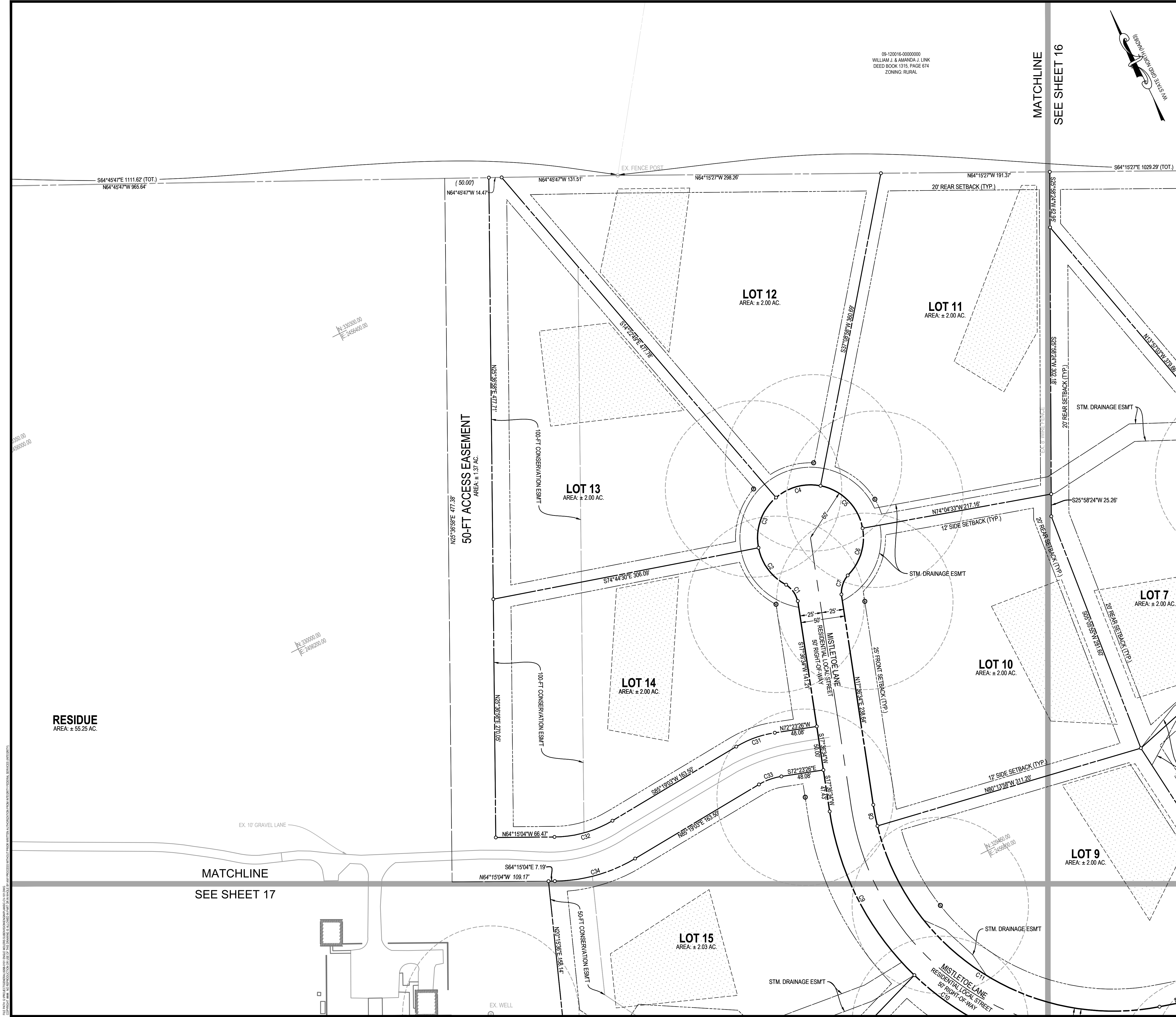
REVISIONS

NO.	DATE	DESCRIPTION

OVERALL PRELIMINARY PLAT
HALLMARK GLEN
PRELIMINARY PLAT
 TAX MAP 18, PARCEL 25, D.B. 1338, PG. 538
 SHEPHERDSTOWN TAX DISTRICT
 JEFFERSON COUNTY, WEST VIRGINIA

SCALE:	HORIZ.: 1"=150'
	VERT.:
DATE:	FEBRUARY 2025
JOB:	5098-0101
DRAWN:	JCH
CHECK:	JPG
CADD:	C-CV-101.DWG
NCS:	
SHEET:	14 OF 34





09-120016-0000000
 WILLIAM J. & AMANDA J. LINK
 DEED BOOK 1315, PAGE 674
 ZONING: RURAL

LEGEND

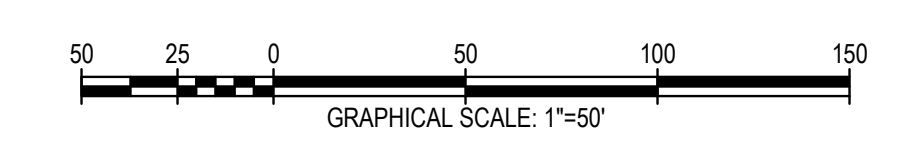
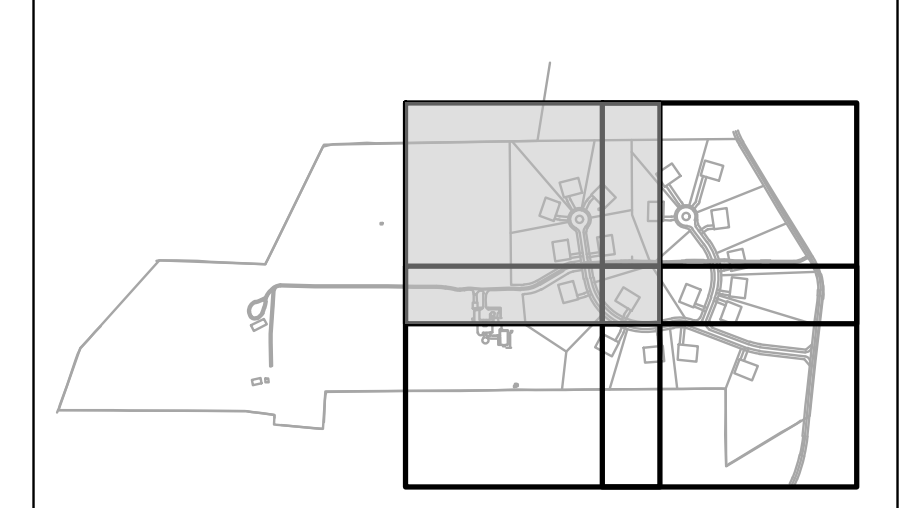
- SEPTIC RESERVE AREA (10,000 SF MIN.)
- PROPOSED WELL WITH 100-FT BUFFER
- EXISTING WELL WITH 100-FT BUFFER
- EX 5/8" REBAR UNLESS OTHERWISE NOTED
- PROPERTY CORNER (IRON REBAR TO BE SET)
- CONCRETE MONUMENT (TO BE SET)
- PROPOSED BUILDING SETBACK

CURVE TABLE

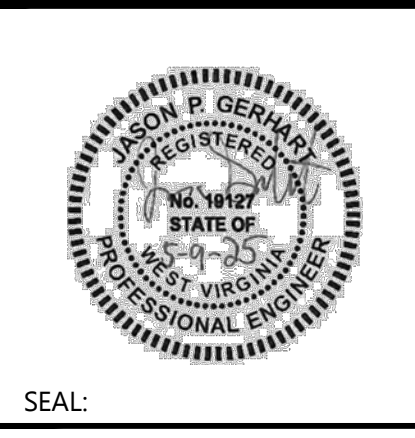
CURVE #	RADIUS	ARC LENGTH	DELTA	CHORD LENGTH	CHORD BEARING
C1	30.00	27.40	52°19'48"	26.46	S8°33'21"E
C2	60.00	52.34	49°58'45"	50.69	S9°43'52"E
C3	60.00	63.21	60°21'41"	60.33	S45°26'21"W
C4	60.00	53.96	51°31'47"	52.16	N78°36'55"W
C5	60.00	72.02	68°46'29"	67.77	N18°27'47"W
C6	60.00	56.56	54°00'55"	54.49	N42°55'55"E
C7	30.00	27.40	52°19'48"	26.46	N43°46'28"E
C8	275.00	24.37	5°04'40"	24.36	N15°04'14"E
C9	325.00	212.73	37°30'11"	208.95	S1°08'32"E
C10	325.00	154.10	27°10'01"	152.66	S33°28'38"E
C11	275.00	418.98	67°17'35"	379.61	N31°06'54"W
C31	120.00	46.69	22°17'31"	46.39	N83°32'12"W
C32	130.00	69.05	30°25'53"	68.24	N79°28'01"W
C33	70.00	27.23	22°17'31"	27.06	S83°32'12"E
C34	180.00	95.60	30°25'53"	94.48	S79°28'01"E

KEY MAP

(NOT TO SCALE)



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NO.	DATE	REVISIONS

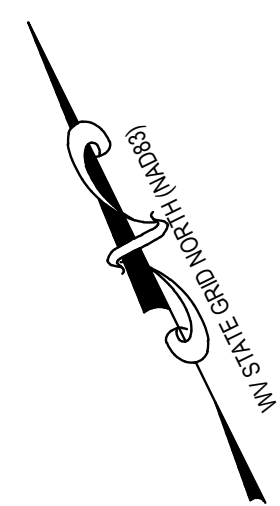
PRELIMINARY PLAT
HALLMARK GLEN
PRELIMINARY PLAT
 TAX MAP 18, PARCEL 25, D.B. 1338, PG. 538
 SHEPHERDSTOWN TAX DISTRICT
 JEFFERSON COUNTY, WEST VIRGINIA

SCALE:	HORIZ.: 1"=50'
	VERT.: 1"=50'
DATE:	FEBRUARY 2025
JOB:	5098-0101
DRAWN:	JCH
CHECK:	JPG
CADD:	C-CV-101.DWG
NCS:	
SHEET:	15 OF 34

00
LINK
BE 674

MATCHLINE
SEE SHEET 15

N 320°10'00"
E 2457'400.00



LEGEND

- SEPTIC RESERVE AREA (10,000 SF MIN.)
- PROPOSED WELL WITH 100-FT BUFFER
- EXISTING WELL WITH 100-FT BUFFER
- EX 5/8" REBAR UNLESS OTHERWISE NOTED
- PROPERTY CORNER (IRON REBAR TO BE SET)
- CONCRETE MONUMENT (TO BE SET)
- PROPOSED BUILDING SETBACK

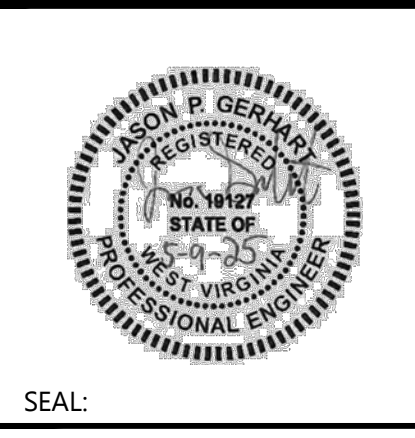
CURVE TABLE

CURVE #	RADIUS	ARC LENGTH	DELTA	CHORD LENGTH	CHORD BEARING
C14	200.00	70.41	20°10'20"	70.05	N64°40'31"W
C17	30.00	27.26	52°03'29"	26.33	N35°58'02"W
C18	60.00	144.56	138°02'43"	112.05	S7°01'35"W
C19	60.00	58.76	56°06'35"	56.44	N75°53'45"W
C20	60.00	54.88	52°24'11"	52.98	N21°38'22"W
C21	60.00	39.90	38°06'04"	39.17	N23°36'45"E
C22	30.00	27.54	52°38'04"	26.58	S16°21'45"W
C23	325.00	74.72	13°10'20"	74.55	N3°21'07"W
C24	325.00	118.86	20°57'17"	118.20	N13°42'42"E
C25	275.00	273.86	57°03'31"	262.68	N18°35'29"E
C26	325.00	106.91	18°50'49"	106.42	N33°36'45"E
C27	325.00	23.17	4°06'05"	23.16	N45°04'42"E
C28	200.00	40.87	11°42'35"	40.80	N48°44'04"W
C29	25.00	39.27	90°00'00"	35.36	N87°52'46"W
C35	247.21	33.94	7°51'56"	33.91	S3°17'17"E
C36	347.23	94.54	15°35'59"	94.25	S1°38'56"W
C38	263.03	73.95	16°06'32"	73.71	S19°14'27"W
C39	790.94	28.85	2°05'24"	28.85	S28°20'25"W
C76	300.00	136.55	26°04'47"	135.38	N19°56'28"E
C77	300.00	63.95	12°12'48"	63.83	N0°47'41"E

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REVISIONS

NO.	DATE	DESCRIPTION

PRELIMINARY PLAT

HALLMARK GLEN

PRELIMINARY PLAT

TAX MAP 18, PARCEL 25, D.B. 1338, PG. 538
SHEPHERDSTOWN TAX DISTRICT
JEFFERSON COUNTY, WEST VIRGINIA

SCALE: HORIZ.: 1"=50'
VERT.: 1"=50'

DATE: FEBRUARY 2025

JOB: 5098-0101

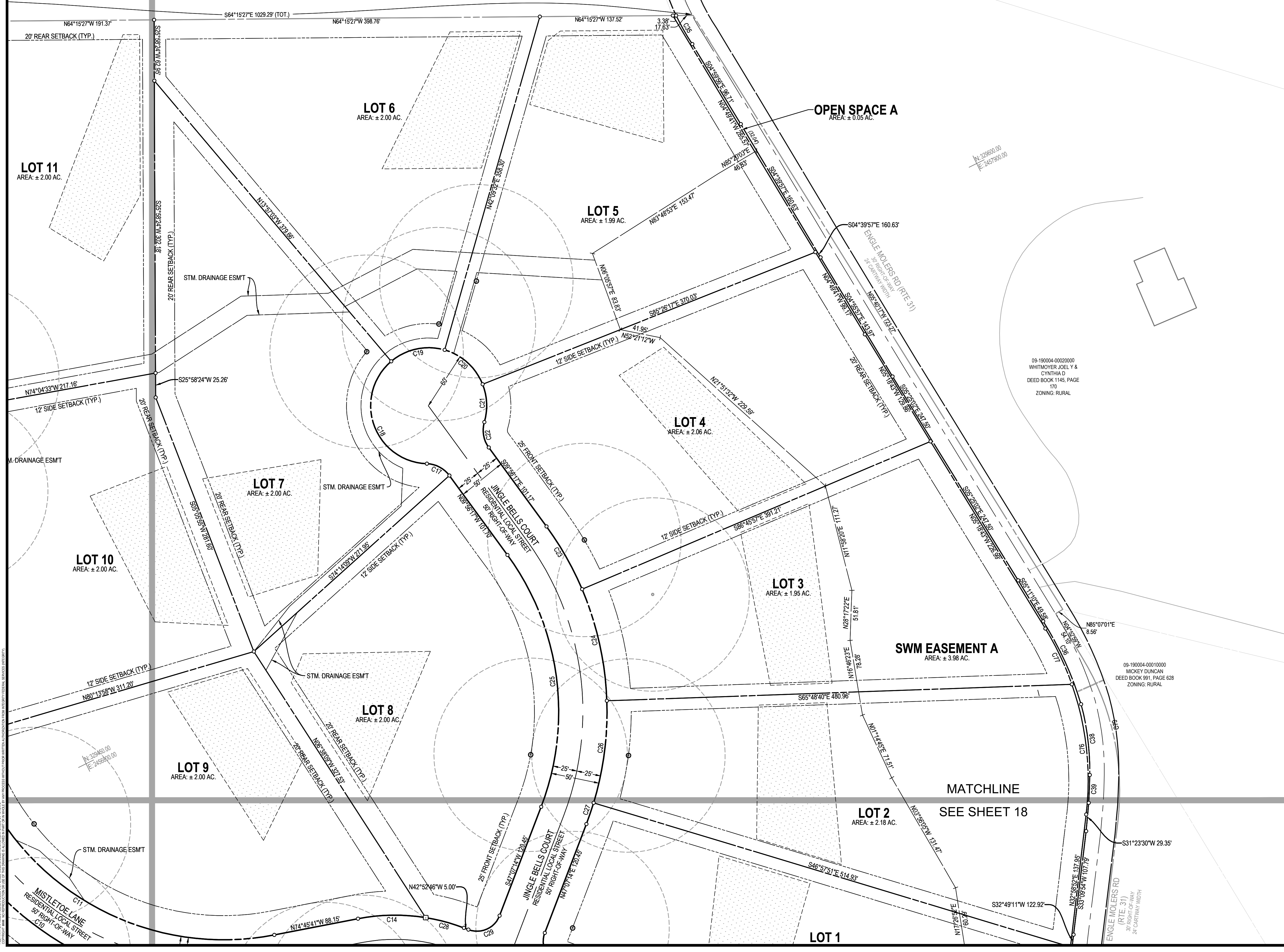
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CADD: C-CV-101.DWG

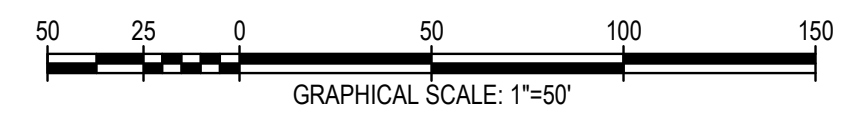
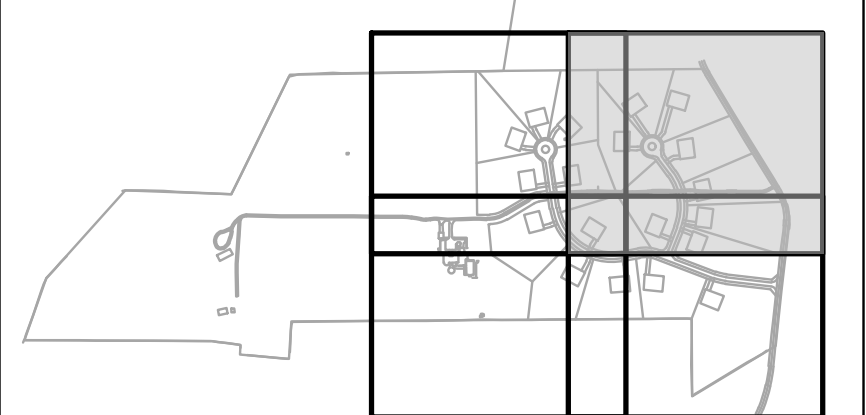
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SHEET: _____

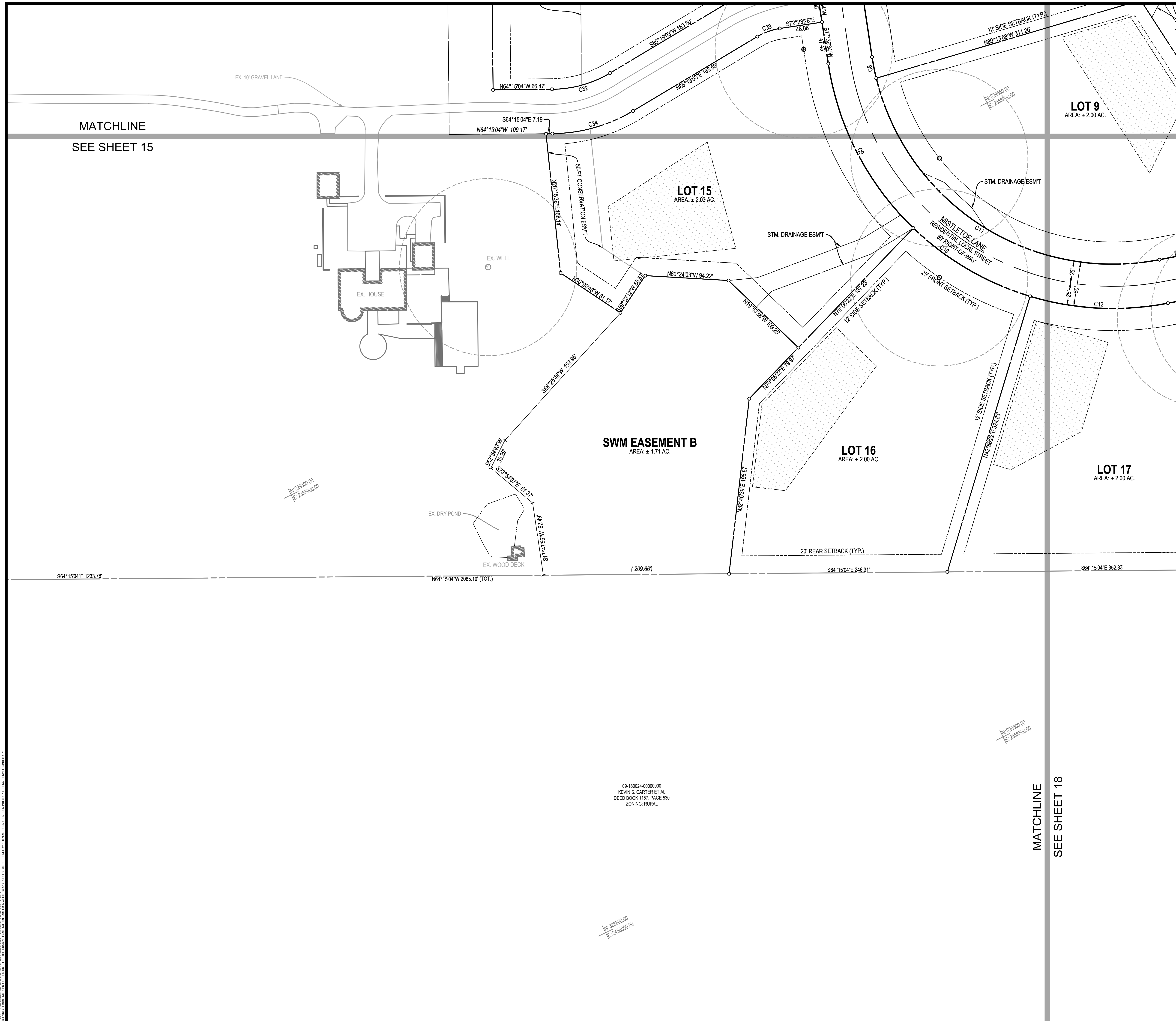
16 OF 34



KEY MAP
(NOT TO SCALE)



09-190004-00020000 WHITMOYER, JOEL Y & CYNTHIA D DEED BOOK 1145, PAGE 170 ZONING: RURAL
 09-190004-00010000 MICKEY DUNCAN DEED BOOK 991, PAGE 628 ZONING: RURAL
 09-190004-00010000 MICKEY DUNCAN DEED BOOK 991, PAGE 628 ZONING: RURAL
 09-190004-00010000 MICKEY DUNCAN DEED BOOK 991, PAGE 628 ZONING: RURAL



MATCHLINE
SEE SHEET 15

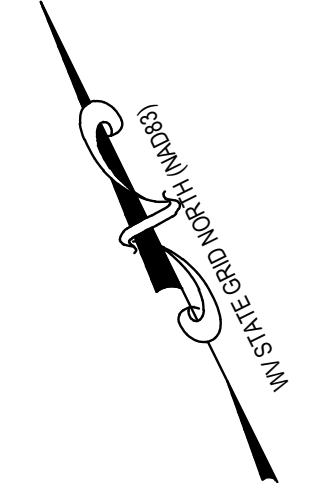
MATCHLINE
SEE SHEET 18

LEGEND

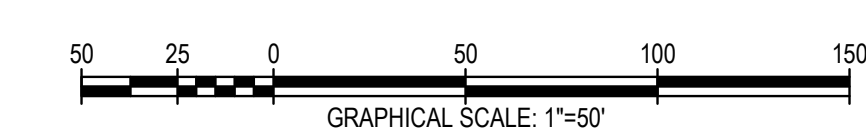
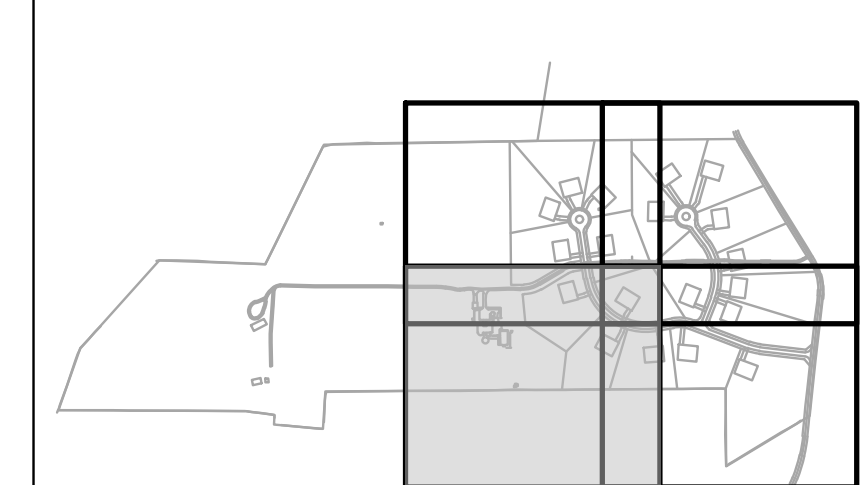
- SEPTIC RESERVE AREA (10,000 SF MIN.)
- PROPOSED WELL WITH 100-FT BUFFER
- EXISTING WELL WITH 100-FT BUFFER
- EX 5/8" REBAR UNLESS OTHERWISE NOTED
- PROPERTY CORNER (IRON REBAR TO BE SET)
- CONCRETE MONUMENT (TO BE SET)
- PROPOSED BUILDING SETBACK

CURVE TABLE

CURVE #	RADIUS	ARC LENGTH	DELTA	CHORD LENGTH	CHORD BEARING
C8	275.00	24.37	5°04'40"	24.36	N15° 04' 14"E
C9	325.00	212.73	37°30'11"	208.95	S1° 08' 32"E
C10	325.00	154.10	27°10'01"	152.66	S33° 28' 38"E
C11	275.00	418.98	87°17'35"	379.61	N31° 06' 54"W
C32	130.00	69.05	30°25'53"	68.24	N79° 28' 01"W
C33	70.00	27.23	22°17'31"	27.06	S83° 32' 12"E
C34	180.00	95.60	30°25'53"	94.48	S79° 28' 01"E



KEY MAP
(NOT TO SCALE)



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SEAL:

REVISIONS

NO.	DATE	DESCRIPTION

PRELIMINARY PLAT

HALLMARK GLEN

PRELIMINARY PLAT

TAX MAP 18, PARCEL 25, D.B. 1338, PG. 538
SHEPHERDSTOWN TAX DISTRICT
JEFFERSON COUNTY, WEST VIRGINIA

SCALE: HORIZ.: 1"=50'
VERT.: 1"=20'

DATE: FEBRUARY 2025

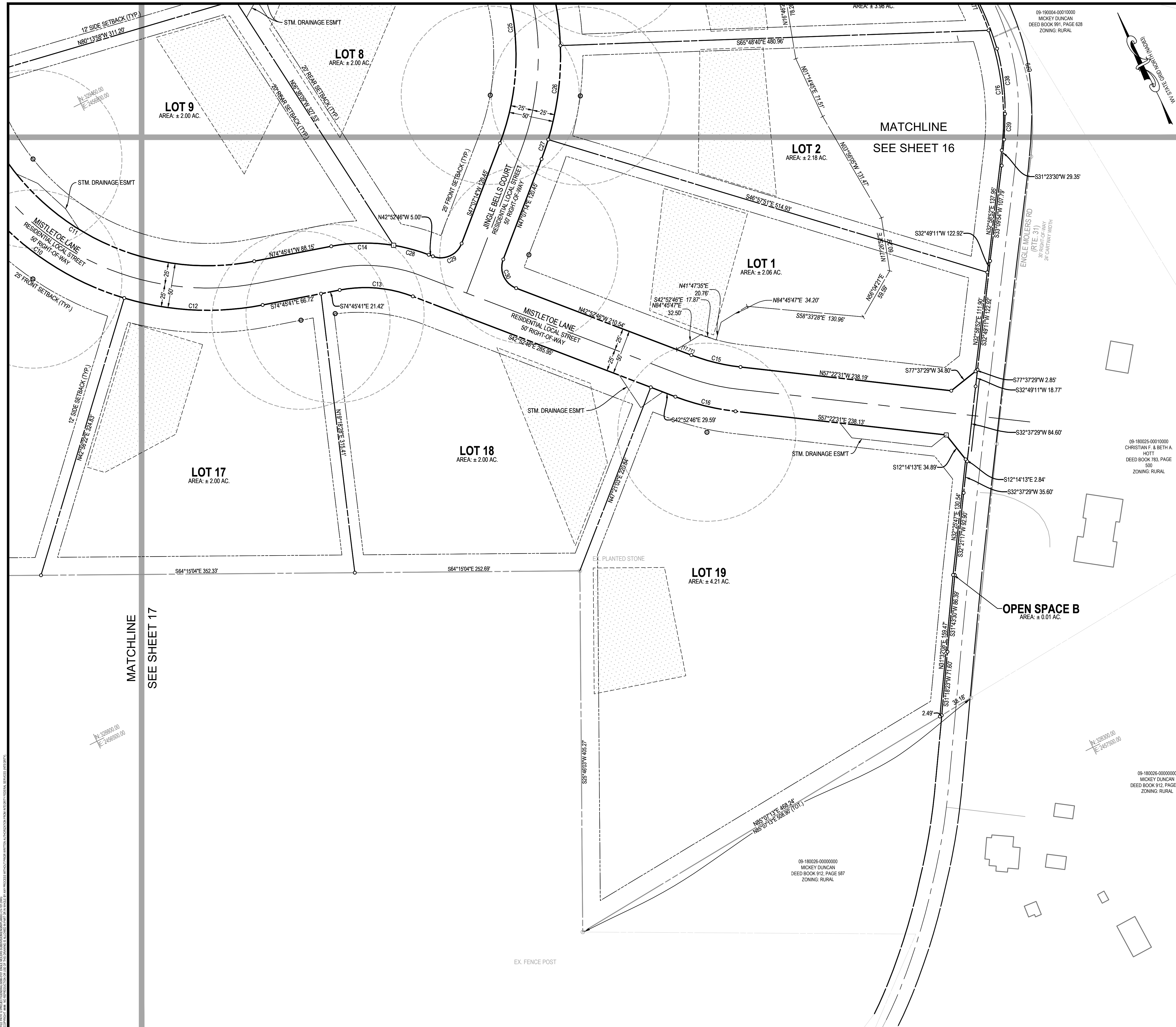
JOB: 5098-0101

DRAWN: JCH CHECK: JPG

CADD: C-CV-101.DWG

NCS: SHEET: 17 OF 34

09-180024-00000000
 KEVIN S. CARTER ET AL
 DEED BOOK 1157, PAGE 530
 ZONING: RURAL



LEGEND

- SEPTIC RESERVE AREA (10,000 SF MIN.)
- PROPOSED WELL WITH 100-FT BUFFER
- EXISTING WELL WITH 100-FT BUFFER
- EX 5/8" REBAR UNLESS OTHERWISE NOTED
- PROPERTY CORNER (IRON REBAR TO BE SET)
- CONCRETE MONUMENT (TO BE SET)
- PROPOSED BUILDING SETBACK

CURVE TABLE

CURVE #	RADIUS	ARC LENGTH	DELTA	CHORD LENGTH	CHORD BEARING
C10	325.00	154.10	27°10'01"	152.66	S33°28'38"E
C11	275.00	418.98	67°17'35"	379.61	N31°08'54"W
C12	325.00	157.13	27°42'03"	155.60	S60°54'40"E
C13	150.00	83.47	31°52'55"	82.39	S58°49'14"E
C14	200.00	70.41	20°10'20"	70.05	N64°40'31"W
C15	225.00	56.92	14°29'45"	56.77	S50°07'38"E
C16	275.00	69.57	14°29'45"	69.39	S50°07'38"E
C25	275.00	273.86	57°03'31"	262.68	N18°35'29"E
C26	325.00	106.91	18°50'49"	106.42	N33°36'45"E
C27	325.00	23.17	4°05'05"	23.16	N45°04'42"E
C28	200.00	40.87	11°42'35"	40.80	N48°44'04"W
C29	25.00	39.27	90°00'00"	35.36	N87°52'46"W
C30	25.00	39.27	90°00'00"	35.36	S2°07'14"W
C36	347.23	94.54	15°35'59"	94.25	S1°38'56"W
C38	263.03	73.95	16°06'32"	73.71	S19°14'27"W
C39	790.94	28.85	2°05'24"	28.85	S28°20'25"W

KEY MAP (NOT TO SCALE)

09-180025-00010000
MICKEY DUNCAN
DEED BOOK 991, PAGE 628
ZONING: RURAL

09-180025-00010000
CHRISTIAN F. & BETH A. HOTT
DEED BOOK 783, PAGE 500
ZONING: RURAL

09-180026-00000000
MICKEY DUNCAN
DEED BOOK 912, PAGE 587
ZONING: RURAL

09-180026-00000000
MICKEY DUNCAN
DEED BOOK 912, PAGE 587
ZONING: RURAL

09-180026-00000000
MICKEY DUNCAN
DEED BOOK 912, PAGE 587
ZONING: RURAL

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SEAL:

09-180025-00010000
CHRISTIAN F. & BETH A. HOTT
DEED BOOK 783, PAGE 500
ZONING: RURAL

REVISIONS

T. 04/28/2025 - ADDRESSING 1ST SUB. JEFFERSON COUNTY COMMENTS

PRELIMINARY PLAT

HALLMARK GLEN

PRELIMINARY PLAT

TAX MAP 18, PARCEL 25, D.B. 1338, PG. 538
SHEPHERDSTOWN TAX DISTRICT
JEFFERSON COUNTY, WEST VIRGINIA

SCALE: HORIZ.: 1"=50'
VERT.: 1"=50'

DATE: FEBRUARY 2025

JOB: 5098-0101

DRAWN: JCH CHECK: JPG

CADD: C-CV-101.DWG

NCS: CV104

SHEET: 18 OF 34



MATCHLINE
SEE SHEET 20

MATCHLINE
SEE SHEET 21

LEGEND

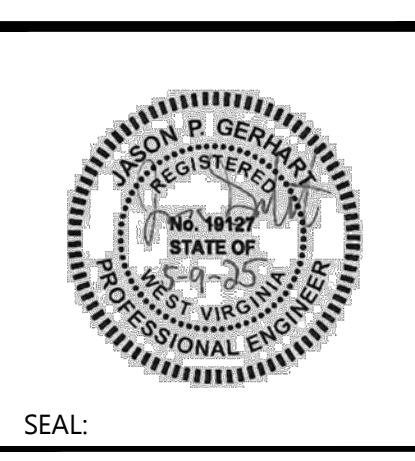
- LIMITS OF GRADING
- EX 10-FT CONTOUR
- EX 2-FT CONTOUR
- EX 2-FT CONTOUR (JC GIS)
- PROP 10-FT CONTOUR
- PROP 2-FT CONTOUR
- [Pattern] BIORETENTION MEDIA SURFACE
- [Pattern] TOP OF BERM
- [Pattern] ASPHALT PAVEMENT, SEE PAVEMENT SECTIONS
- [Pattern] 3-FT GRAVEL SHOULDER
- [Pattern] SEPTIC RESERVE AREA (10,000 SF MIN.)
- PROPOSED WELL

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REVISIONS

GRADING PLAN

HALLMARK GLEN

PRELIMINARY PLAT

TAX MAP 18, PARCEL 25, D.B. 1338, PG. 538
SHEPHERDSTOWN TAX DISTRICT
JEFFERSON COUNTY, WEST VIRGINIA

KEY MAP
(NOT TO SCALE)

SCALE: HORIZ.: 1"=50'
VERT.:

DATE: FEBRUARY 2025

JOB: 5098-0101

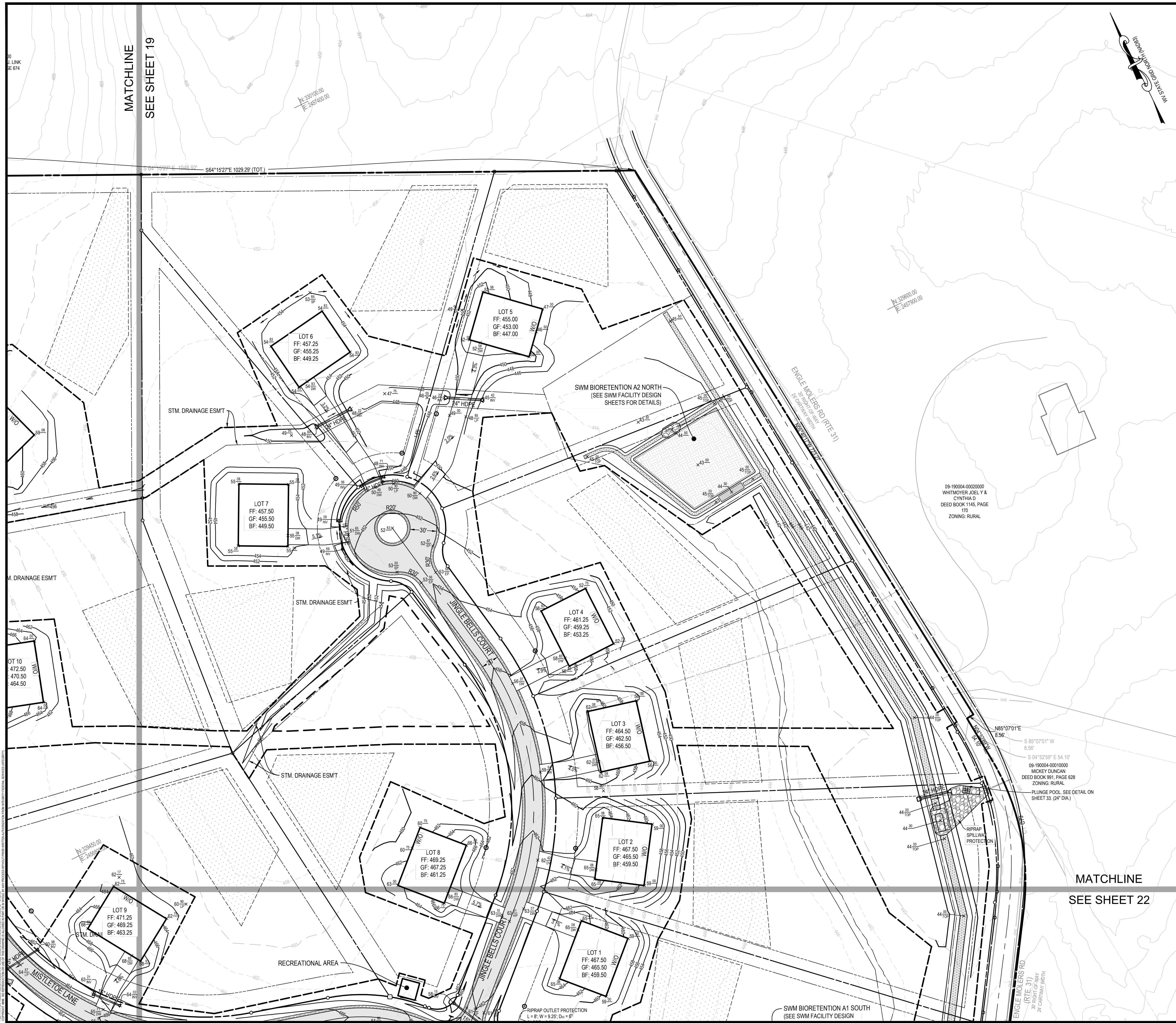
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NCS:

SHEET:

19 OF 34



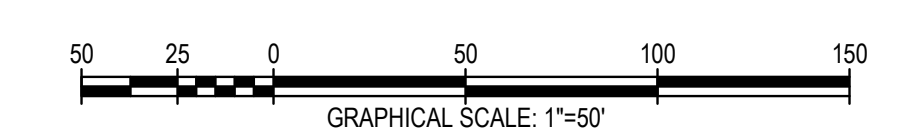
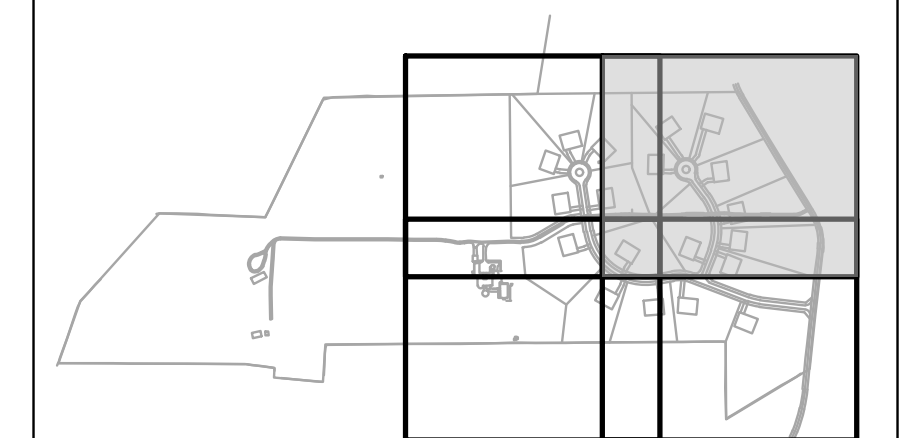
MATCHLINE
SEE SHEET 19

MATCHLINE
SEE SHEET 22

LEGEND

- LIMITS OF GRADING
- EX 10-FT CONTOUR
- EX 2-FT CONTOUR
- EX 2-FT CONTOUR (JC GIS)
- PROP 10-FT CONTOUR
- PROP 2-FT CONTOUR
- BIORETENTION MEDIA SURFACE
- TOP OF BERM
- ASPHALT PAVEMENT, SEE PAVEMENT SECTIONS
- 3-FT GRAVEL SHOULDER
- SEPTIC RESERVE AREA (10,000 SF MIN.)
- PROPOSED WELL

KEY MAP
(NOT TO SCALE)



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SEAL:

NO.	DATE	REVISIONS

T. 04/28/2025 - ADDRESSING 1ST SUB. JEFFERSON COUNTY COMMENTS

NO.	DATE	REVISIONS

GRADING PLAN

HALLMARK GLEN

PRELIMINARY PLAT

TAX MAP 18, PARCEL 25, D.B. 1338, PG. 538
SHEPHERDSTOWN TAX DISTRICT
JEFFERSON COUNTY, WEST VIRGINIA

SCALE:	HORIZ.: 1"=50'
	VERT.: 1"=10'
DATE:	FEBRUARY 2025
JOB:	5098-0101
DRAWN:	JCH
CHECK:	JPG
CADD:	C-GP-101.DWG
NCS:	
SHEET:	20 OF 34



- ### LEGEND
- LIMITS OF GRADING
 - - - EX 10-FT CONTOUR
 - - - EX 2-FT CONTOUR
 - - - EX 2-FT CONTOUR (JC GIS)
 - - - PROP 10-FT CONTOUR
 - - - PROP 2-FT CONTOUR
 - [Pattern] BIORETENTION MEDIA SURFACE
 - [Pattern] TOP OF BERM
 - [Pattern] ASPHALT PAVEMENT, SEE PAVEMENT SECTIONS
 - [Pattern] 3-FT GRAVEL SHOULDER
 - [Pattern] SEPTIC RESERVE AREA (10,000 SF MIN.)
 - PROPOSED WELL



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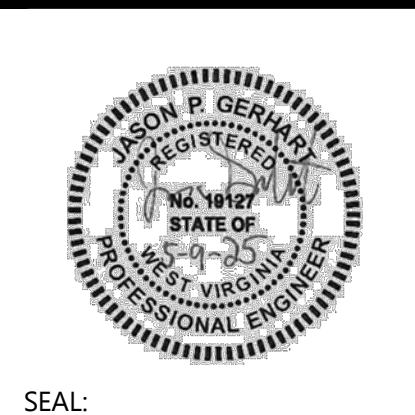
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 Marlinton, WV 25101 • www.ifs-ac.com

SEAL:

REVISIONS	

GRADING PLAN
HALLMARK GLEN
PRELIMINARY PLAT
 TAX MAP 18, PARCEL 25, D.B. 1338, PG. 538
 SHEPHERDSTOWN TAX DISTRICT
 JEFFERSON COUNTY, WEST VIRGINIA

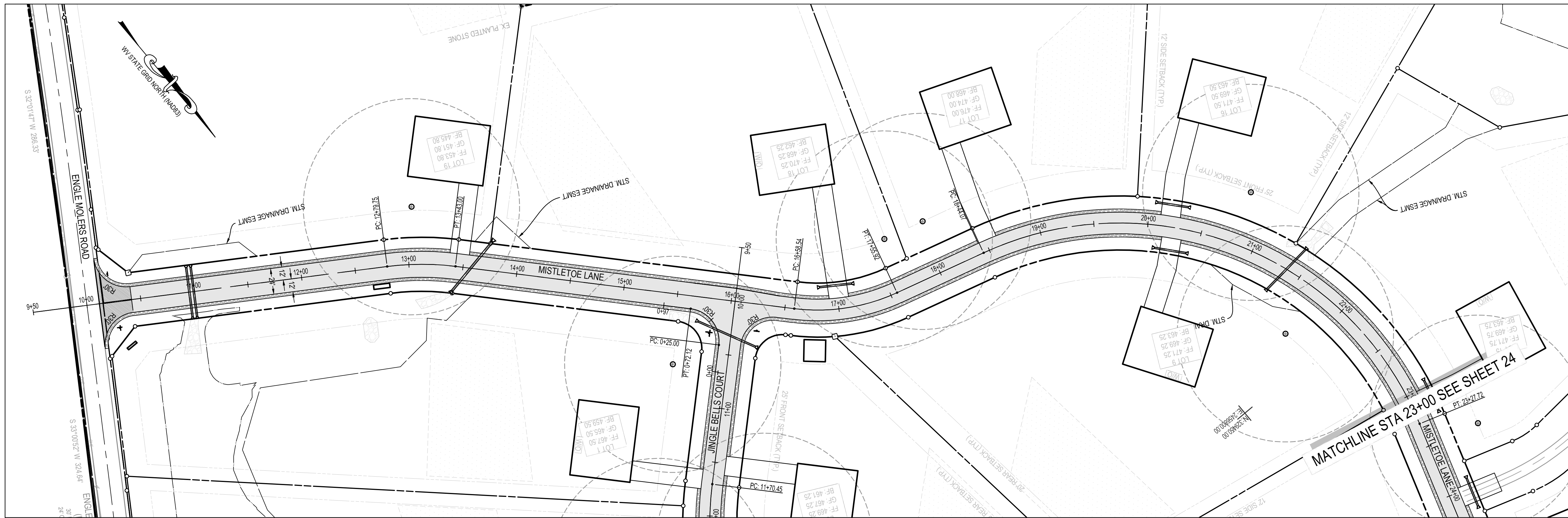
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DATE:	FEBRUARY 2025
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DRAWN:	JCH
CHECK:	JPG
CADD:	C-G-101.DWG
NCS:	
SHEET:	22 OF 34



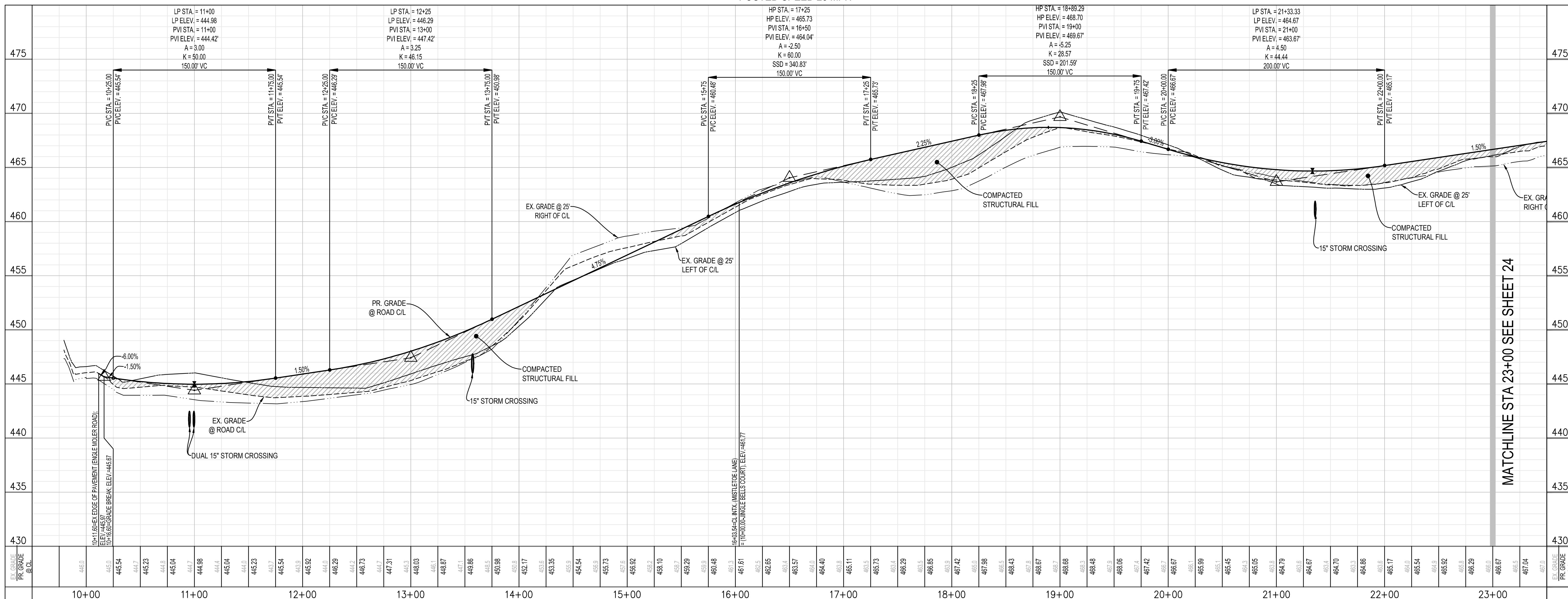
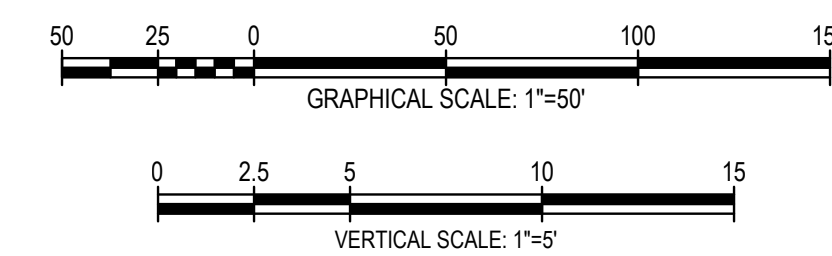
NO.	DATE	REVISIONS

MISTLETOE LANE PLAN & PROFILE
HALLMARK GLEN
 PRELIMINARY PLAT
 TAX MAP 18, PARCEL 25, D.B. 1338, PG. 538
 SHEPHERDSTOWN TAX DISTRICT
 JEFFERSON COUNTY, WEST VIRGINIA

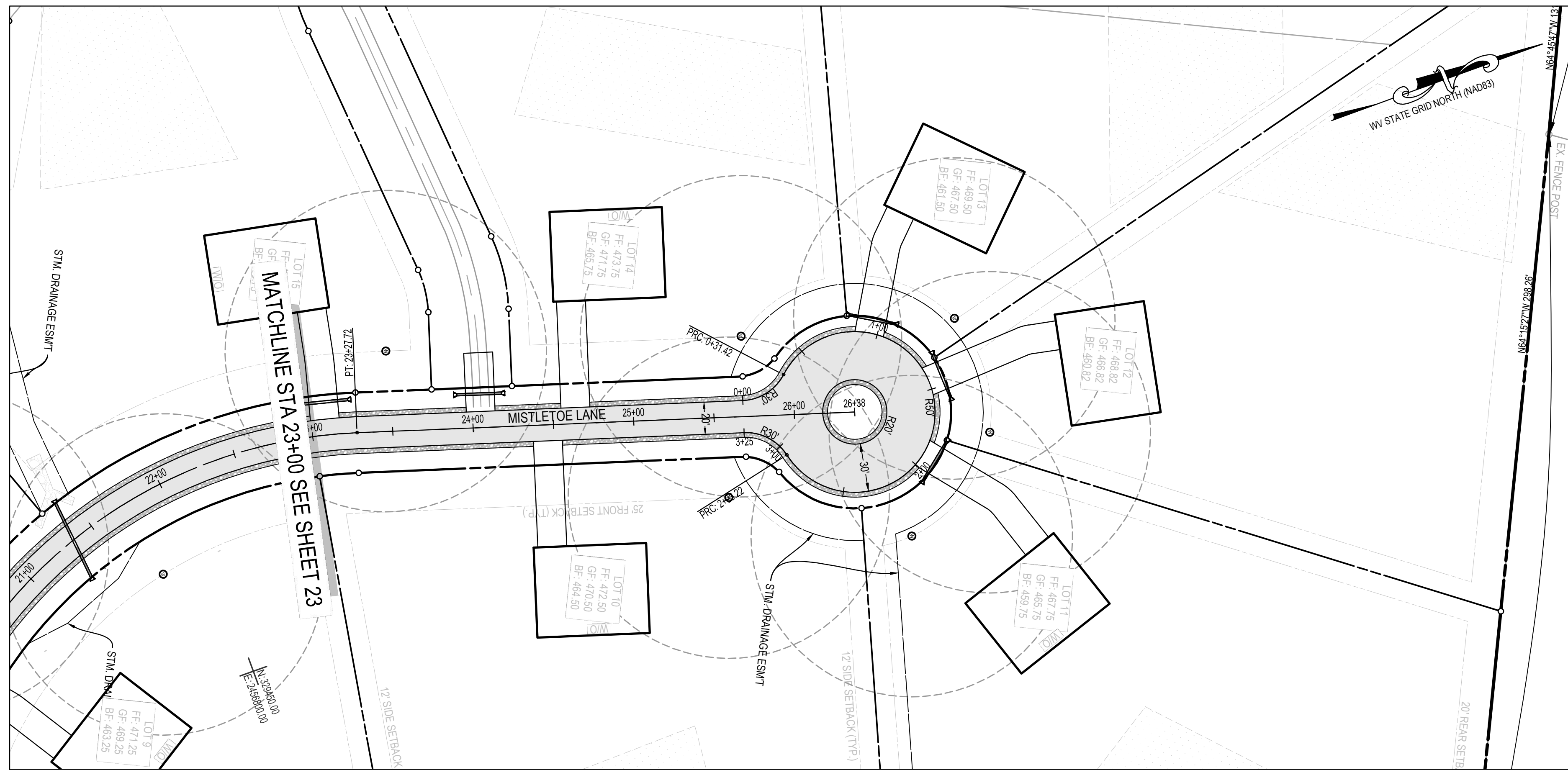
SCALE:	HORIZ: 1"=50'
	VERT: 1"=5'
DATE:	FEBRUARY 2025
JOB:	5098-0101
DRAWN:	JCH
CHECK:	JPG
CADD:	C-CT-201.DWG
NCS:	
SHEET:	23 OF 34



MISTLETOE LANE (STA. 10+00 - 23+00)
 50' RIGHT-OF-WAY
 RESIDENTIAL LOCAL STREET
 DESIGN SPEED: 30 MPH
 POSTED SPEED 25 MPH

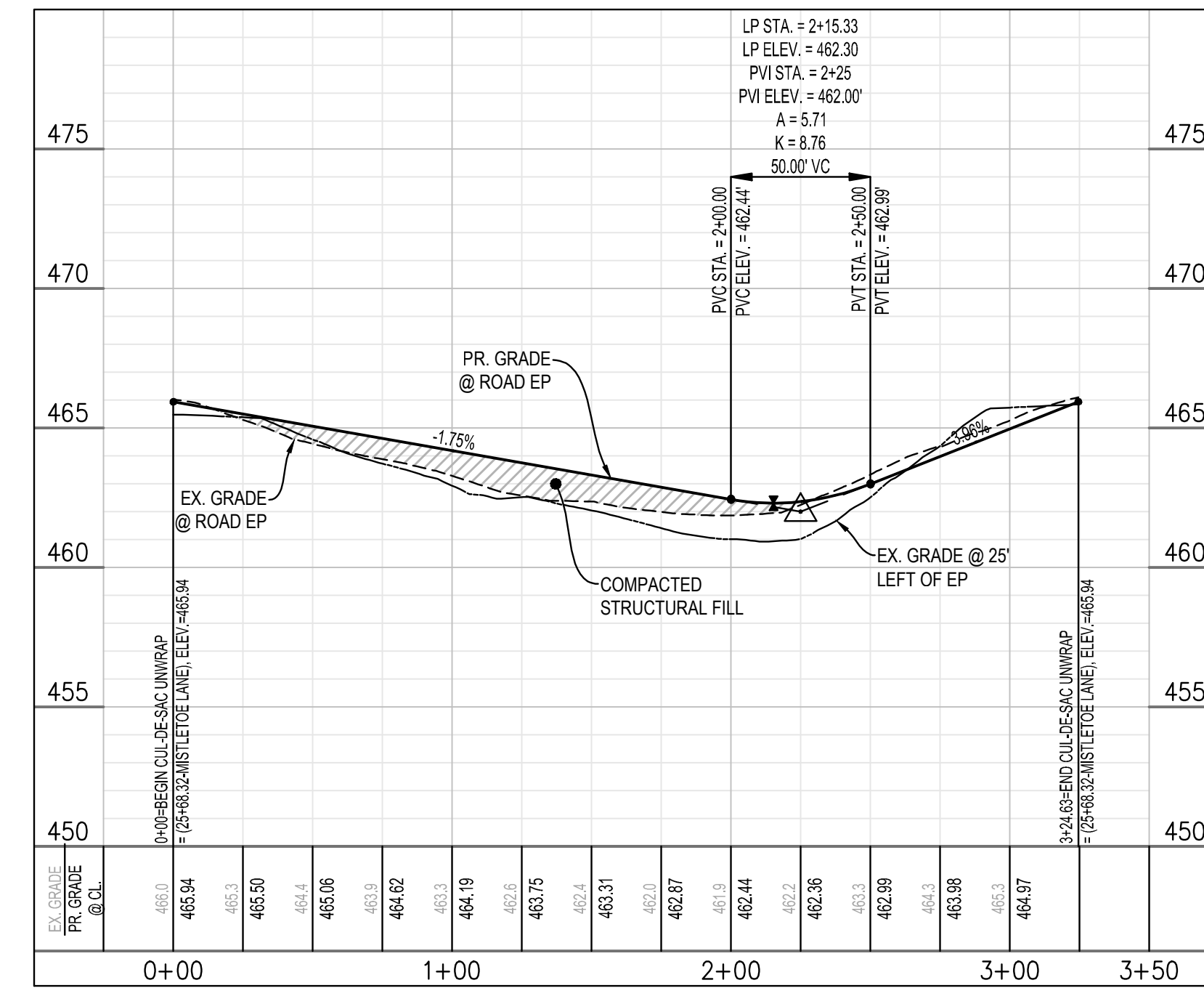
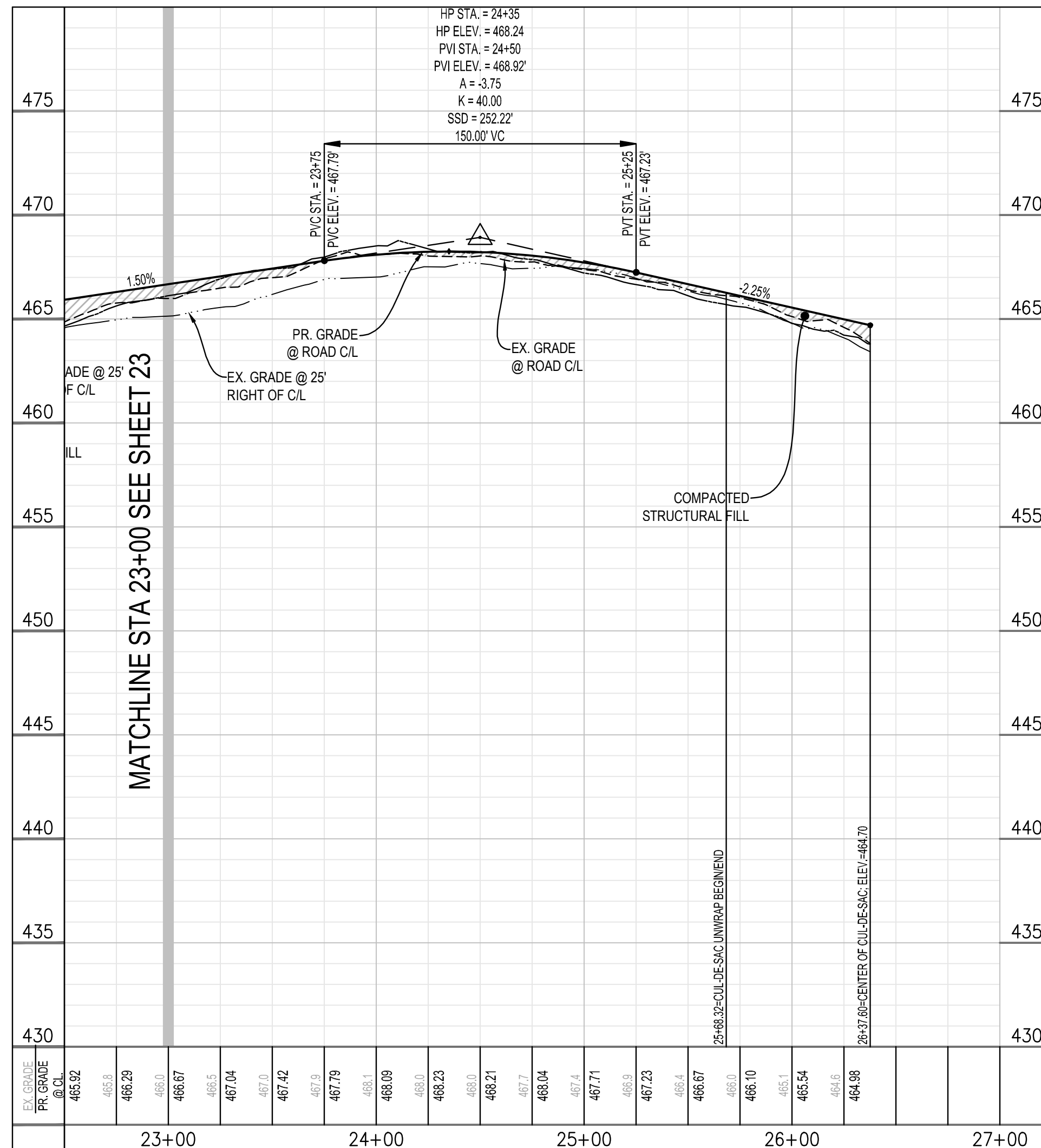


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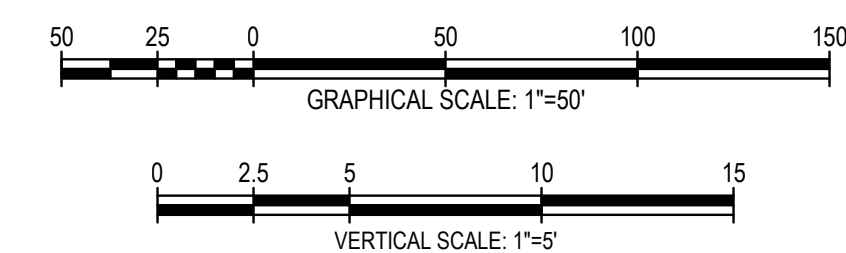


MISTLETOE LANE (STA. 23+00 - 26+38)

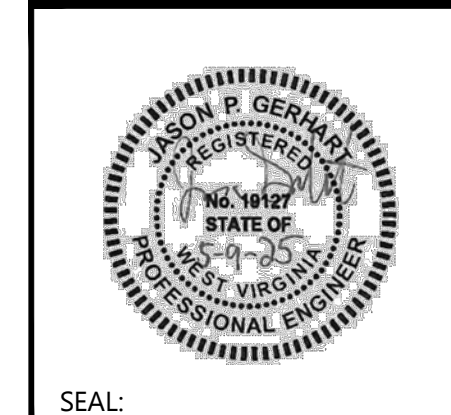
50' RIGHT-OF-WAY
RESIDENTIAL STREET
DESIGN SPEED: 30 MPH
POSTED SPEED 25 MPH



MISTLETOE LANE CUL-DE-SAC UNWRAP



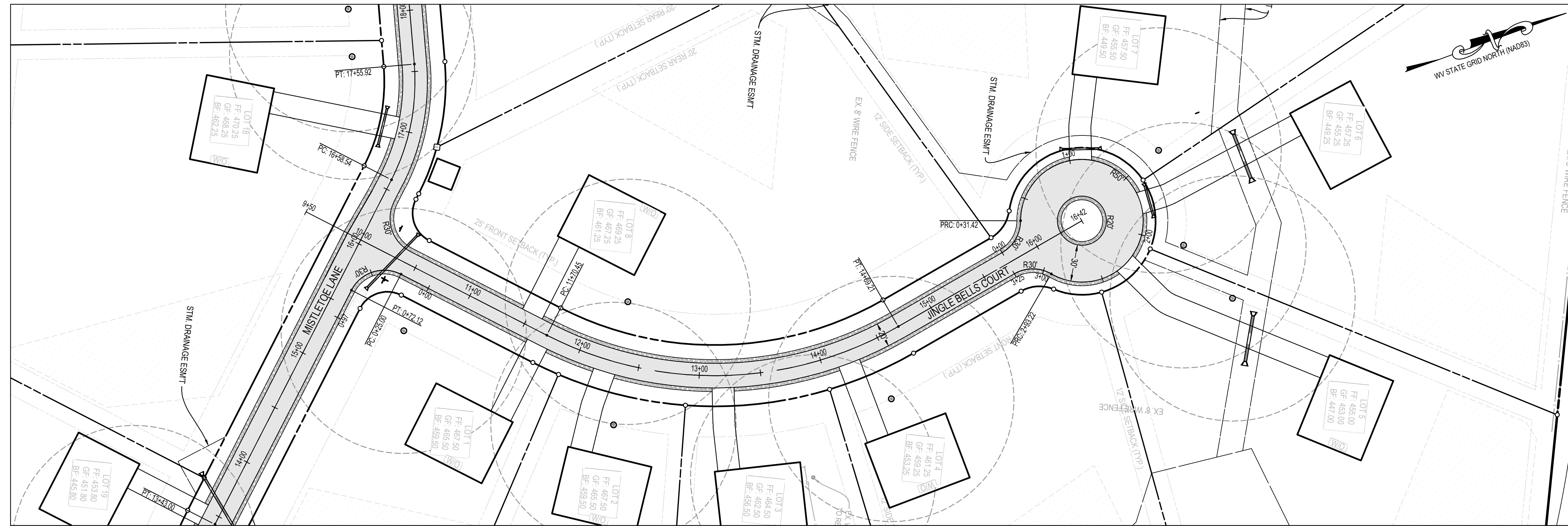
INTEGRITY FEDERAL SERVICES
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 Martinsburg, WV 25401 • www.ifc-ae.com



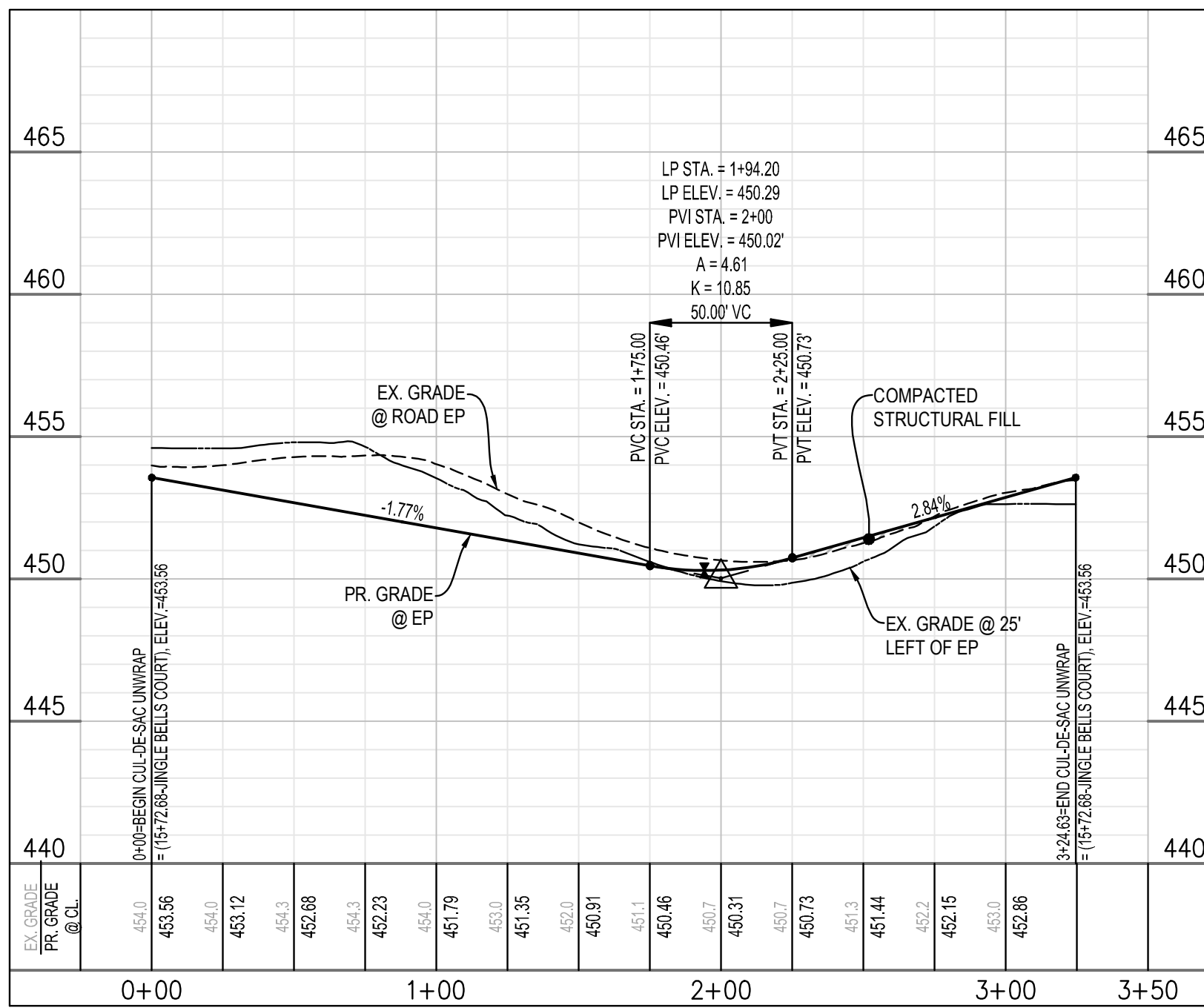
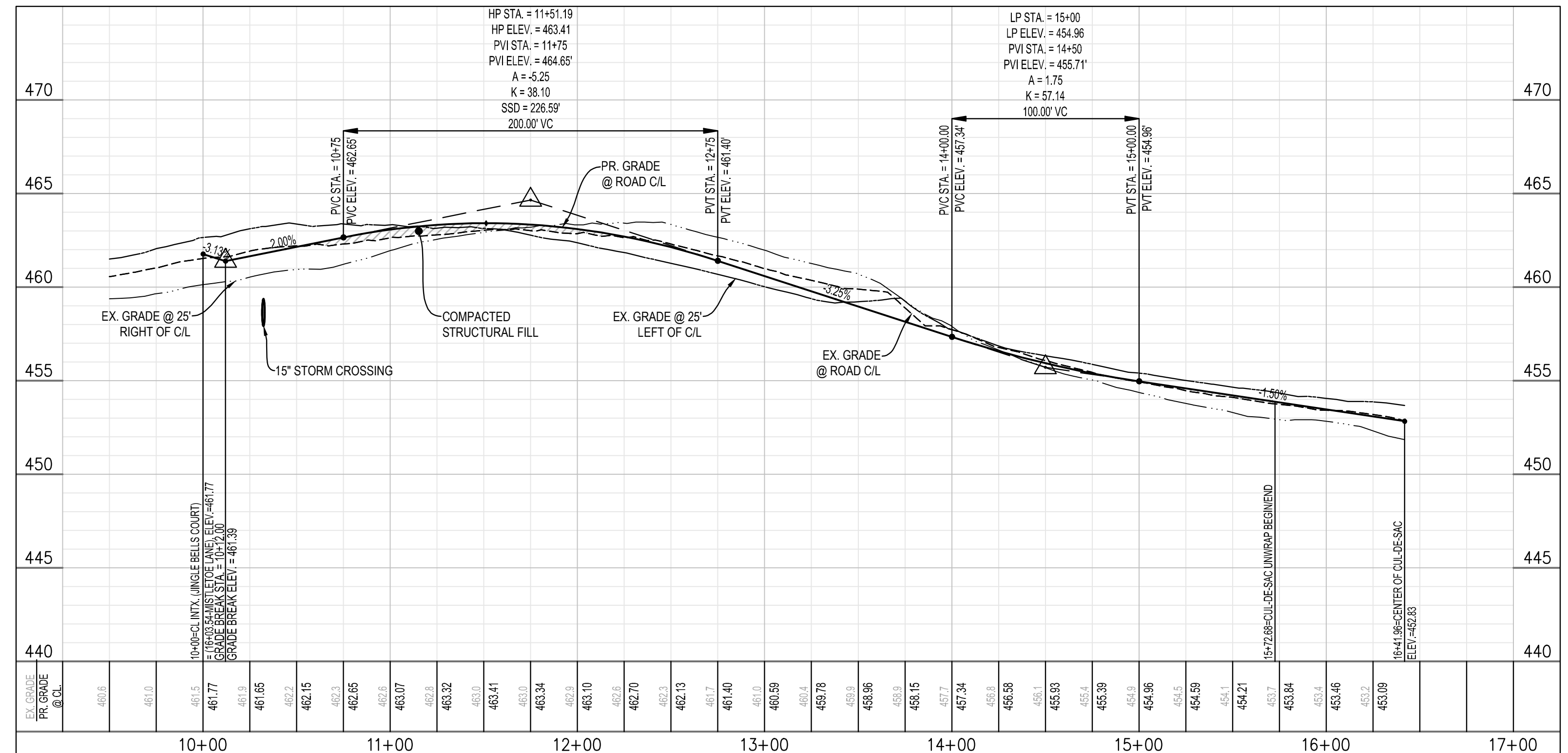
NO.	REVISIONS

MISTLETOE LANE PLAN & PROFILE
HALLMARK GLEN
PRELIMINARY PLAT
 TAX MAP 18, PARCEL 25, D.B. 1338, PG. 538
 SHEPHERDSTOWN TAX DISTRICT
 JEFFERSON COUNTY, WEST VIRGINIA

SCALE:	HORIZ.: 1"=50'
	VERT.: 1"=5'
DATE:	FEBRUARY 2025
JOB:	5098-0101
DRAWN:	JCH
CHECK:	JPG
CADD:	C-CT-201.DWG
NCS:	
SHEET:	



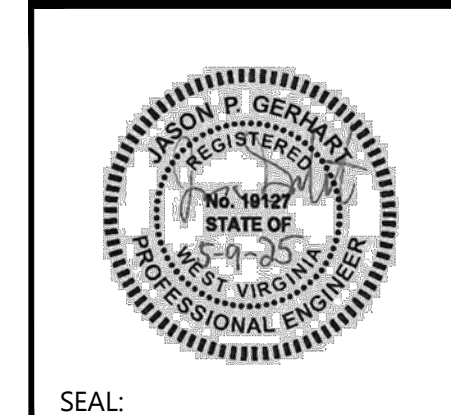
JINGLE BELLS COURT (STA. 10+00 - 16+42)
 50' RIGHT-OF-WAY
 RESIDENTIAL LOCAL STREET
 DESIGN SPEED: 30 MPH
 POSTED SPEED 25 MPH



JINGLE BELLS COURT CUL-DE-SAC UNWRAP

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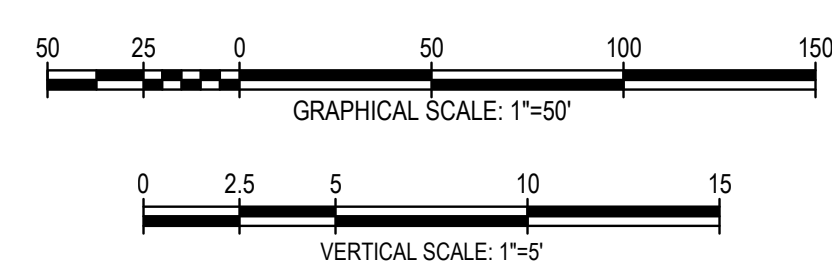
INTEGRITY FEDERAL SERVICES
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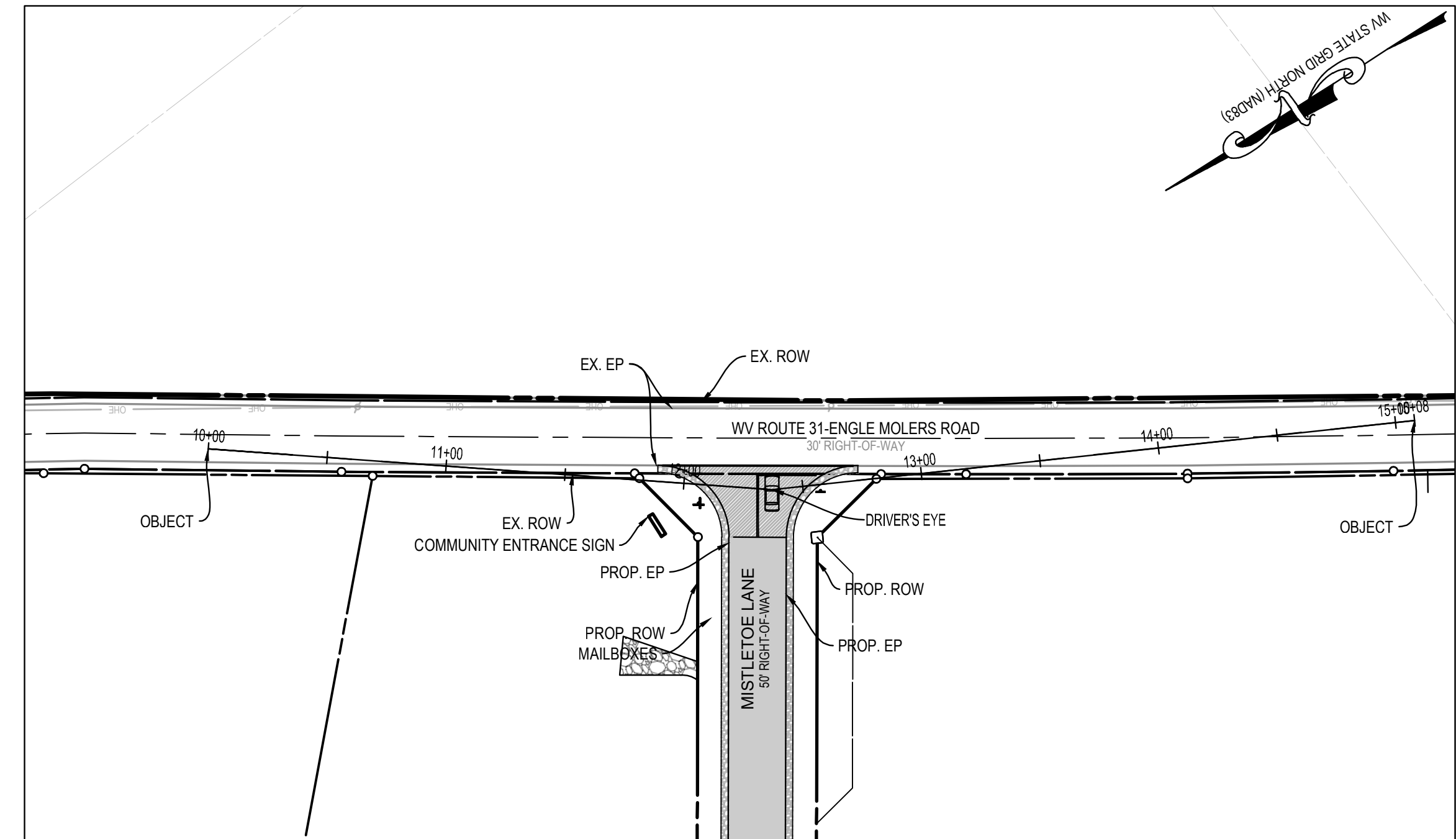
NO.	REVISIONS

JINGLE BELLS COURT PLAN & PROFILE
HALLMARK GLEN
PRELIMINARY PLAT
 TAX MAP 18, PARCEL 25, D.B. 1338, PG. 538
 SHEPHERDSTOWN TAX DISTRICT
 JEFFERSON COUNTY, WEST VIRGINIA

SCALE: HORIZ: 1"=50'
 VERT: 1"=5'
 DATE: FEBRUARY 2025
 JOB: 5098-0101
 DRAWN: JCH CHECK: JPG
 CADD: C-CT-201.DWG
 NCS:
 SHEET:
25 OF 34

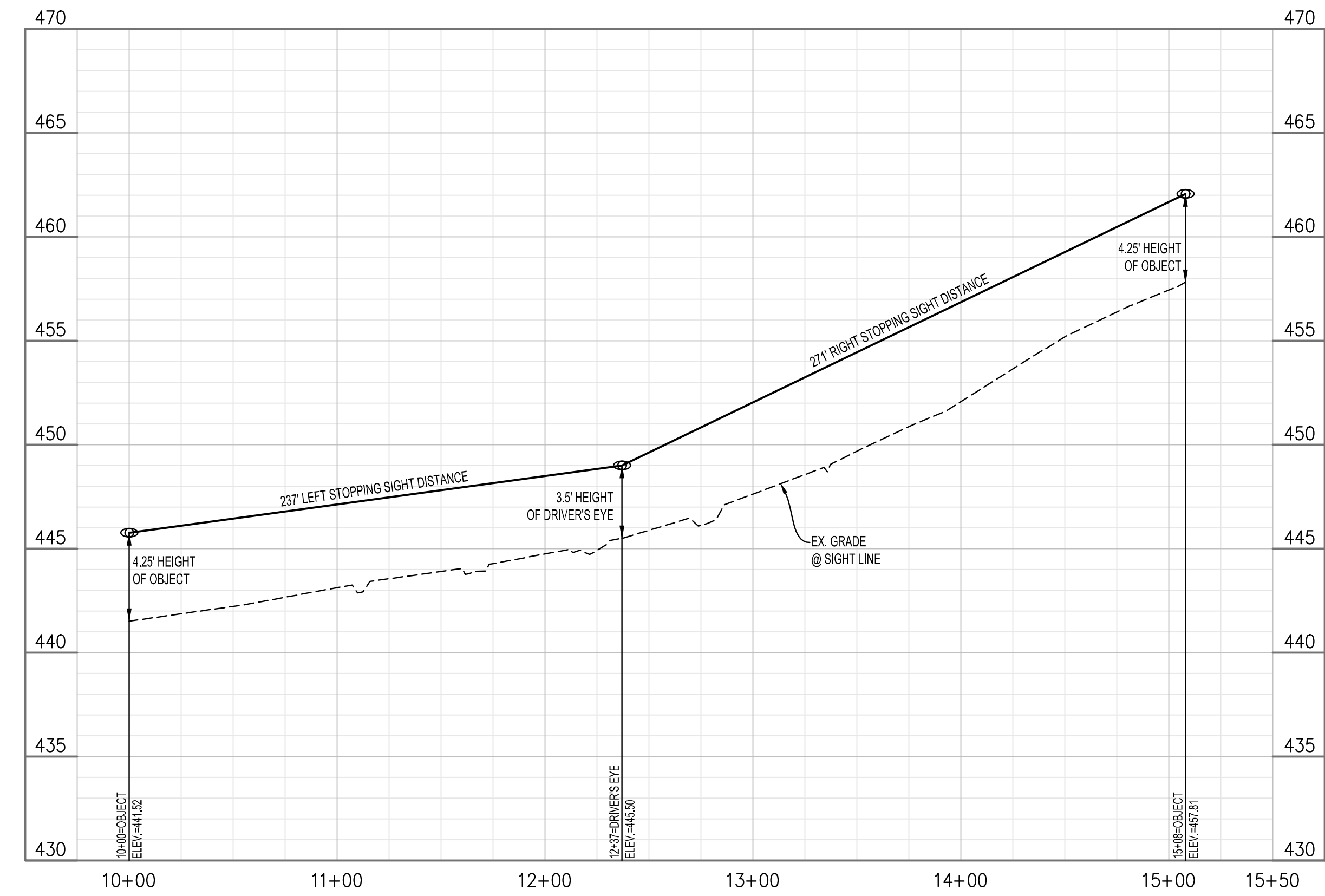
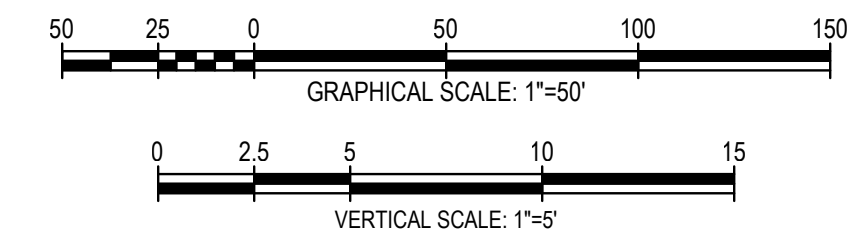


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MISTLETOE LANE SIGHT DISTANCE PLAN & PROFILE

POSTED SPEED = 30 MPH
 DESIGN SPEED = 35 MPH
 WV RT. 31 ROAD GRADE = +2%, -5%
 UP GRADE AT 3% = 237' REQUIRED
 DOWN GRADE AT 6% = 271' REQUIRED



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NO.	REVISIONS

SIGHT DISTANCE PLAN & PROFILE
HALLMARK GLEN
PRELIMINARY PLAT
 TAX MAP 18, PARCEL 25, D.B. 1338, PG. 538
 SHEPHERDSTOWN TAX DISTRICT
 JEFFERSON COUNTY, WEST VIRGINIA

SCALE:	HORIZ.: 1"=50' VERT.: 1"=5'
DATE:	FEBRUARY 2025
JOB:	5098-0101
DRAWN:	JCH
CHECK:	JPG
CADD:	C-CT-204.DWG
NCS:	
SHEET:	26 OF 34

GENERAL NOTES:

- ALL TRAFFIC CONTROL SHALL BE THE RESPONSIBILITY OF THE DEVELOPER. TRAFFIC CONTROL SIGNS AND MAINTENANCE OF TRAFFIC SHALL COMPLY WITH THE STANDARDS OF THE WEST VIRGINIA DEPARTMENT OF TRANSPORTATION. STANDARD TEMPORARY TRAFFIC CONTROL CASES AS FROM THE WEST VIRGINIA DEPARTMENT OF TRANSPORTATION DIVISION OF HIGHWAYS, 2008 MANUAL ON TEMPORARY TRAFFIC CONTROL FOR STREETS AND HIGHWAYS SHALL BE UTILIZED FOR THIS PROJECT.
- EXISTING PAVEMENT SHALL BE SAW CUT TO TIE IN NEW ENTRANCE APRON.
- NO LANE CLOSURES ARE PERMITTED BETWEEN THE HOURS OF 6:00-9:00 AM & 3:00-6:00 PM.
- SEE THIS SHEET FOR DETAILS SHOWING CASES FROM THE WEST VIRGINIA DIVISION OF HIGHWAYS, MANUAL ON TEMPORARY TRAFFIC CONTROL FOR STREETS AND HIGHWAYS, 2008 EDITION.
- CONTRACTOR SHALL CONTACT KENNETH CLOHAN AT WVDOH (KENNETH.L.CLOHAN@WV.GOV OR 304-260-4392) PRIOR TO ANY PAVEMENT MARKINGS OR SIGNAGE BEING INSTALLED.
- CONTRACTOR SHALL CONTACT KEVIN McDONALD AT WVDOH (KEVIN.A.MCDONALD@WV.GOV) AT LEAST 48 HOURS PRIOR TO BEGINNING WORK WITHIN WVDOH RIGHT-OF-WAY (AFTER OBTAINING APPROVED PERMITS).
- CONTRACTOR SHALL CONTACT TOM CALDWELL AT WVDOH (TOM.N.CALDWELL@WV.GOV OR 681-320-2039) FOR UTILITY PERMITS.

MAINTENANCE OF TRAFFIC NOTES:

- TRAFFIC CONTROL, SAFETY MEASURES, AND MAINTENANCE OF TRAFFIC SHALL BE IN ACCORDANCE WITH THE MOST CURRENT EDITION OF EACH OF THE FOLLOWING AND ANY REVISION THERETO:
 - THE WEST VIRGINIA DIVISION OF HIGHWAYS STANDARD SPECIFICATIONS FOR ROADS AND BRIDGES (2017) (WITH LATEST UPDATES REFERRED TO AS THE SUPPLEMENTAL SPECIFICATIONS (2020)).
 - THE WEST VIRGINIA DEPARTMENT OF TRANSPORTATION, DIVISION OF HIGHWAYS, MANUAL ON TEMPORARY TRAFFIC CONTROL FOR STREETS AND HIGHWAYS, 2008 EDITION.
 - MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, 2009 EDITION (WITH UPDATES).
 - THE AASHTO ROADSIDE DESIGN GUIDE, 4TH EDITION.
- REFLECTIVE SHEETING ON TEMPORARY TRAFFIC CONTROL DEVICES SHALL BE OF NEW CONDITION AT THE BEGINNING OF THE PROJECT LIFE. NIGHT VISIBILITY AND LEGIBILITY SHALL BE MAINTAINED.
- ACCESS TO ALL HOUSES AND BUSINESSES SHALL BE MAINTAINED AT ALL TIMES.
- FLAGGER: WHEN WORK IS PERFORMED AT NIGHT WITH A FLAGGER, THE FLAGGER STATIONS SHALL BE ADEQUATELY ILLUMINATED.
- TEMPORARY TAPE: ANY TEMPORARY TAPE SHALL BE MECHANICALLY APPLIED. SOLID LINES SHALL HAVE A 2" GAP EVERY FIFTY FEET.
- EXISTING SIGNS AND DELINEATORS: ANY SUCH EXISTING FACILITIES RELOCATED, REMOVED, OR DAMAGED BY THE CONTRACTOR SHALL BE REPLACED TO ITS ORIGINAL CONDITION BY THE CONTRACTOR AT THEIR EXPENSE, UNLESS REPLACED BY FINAL SIGNING.
- WHEN COVERING EXISTING SIGNS, THE CONTRACTOR HAS THE OPTIONS OF USING:
 - HEAVY DUTY BLOCK OVERLAY (PLASTIC OR BURLAP TYPE)
 - THIN WOOD OVERLAY (E.G. PLYWOOD)
 - TAKING SIGNS DOWN AND RE-INSTALLING WHEN APPROPRIATE
 - ANY DAMAGES CAUSED BY ABOVE NAMED SHALL BE REPAIRED/REPLACED TO ITS ORIGINAL CONDITION AT CONTRACTOR'S EXPENSE.
- ANY TEMPORARY CONCRETE BARRIER SHALL HAVE TYPE 8" X 12" B-1 DELINEATORS (WHITE OR YELLOW AS APPROPRIATE) FACING TRAFFIC AT 20 FOOT CENTERS.
- TYPE 'B' LIGHTS SHALL BE INSTALLED ON ALL LEAD-IN SIGNING AND BARRICADES.
- FINAL LOCATIONS OF THE TRAFFIC CONTROL DEVICES SHALL BE ESTABLISHED IN THE FIELD.
- RESTORE ANY PAVED, LANDSCAPED, CURBED, & SIDEWALK AREAS DISTURBED DURING CONSTRUCTION ACTIVITIES TO ITS ORIGINAL CONDITION.

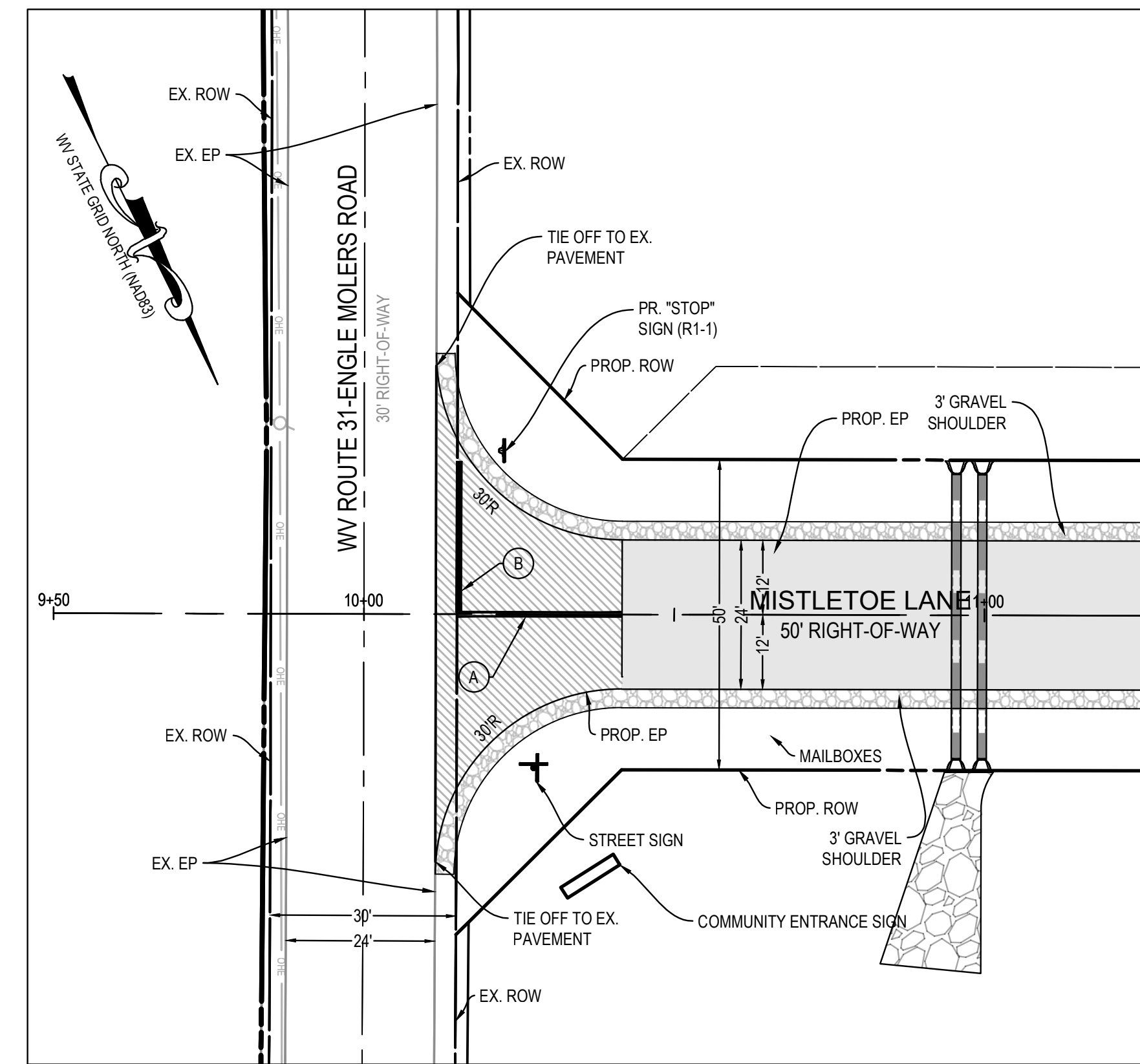
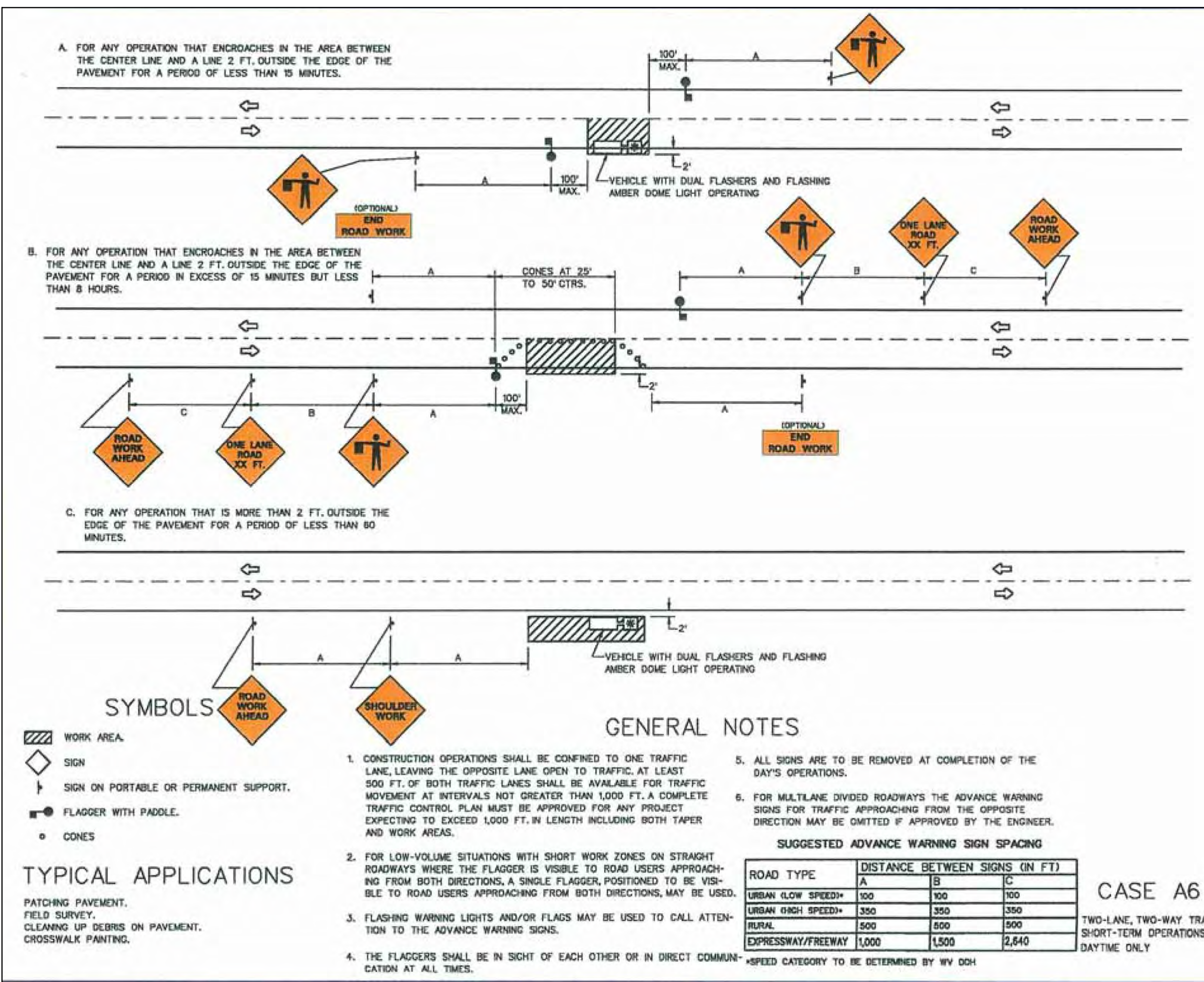
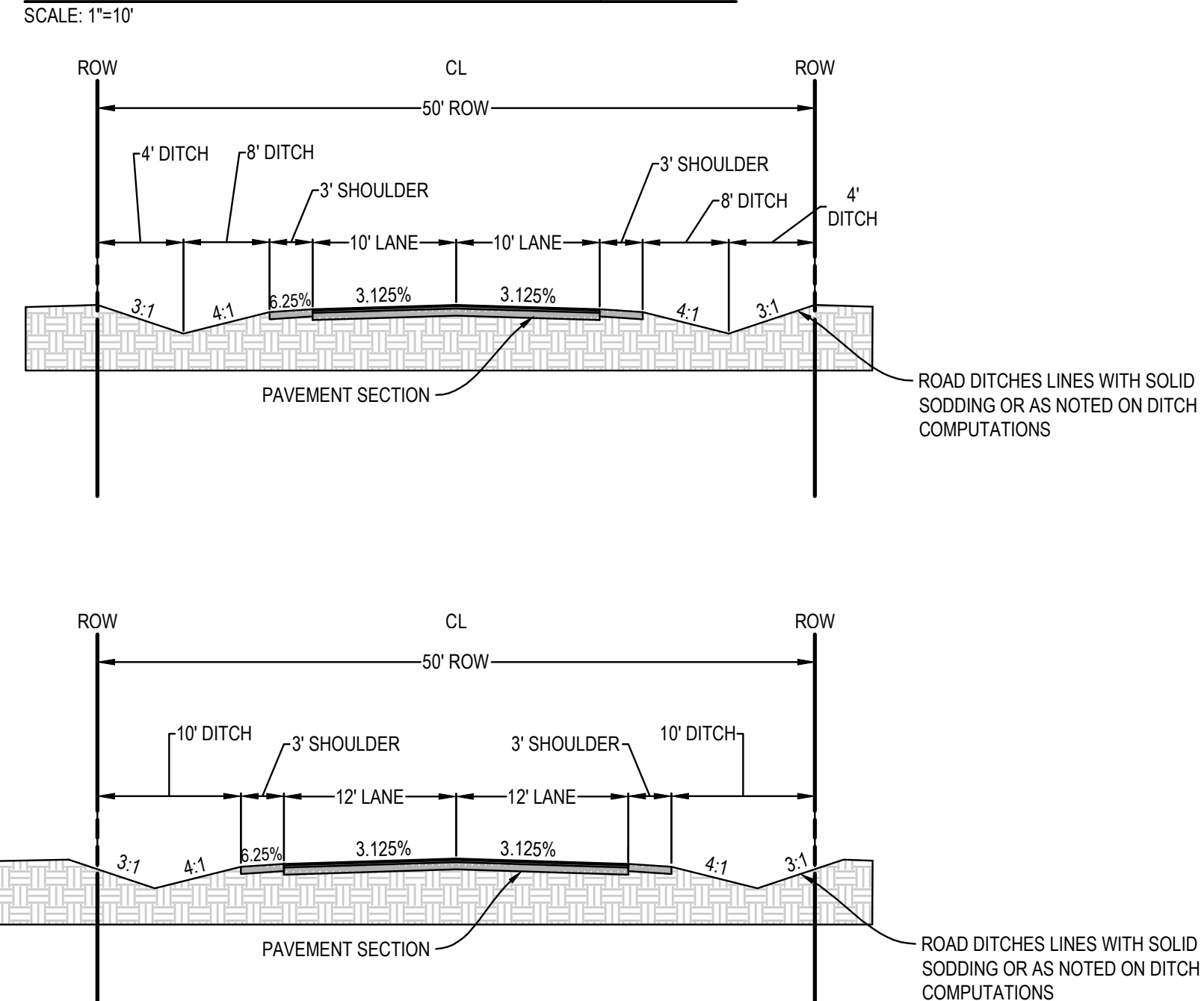
DROP OFF GUIDANCE NOTES:

- ALL EXCAVATION MUST BE FILLED WITH A SAFE SLOPE ADJACENT TO TRAFFIC AT THE END OF EACH WORK DAY OR WHEN LANE CLOSURES ARE NOT IN PLACE.

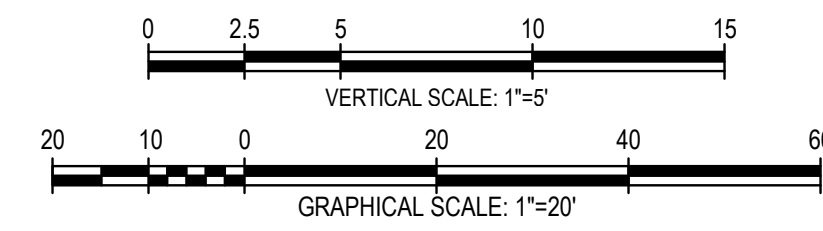
SIGNING & PAVEMENT MARKING NOTES:

- ALL PROPOSED SIGNING, TEMPORARY AND PERMANENT, AND PAVEMENT MARKING SHALL BE IN ACCORDANCE WITH THE MOST CURRENT EDITION OF EACH OF THE FOLLOWING AND ANY REVISION THERETO:
 - THE WEST VIRGINIA DIVISION OF HIGHWAYS DESIGN GUIDE FOR SIGNING.
 - THE WEST VIRGINIA DIVISION OF HIGHWAYS SIGN FABRICATION DETAILS (REFERRED TO AS THE SIGN FABRICATION MANUAL).
 - THE WEST VIRGINIA DIVISION OF HIGHWAYS STANDARD SPECIFICATIONS FOR ROADS AND BRIDGES (2017) (WITH LATEST UPDATES REFERRED TO AS THE SUPPLEMENTAL SPECIFICATIONS (2020)).
 - THE WEST VIRGINIA DIVISION OF HIGHWAYS STANDARD DETAILS BOOK, VOLUME II, SIGNING, SIGNALS, LIGHTING, MARKINGS AND ITS.
 - THE WEST VIRGINIA DIVISION OF HIGHWAYS TRAFFIC ENGINEERING DIRECTIVES REGARDING SIGNING.
 - THE WEST VIRGINIA DIVISION OF HIGHWAYS MANUAL ON TEMPORARY TRAFFIC CONTROL FOR STREETS AND HIGHWAYS 2008 EDITION).
 - MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS 2009 EDITION (WITH UPDATES)
 - AASHTO STANDARD SPECIFICATIONS FOR STRUCTURAL SUPPORTS FOR HIGHWAY SIGNS, LUMINAIRES AND TRAFFIC SIGNALS (REFERRED TO AS THE AASHTO SUPPORT SPECIFICATIONS).
- ALL PAVEMENT MARKINGS SHALL BE WVDOH TYPE II OR V PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
- PROPOSED SIGN LOCATIONS ARE APPROXIMATE AND SHALL BE MODIFIED IN THE FIELD TO AVOID CONFLICT WITH UNDERGROUND UTILITIES OR OTHER OBSTRUCTIONS, AND TO COMPLY WITH STANDARDS REFERENCED IN GENERAL NOTE 1.
- EXISTING STRIPING SHOWN IS APPROXIMATE. ANY EXISTING PAVEMENT MARKINGS, WHICH WILL CONFLICT WITH PROPOSED PAVEMENT MARKINGS, SHALL BE COMPLETELY ERADICATED.
- LIMITS SHOWN OF PROPOSED MARKINGS ARE APPROXIMATE AND SHALL BE MODIFIED IN THE FIELD TO INSURE THAT PROPOSED PAVEMENT MARKINGS CONTINUE UNTIL EXISTING PAVEMENT MARKINGS CAN BE MATCHED.
- NO MARKINGS SHALL BE PLACED ON EXPANSION JOINTS ON STRUCTURES OR ON LONGITUDINAL CONSTRUCTION JOINTS UNLESS SO DIRECTED BY THE ENGINEER.
- POST REMOVAL FOR GROUND MOUNTED SIGNS ON EXISTING BREAKAWAY SUPPORTS SHALL INCLUDE EITHER CONCRETE REMOVAL OF THE EXISTING STUB(S) OR THE CUTTING OFF OF THE EXISTING STUB(S) TO A MINIMUM OF SIX (6) INCHES BELOW GROUND AND THE RESTORATION OF THE GROUND TO ITS ORIGINAL CONDITION.
- REFER TO APPROVED TRAFFIC SIGNAL PLAN FOR PROPER LOCATIONS OF STOP LINES AND CROSSWALKS WHEN APPLICABLE.
- CONTRACTOR SHALL ENSURE THAT ANY SIGNS TO BE RELOCATED ARE IN GOOD CONDITION. IF EXISTING SIGN ARE DAMAGED NEW SIGNS SHALL BE RELOCATED HEREIN THIS PLAN AND SPECIFICATIONS INCLUDED HEREIN.
- REFER TO WVDOH STANDARD DETAILS BOOK VOLUME II, DETAILS TEM-1, TEM-2, AND TEM-3 FOR PAVEMENT MARKING SPECIFICATIONS.
- IF APPLICABLE, ALL PAVEMENT MARKINGS SHALL BE REDONE WHEN FINAL PAVING IS COMPLETED.
- CONTRACTOR SHALL CONTACT WVDOH DISTRICT 5 TRAFFIC ENGINEER PRIOR TO PLACEMENT OF ANY STOP SIGNS AND/OR STOP BARS ON DEVELOPMENT APPROACHES TO WVDOH ROADWAYS, TO ENSURE THESE ARE PROPERLY PLACED IN THE FIELD.

TYPICAL STREET SECTIONS: RESIDENTIAL LOCAL STREET (MAX 25 LOTS)



MISTLETOE LANE
 PLAN & PROFILE
 50' RIGHT-OF-WAY
 DESIGN SPEED: 30 MPH
 POSTED SPEED: 25 MPH

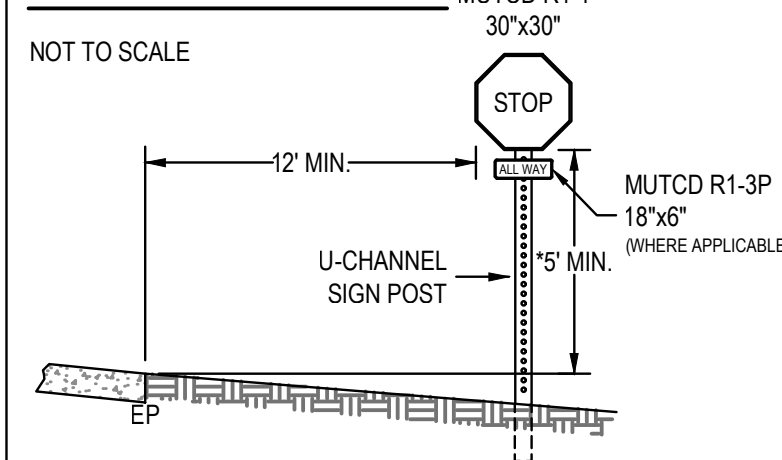


CASE A6

ROAD TYPE	A	B	C
URBAN LOW SPEED**	100	150	200
URBAN HIGH SPEED**	350	350	350
RURAL	500	500	500
EXPRESSWAY/FREEWAY	1,000	1,500	2,040

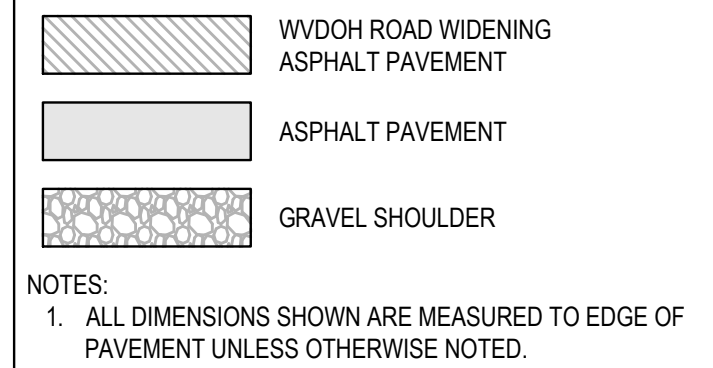
NOTES:
 **SPEED CATEGORY TO BE DETERMINED BY WV DOH

STOP SIGN DETAIL:

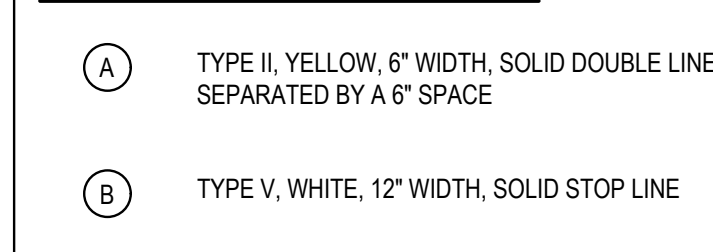


- NOTES:
- FOR MORE EXTENSIVE STANDARDS REFER TO THE CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS 2009 EDITION AND THE STANDARDS OF THE WEST VIRGINIA DEPARTMENT OF TRANSPORTATION.
 - U-CHANNEL POST SHALL BE PER WVDOH STANDARD DETAIL SHEET TE1-7A.
 - ALL STOP BARS SHALL BE TYPE V, WHITE, 12" WIDE, SOLID STOP LINES.

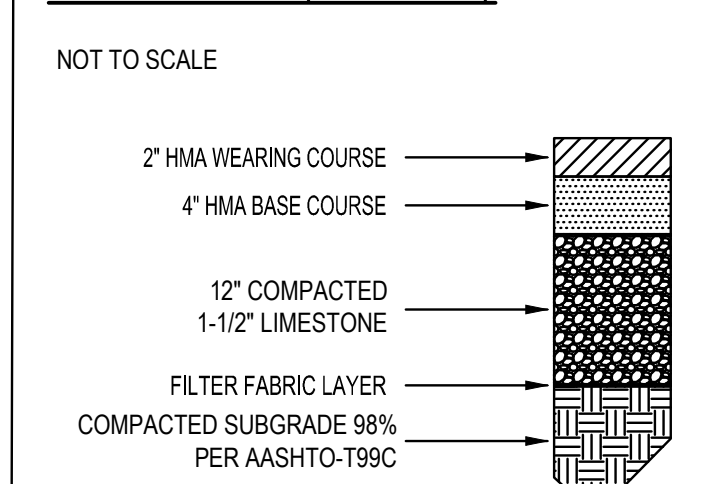
PAVEMENT LEGEND:



PAVEMENT MARKING LEGEND:



MINIMUM TYPICAL PAVEMENT SECTIONS: (WVDOH)



- NOTES:
- SOILS TESTS OF SUBGRADE MUST BE SUBMITTED FOR ACTUAL DETERMINATION OF REQUIRED PAVEMENT SECTION THICKNESS PRIOR TO CONSTRUCTION.



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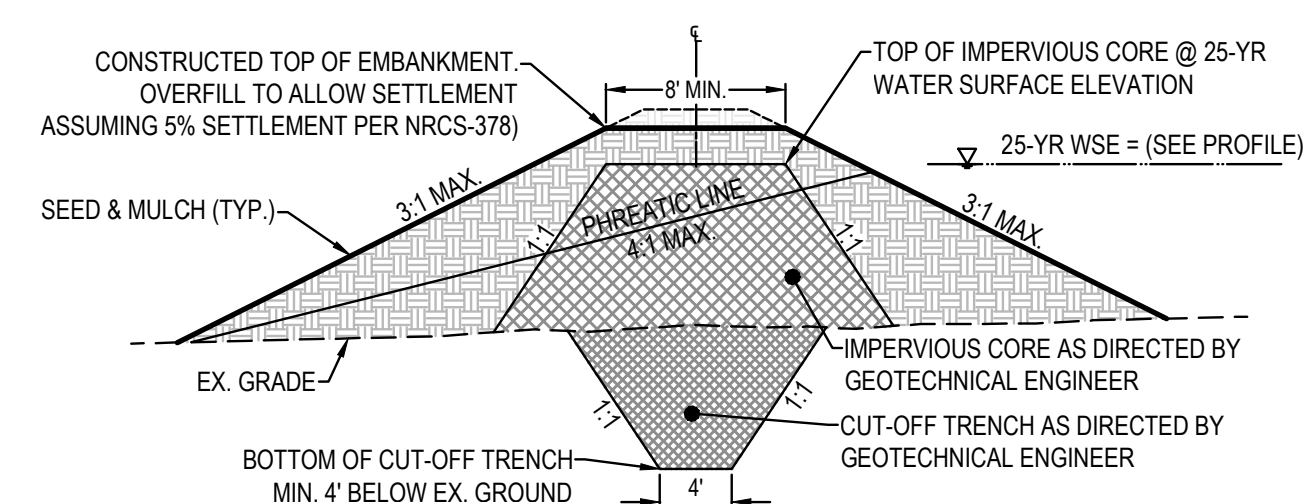
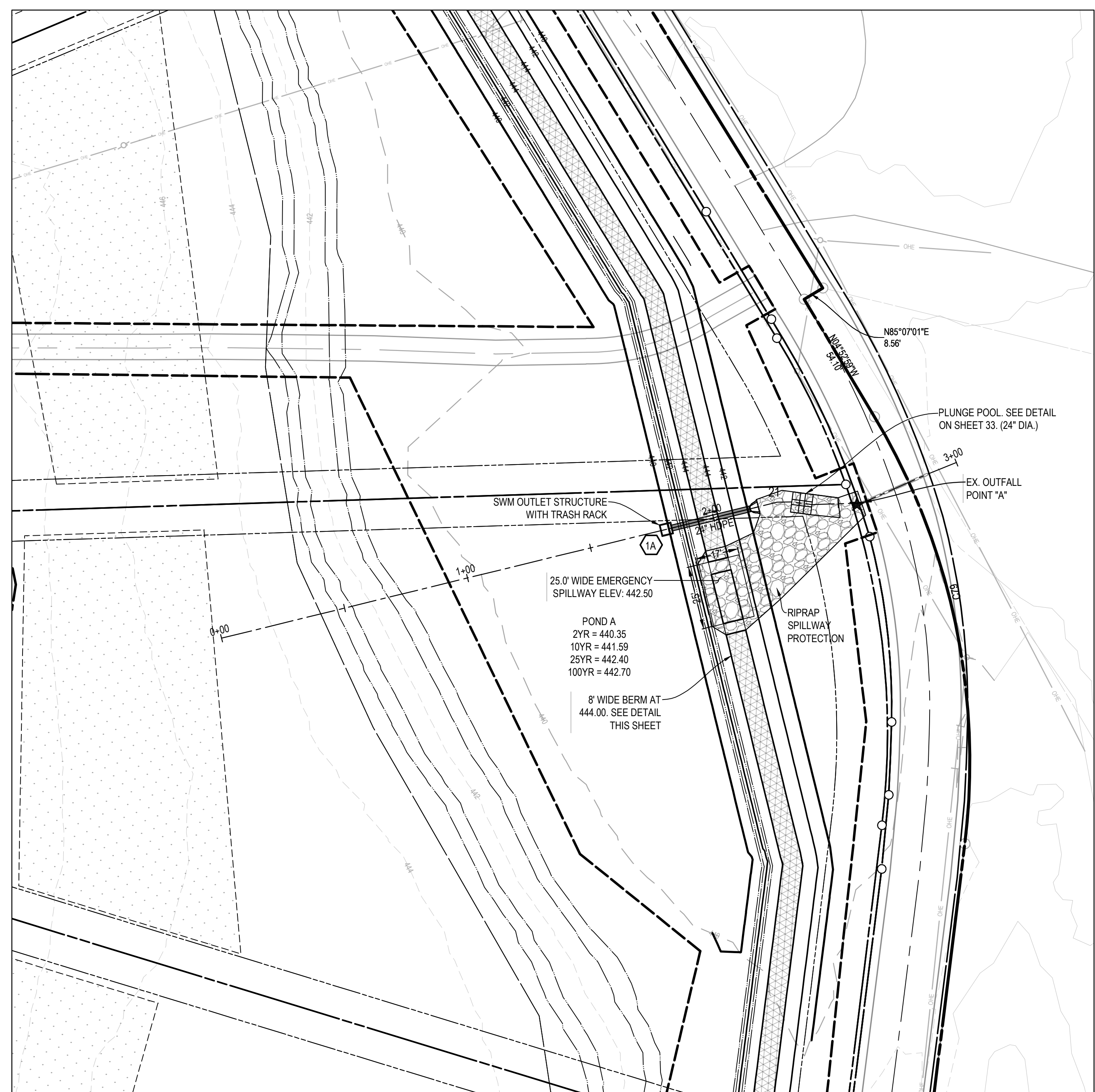
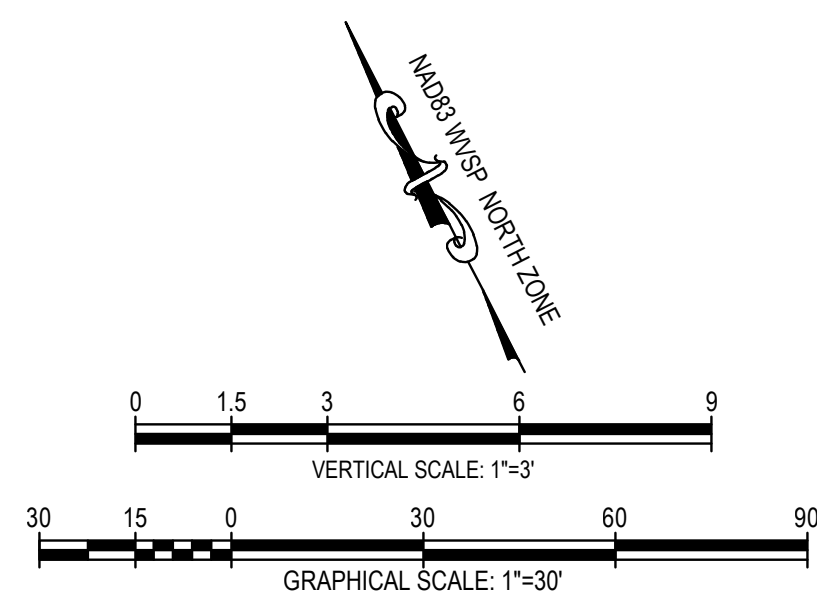
Professional Engineer Seal for Thomas P. Gerhart, State of West Virginia, License No. 19127.

REVISIONS

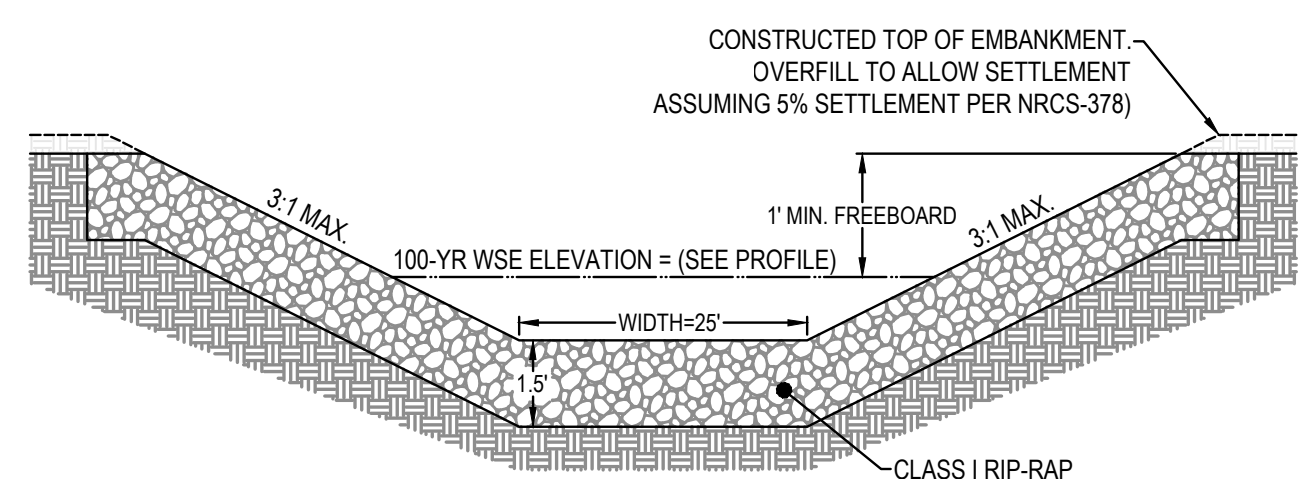
NO.	DATE	DESCRIPTION

HALLMARK GLEN PRELIMINARY PLAT
 TAX MAP 18, PARCEL 25, D.B. 1338, PG. 638
 SHEPHERDSTOWN TAX DISTRICT
 JEFFERSON COUNTY, WEST VIRGINIA

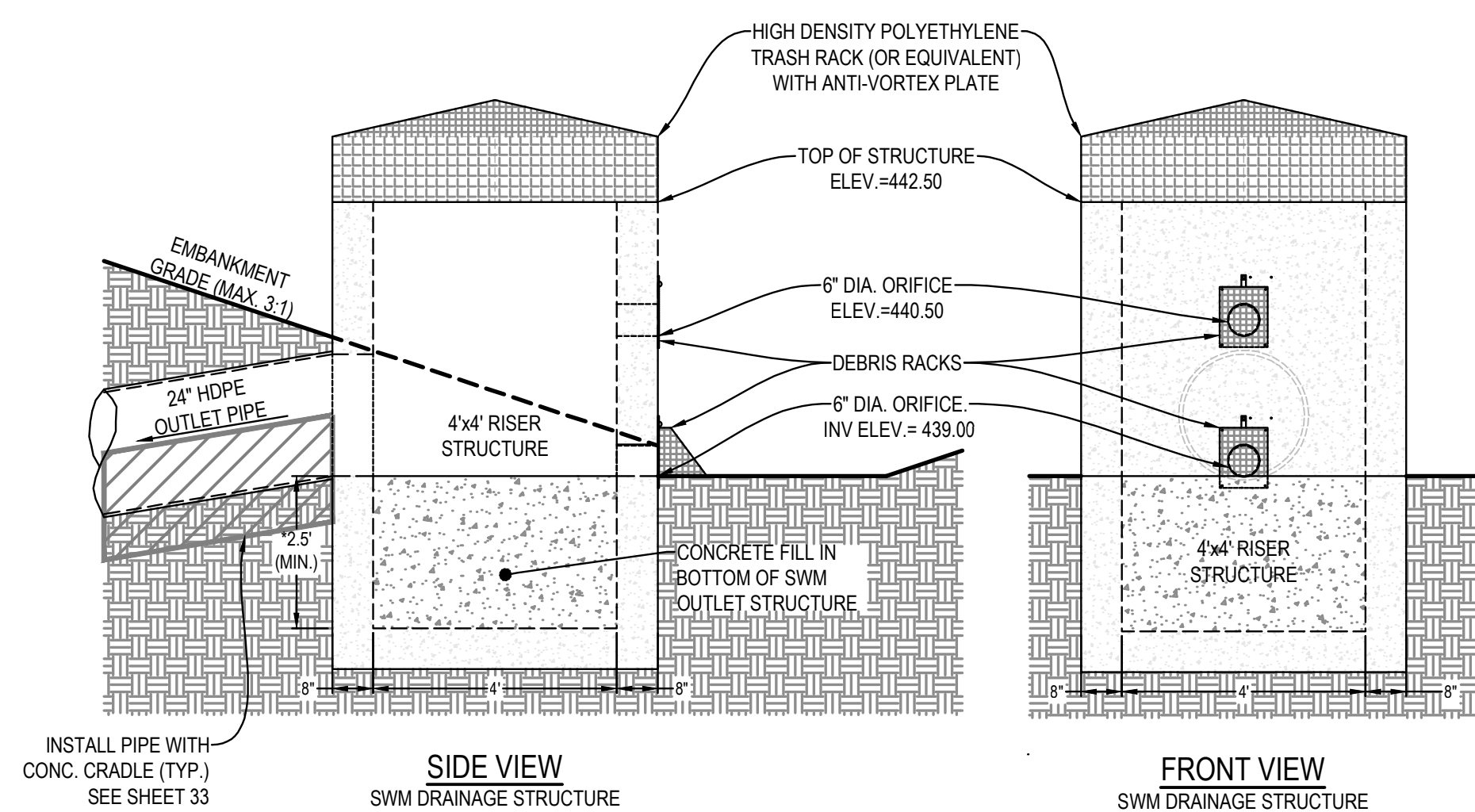
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 VERT: 1"=5'
 DATE: FEBRUARY 2025
 JOB: 5098-0101
 DRAWN: JCH CHECK: JPG
 CADD: C-CT-205.DWG
 NCS:
 SHEET: 27 OF 34



POND A: SECTION THRU DAM EMBANKMENT:
NOT TO SCALE

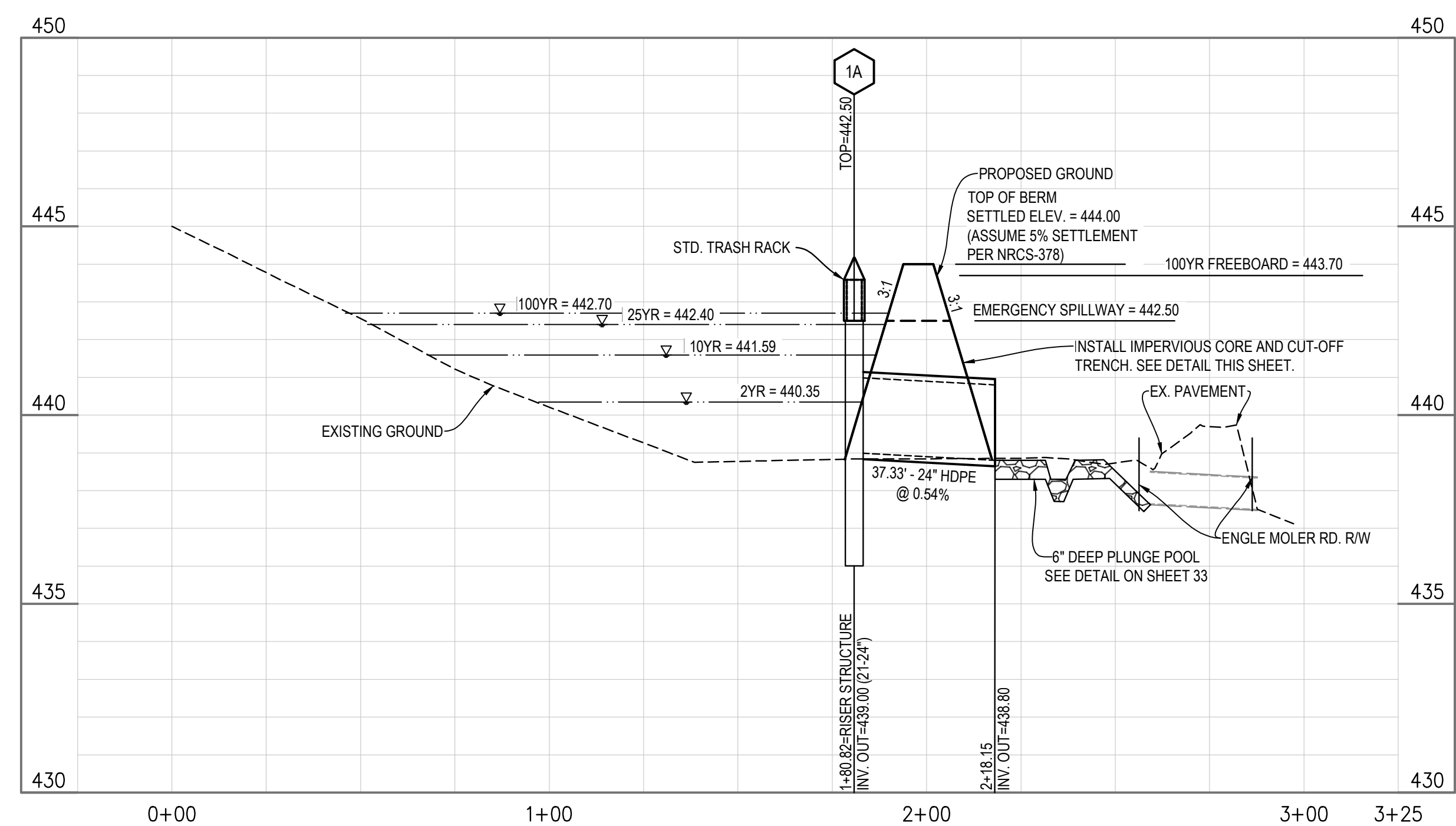


POND A: EMERGENCY SPILLWAY:
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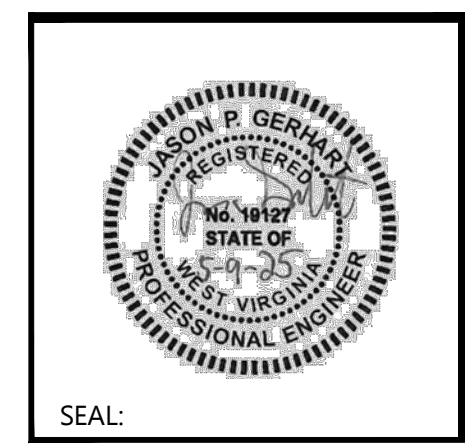


NOTES:
1. STRUCTURAL DESIGN OF RISER STRUCTURE, IF NOT IN CONFORMANCE WITH DETAILS AS SHOWN, SHALL BE SUBMITTED BY CONTRACTOR TO JEFFERSON COUNTY PLANNING & ENGINEERING FOR APPROVAL.

POND A: SIDE & FRONT VIEW OF SWM OUTLET STRUCTURE:
NOT TO SCALE



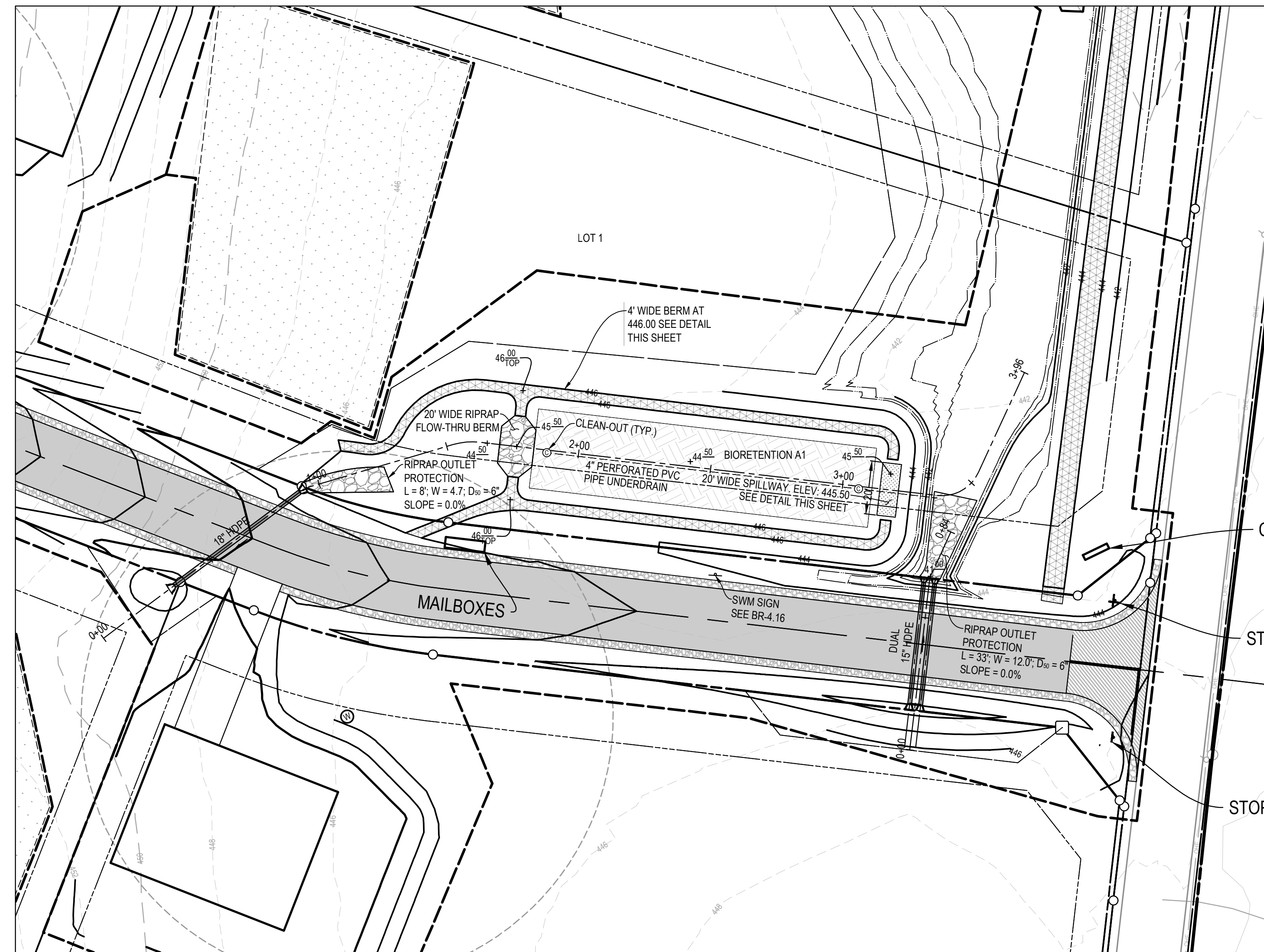
SWM POND A - PRINCIPLE SPILLWAY PROFILE



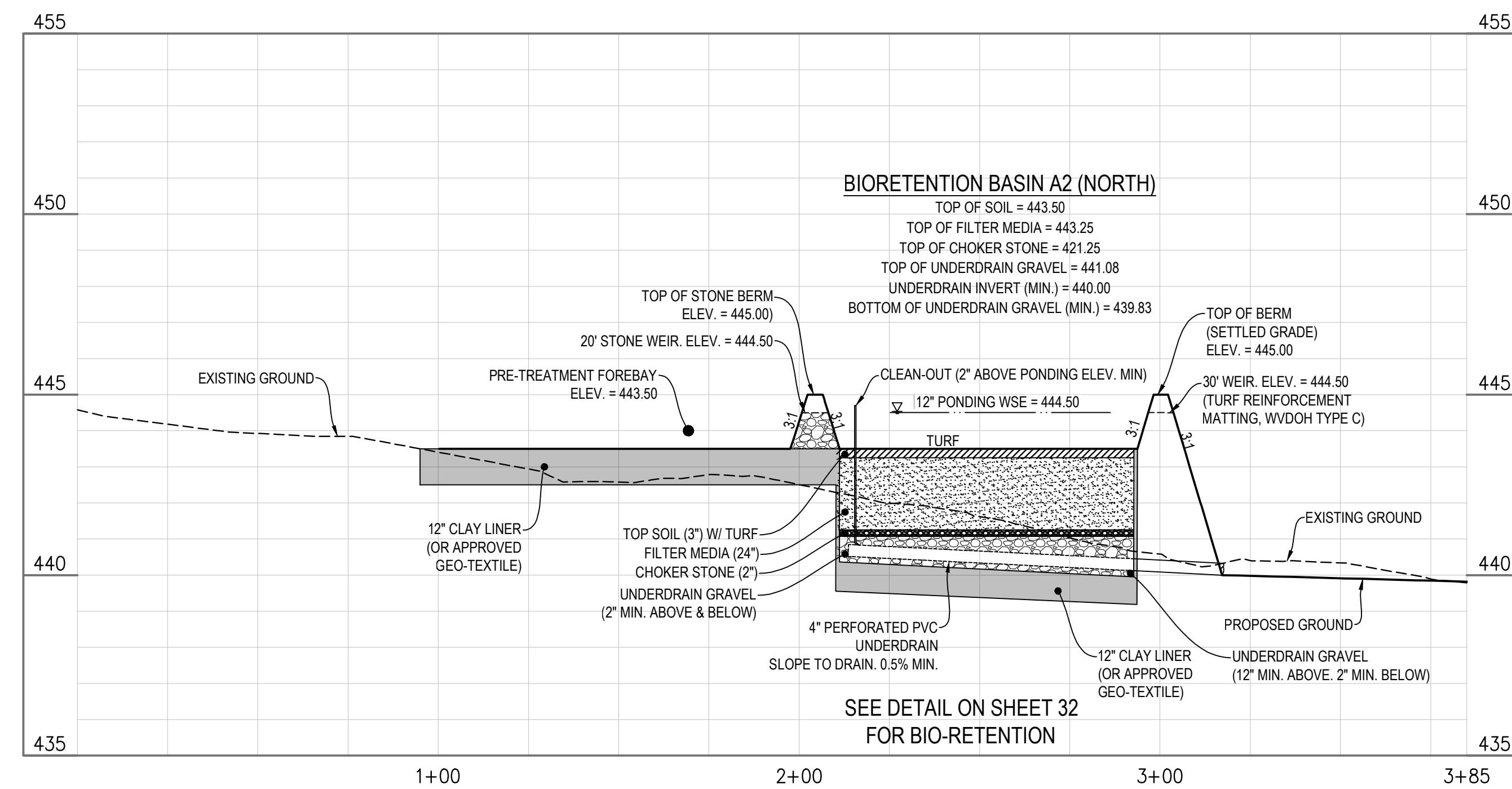
REVISIONS	



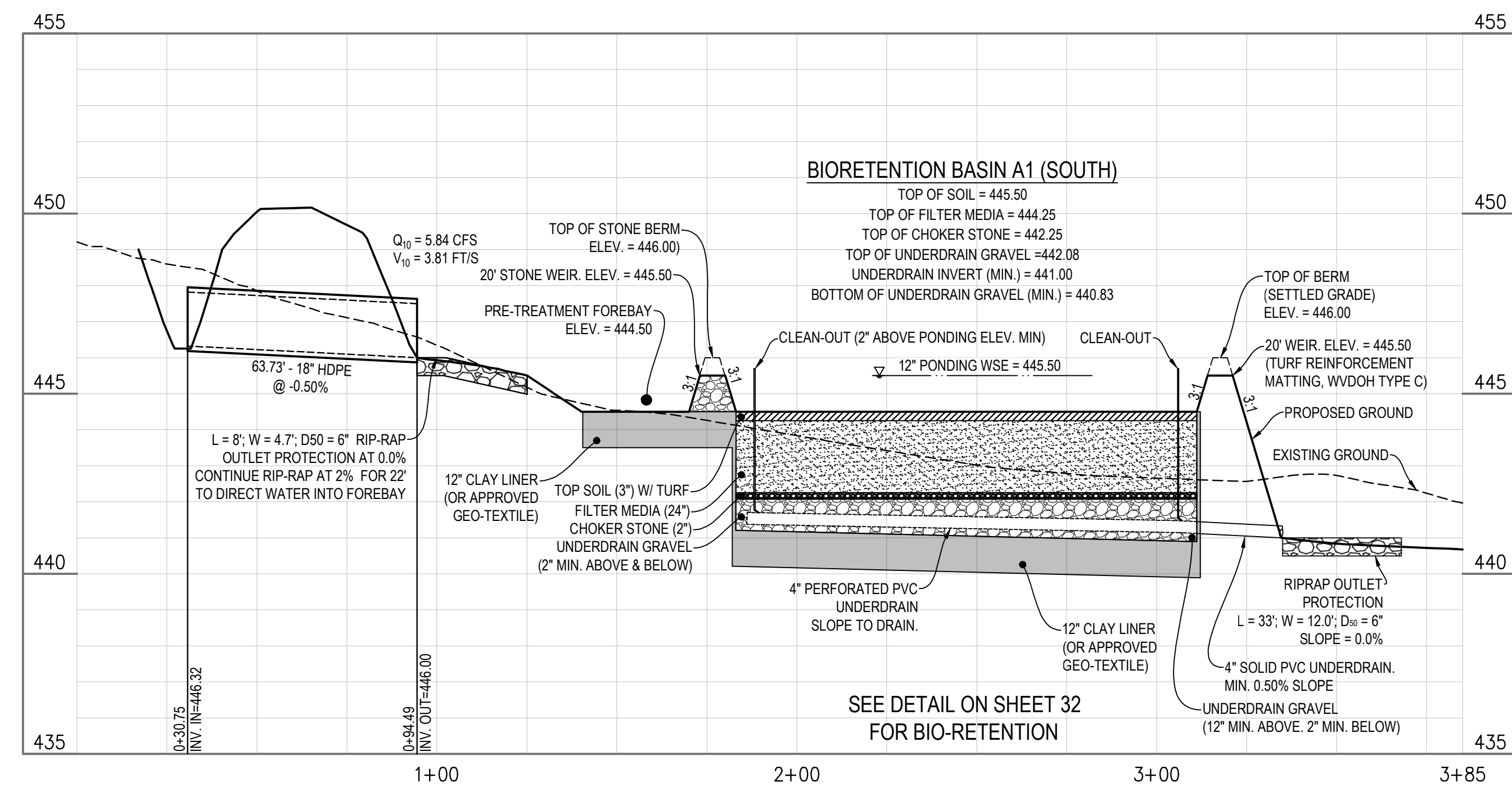
POND A - NORTH BIORETENTION SYSTEM 2 ENLARGEMENT PLAN:
SCALE: 1" = 30'



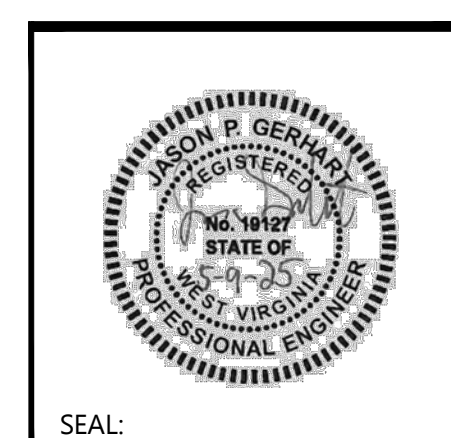
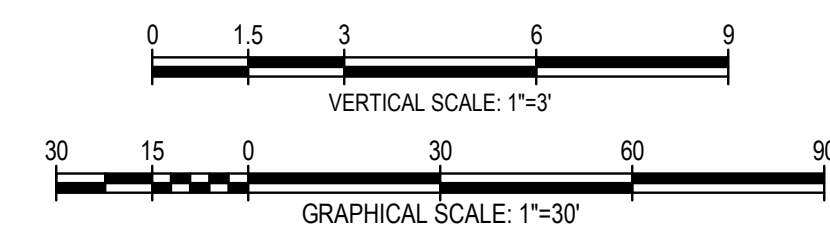
POND A - SOUTH BIORETENTION SYSTEM 1 ENLARGEMENT PLAN:
SCALE: 1" = 30'



SWM POND A - BIORETENTION SYSTEM A2 (NORTH) PROFILE

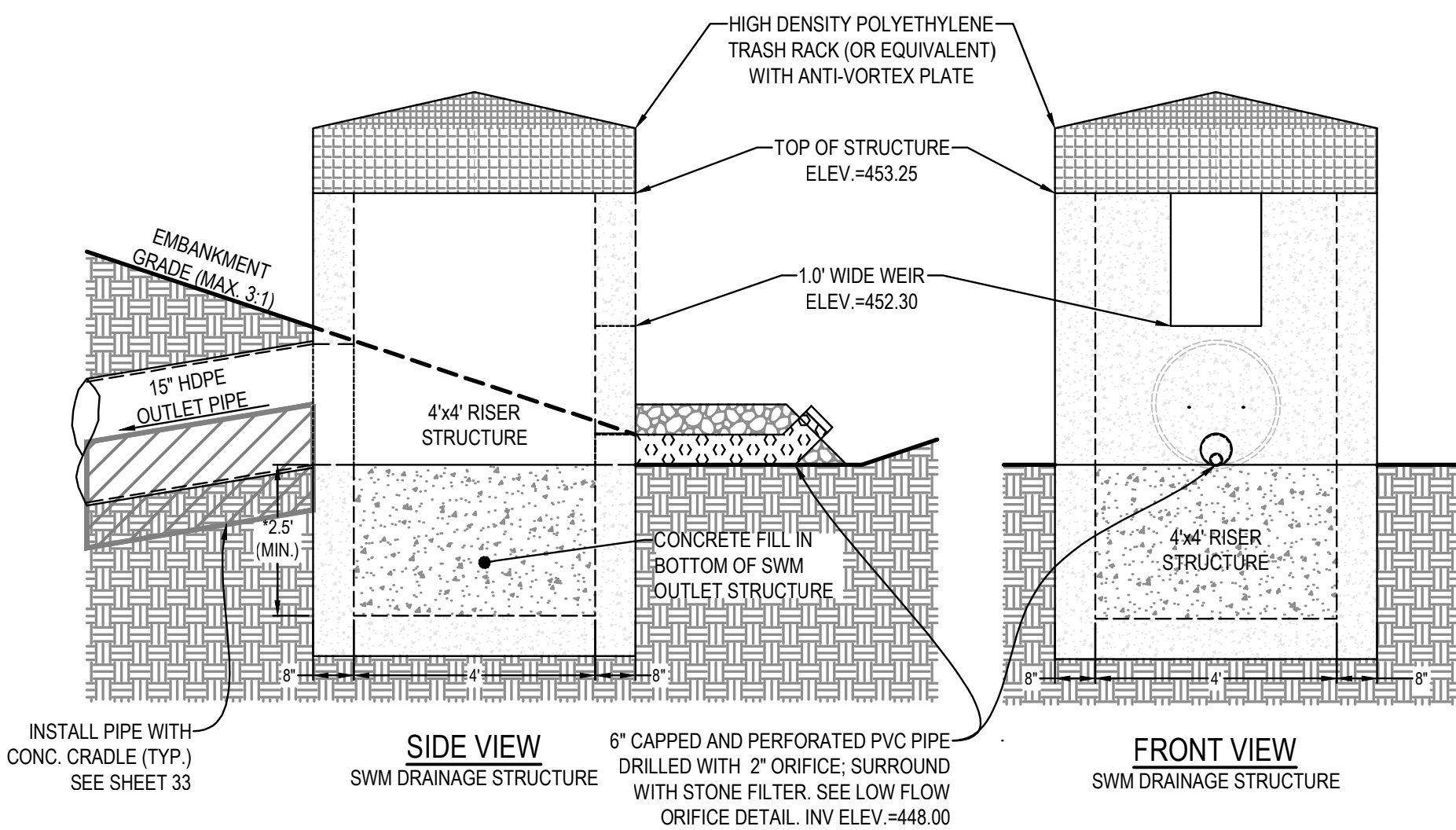
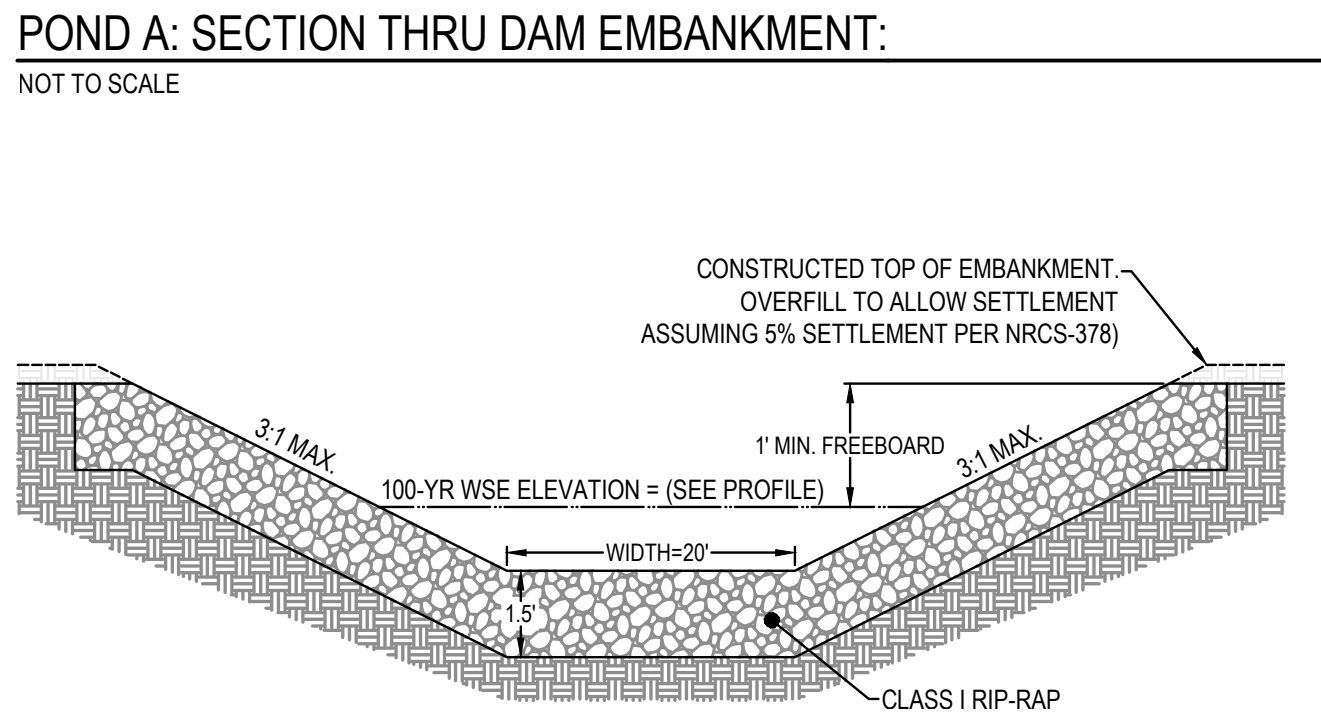
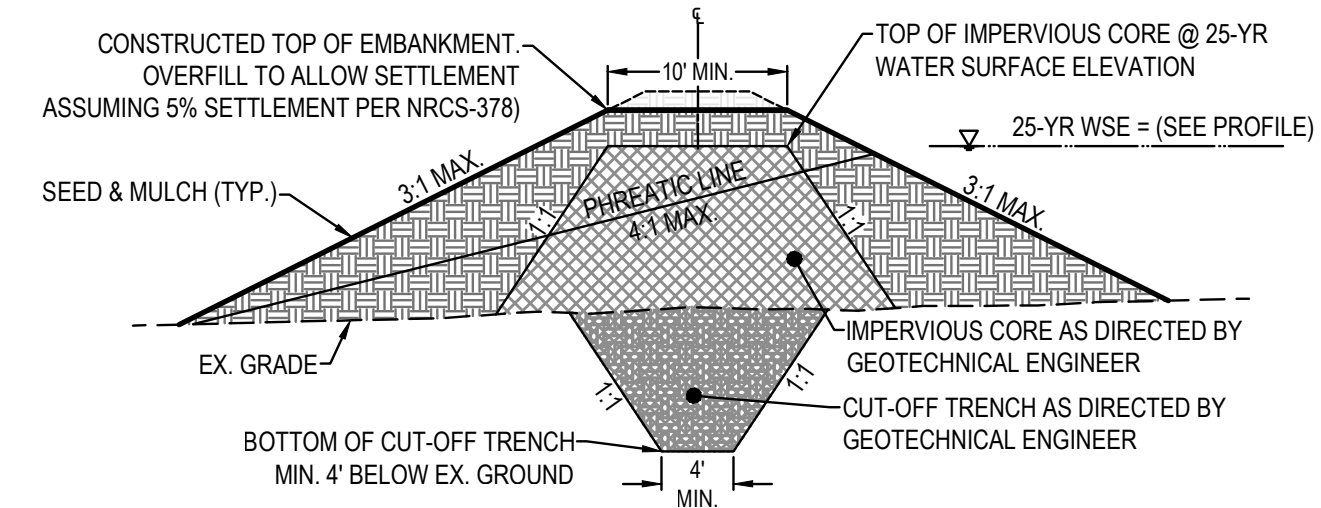
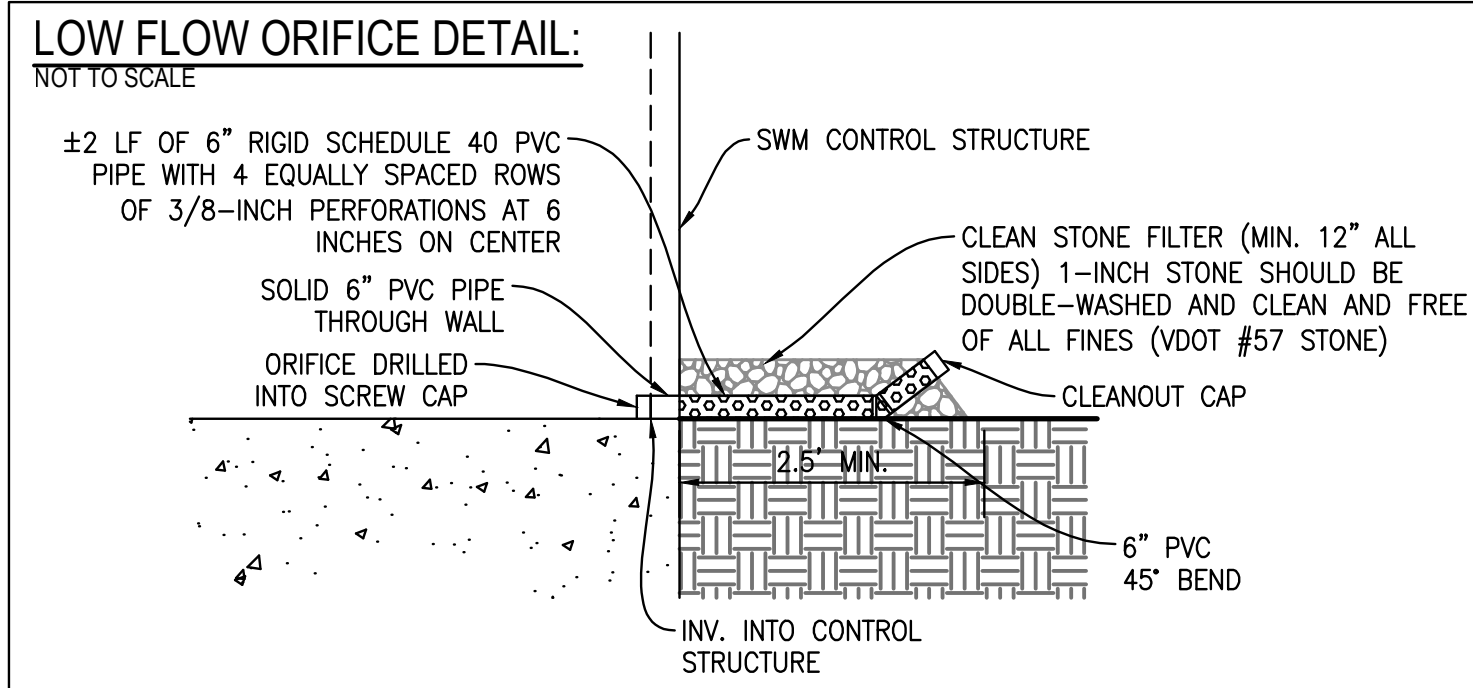


SWM POND A - BIORETENTION SYSTEM A1 (SOUTH) PROFILE



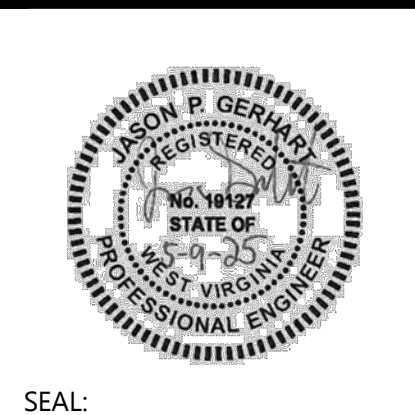
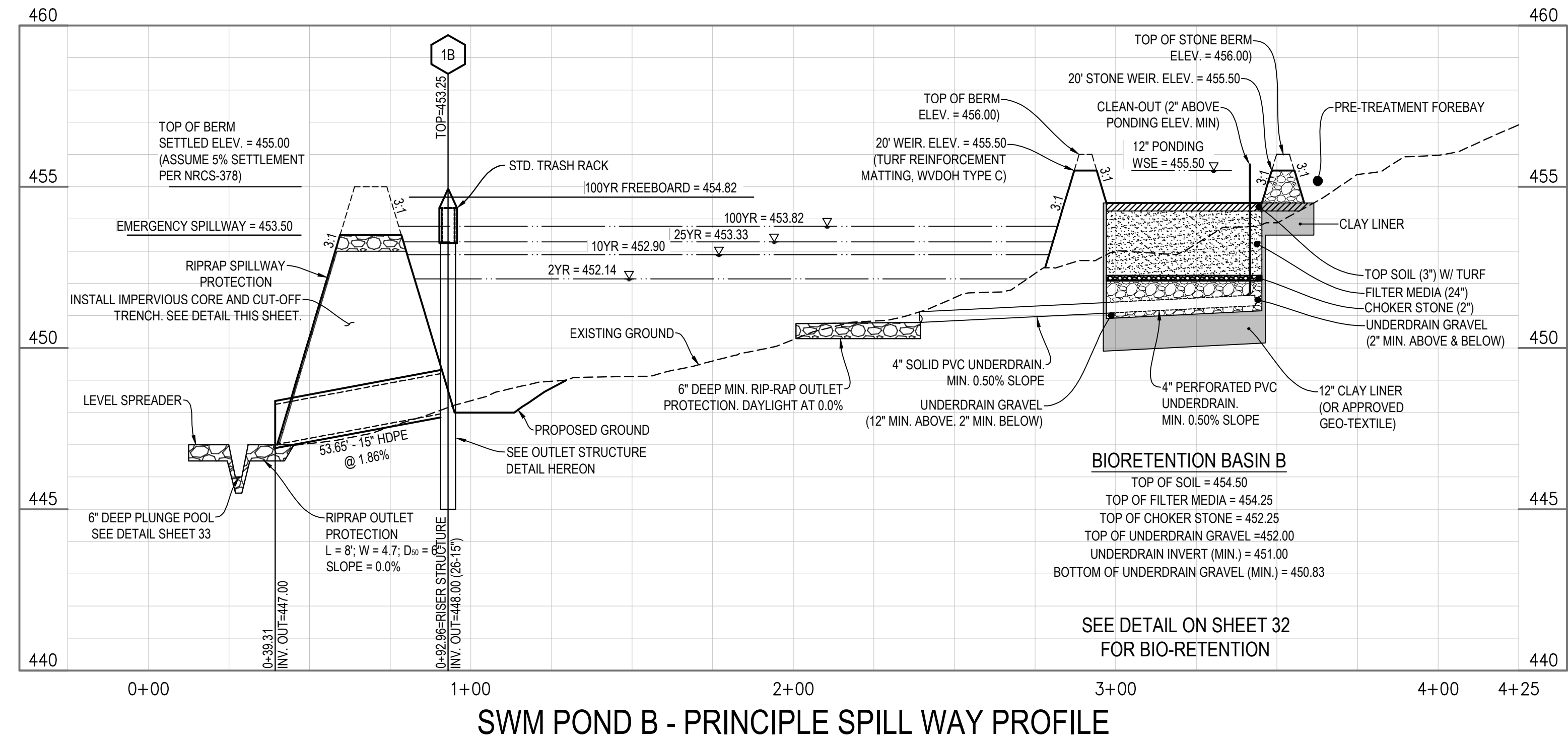
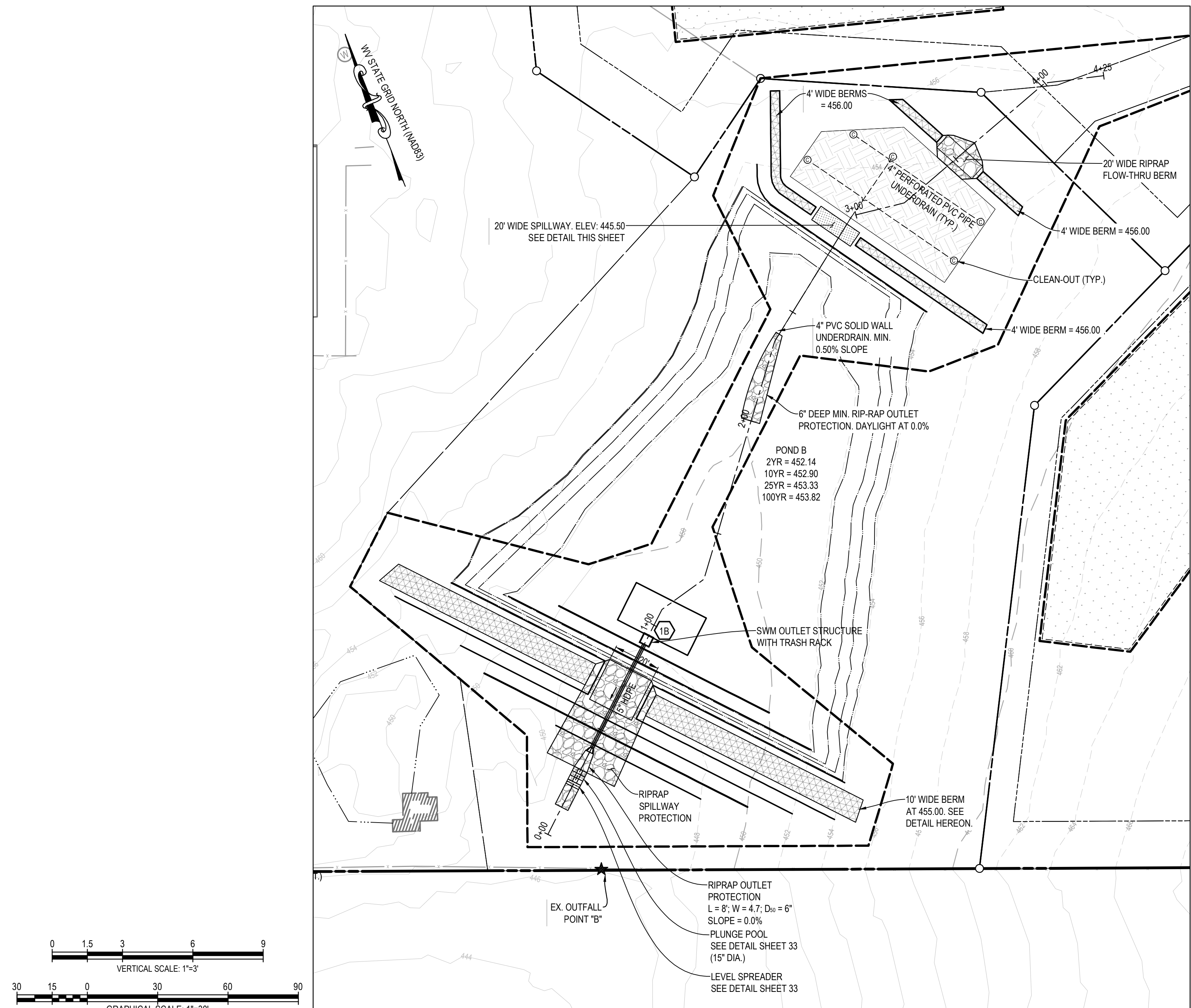
NO.	REVISIONS

SWM FACILITY DESIGN - POND A BIORETENTION
HALLMARK GLEN
PRELIMINARY PLAT
TAX MAP 18, PARCEL 25, D.B. 1338, PG. 538
SHEPHERDSTOWN TAX DISTRICT
JEFFERSON COUNTY, WEST VIRGINIA



NOTES:
1. STRUCTURAL DESIGN OF RISER STRUCTURE. IF NOT IN CONFORMANCE WITH DETAILS AS SHOWN, SHALL BE SUBMITTED BY CONTRACTOR TO JEFFERSON COUNTY PLANNING & ENGINEERING FOR APPROVAL.

POND B: SIDE & FRONT VIEW OF SWM OUTLET STRUCTURE:
NOT TO SCALE



NO.	REVISIONS

SWM FACILITY DESIGN - POND B

HALLMARK GLEN

PRELIMINARY PLAT

TAX MAP 18, PARCEL 25, D.B. 1338, PG. 538
SHEPHERDSTOWN TAX DISTRICT
JEFFERSON COUNTY, WEST VIRGINIA

SCALE:	HORIZ: 1" = 30'
	VERT: 1" = 3'
DATE:	FEBRUARY 2025
JOB:	5098-0101
DRAWN:	JCH
CHECK:	JPG
CADD:	C-CJ-101.DWG
NCS:	
SHEET:	

STORM WATER MANAGEMENT - SEQUENCE OF CONSTRUCTION:

FOR USE TO CONSTRUCT AND/OR CONVERT SEDIMENT BASIN, BERMS, AND CONTROL STRUCTURES INTO PERMANENT STORM WATER MANAGEMENT FACILITIES.

- 1. CONTACT WEST VIRGINIA MISS UTILITY AT 800-245-4848, AT LEAST THREE WORKING DAYS PRIOR TO BEGINNING WORK. LOCATE ALL UTILITIES.
2. CONTACT JEFFERSON COUNTY ENGINEERING AT 304-728-3257 AT LEAST FIVE WORKING DAYS PRIOR TO BEGINNING WORK.
3. STAKE/FLAG LIMITS OF CONSTRUCTION, SENSITIVE AREAS, AND TREES THAT ARE TO BE PRESERVED. LIMITS OF CONSTRUCTION MUST REMAIN MARKED THROUGHOUT THE ENTIRE SITE DEVELOPMENT.
4. INSTALL AND ESTABLISH A PROTECTED STAGING AND EQUIPMENT PARKING AREA.
5. CLEAR AND GRUB AREAS FOR THE INSTALLATION OF PERIMETER CONTROLS. ONLY THE MINIMUM AREAS NECESSARY TO INSTALL PERIMETER EROSION CONTROL MEASURES SHALL BE CLEARED AND GRUBBED.
6. INSTALL PERIMETER CONTROLS (SUPER SILT FENCE) FOR INITIAL GRADING OF THE SWM FACILITIES & SEDIMENT TRAPS.
7. CLEAN ALL SEDIMENT FROM BASIN. DISPOSE OF PROPERLY.
8. MAKE ANY REPAIRS NEEDED TO THE BERM, SMOOTH GRADE.
9. APPLY PERMANENT SEED AND MULCH.
10. CONVERT OR INSTALL STRUCTURE TO PERMANENT SWM CONTROL STRUCTURE UTILIZING THE STORM WATER MANAGEMENT PLANS AND DETAILS.
11. CONTACT JEFFERSON COUNTY ENGINEERING FOR A FINAL SWM INSPECTION.
12. REMOVE SEDIMENT AND EROSION CONTROL DEVICES.
13. HAVE THE WHOLE SWM SYSTEM AS-BUILT BY A LICENSED PROFESSIONAL SURVEYOR FOR APPROVAL BY THE ENGINEER OF RECORD.
14. FOR BIO-RETENTION CONSTRUCTION, SEE SHEET 32 SECTION BR-7.2 BIORETENTION INSTALLATION GUIDELINES.

STORMWATER MANAGEMENT NARRATIVE:

- 1. ALL STORMWATER MANAGEMENT POND CONSTRUCTION SHALL BE IN STRICT COMPLIANCE WITH ALL APPLICABLE JEFFERSON COUNTY REQUIREMENTS, CHESAPEAKE STORMWATER NETWORK TECHNICAL BULLETIN NO. 1 "STORMWATER DESIGN GUIDELINES FOR KARST TERRAIN IN THE CHESAPEAKE BAY WATERSHED" (VERSION 2.0), THE U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE STANDARDS AND SPECIFICATIONS, NRCS 378, AND AS PUBLISHED IN THE "WEST VIRGINIA STORMWATER MANAGEMENT AND DESIGN GUIDANCE MANUAL", AND "JEFFERSON COUNTY WEST VIRGINIA STORMWATER ORDINANCE".
2. EMBANKMENT:
(A) AREAS UNDER THE EMBANKMENT AND ANY STRUCTURAL WORKS SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL, ROOTS OR OTHER OBJECTIONABLE MATERIAL.
(B) THE SUITABILITY AND ACCEPTABILITY OF ALL FILL MATERIAL WILL BE DETERMINED BY REGULAR PERIODIC SOIL ANALYSIS AND COMPACTION TESTS, WHICH SHALL BE MADE BY A QUALIFIED GEOTECHNICAL ENGINEER.
(C) TESTS FOR SOIL ANALYSIS, MOISTURE CONTENT, AND COMPACTION ARE TO BE CONDUCTED IN ACCORDANCE WITH THE LATEST APPLICABLE ASTM STANDARDS AND SPECIFICATIONS.
(D) MATERIALS USED FOR THE IMPERVIOUS CORE AND CUT-OFF TRENCH, IF REQUIRED BY THE GEOTECHNICAL ENGINEER, SHALL BE COMPRISED OF ONE OF THE FOLLOWING SOILS AS DESIGNATED BY THE UNIFIED SOIL SYSTEM: SC, CL, OR ML HAVING A MINIMUM PLASTICITY INDEX OF 8 WITH A MINIMUM OF 45% PASSING THE NO. 200 SIEVE AND A MAX. OF 5% RETAINED ON THE NO. 4 SIEVE. THE CUT-OFF TRENCH (IF REQUIRED) SHALL EXTEND A MINIMUM OF 4 FEET BELOW SUBGRADE OR TO REFUSAL. EMBANKMENT CORE AND CUT-OFF TRENCH SHALL REFERENCE NRCS 378/
(E) THE CUT-OFF TRENCH SHALL BE EXCAVATED INTO IMPERVIOUS MATERIAL ALONG OR PARALLEL TO THE CENTERLINE OF THE EMBANKMENT AS SHOWN ON THE PLANS. THE BOTTOM WIDTH OF THE TRENCH SHALL BE A MINIMUM WIDTH OF 4 FEET. THE DEPTH SHALL BE AT LEAST 4 FEET BELOW EXISTING GRADE OR AS SHOWN ON THE PLANS. THE SIDE SLOPES OF THE TRENCH SHALL BE 1 TO 1 OR FLATTER. THE BACKFILL SHALL BE COMPACTED WITH CONSTRUCTION EQUIPMENT, ROLLERS, OR HAND TAMPERS TO ASSURE MAXIMUM DENSITY AND MINIMUM PERMEABILITY.
(F) THE EMBANKMENT MAY BE CONSTRUCTED AS A HOMOGENOUS EMBANKMENT DAM USING ACCEPTABLE MATERIAL CLASSIFIED ML, CL, SC, OR GC SOILS PER ASTM D-2487. IN TO THESE MATERIALS, SOILS CLASSIFIED CH AND MH MAY BE USED AS COMPACTED ADDITION EMBANKMENT FILL BELOW THE UPPER 5 FEET OF THE SLOPES. SOILS CLASSIFIED AS SM OR GM PER ASTM D-2487 OR SUITABLE FILL MAY BE USED FOR EMBANKMENT IN THE DOWNSTREAM HALF OF THE EMBANKMENT SUBJECT TO APPROVAL BY A QUALIFIED GEOTECHNICAL ENGINEER.
(G) COMPACTION SHALL BE NOT LESS THAN 98% OF THE MAXIMUM DRY DENSITY FOR THE GIVEN EMBANKMENT MATERIAL AS DETERMINED BY USE OF THE STANDARD PROCTOR METHOD PER ASTM T-99 OR ASTM D-698.
(H) EMBANKMENT FILL SHALL BE CONSTRUCTED IN 8-INCH LOOSE LIFTS AND SHALL BE CONTINUOUS OVER THE ENTIRE LENGTH OF THE FILL SO THAT SMOOTH HORIZONTAL PLANES ARE NOT BUILT INTO THE FILL STRUCTURE. SCARIFYING OR USE OF SHEEPS-FOOT ROLLERS CAN BE USED TO AVOID SMOOTH HORIZONTAL PLANES.
(I) THE EMBANKMENT SHALL BE CONSTRUCTED TO A MINIMUM ELEVATION 5% HIGHER THAN THE DESIGNED HEIGHT TO ALLOW FOR SETTLEMENT WHEN MECHANICAL COMPACTORS ARE USED FOR CONSTRUCTION.
(J) THE CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ACCEPTABLE BORROW MATERIAL EITHER FROM ON-SITE OR OFF-SITE SOURCES AS REQUIRED. ALL OFF-SITE WASTE OR BORROW SOURCES SHALL BE INCLUDED IN THE NPDES PERMIT.
(K) THE CONTRACTOR SHALL MAINTAIN ALL MATERIAL TICKETS, SOIL TEST RESULTS AND PHOTOGRAPHIC RECORDS OF COVERED EMBANKMENT CONSTRUCTION ELEMENTS (CUT-OFF TRENCH, ANTI-SEEP MEASURES, PIPE INSTALLATION) FOR INCLUSION INTO AS-BUILT POND RECORDS.
(L) EMBANKMENT CONSTRUCTION SHALL BE CERTIFIED BY AN ENGINEER AS MEETING THE ABOVE REQUIREMENTS

3. OUTLET CONTROL STRUCTURE NOTES:

- (A) THE PURPOSE OF THIS PLAN IS TO PROVIDE THE BASIC DIMENSIONS REQUIRED TO CONTROL THE CONSTRUCTION OF THE COMBINATION PRINCIPAL/EMERGENCY SPILLWAY. THE BASIC DIMENSIONS OF ALL DRAINAGE STRUCTURES AND ORIFICES SHOWN FOR EACH CONTROL STRUCTURE SHALL BE MAINTAINED.
(B) ALL RISER, SPILLWAY, AND FOOTING DIMENSIONS AND/OR THICKNESS, AS WELL AS REINFORCEMENT, BUOYANCY CALCULATIONS AND THE METHOD OF JOINING THE VARIOUS STRUCTURAL ELEMENTS SHALL BE VERIFIED BY A PROFESSIONAL STRUCTURAL ENGINEER AND SUBMITTED TO THE ENGINEER OF RECORD FOR ACCEPTANCE PRIOR TO FABRICATION.
(C) SUBGRADE PREPARATION AND BEDDING REQUIREMENTS FOR ALL STRUCTURAL ELEMENTS ARE SUBJECT TO DESIGN BY A PROFESSIONAL GEOTECHNICAL ENGINEER.
(D) PRECAST CONCRETE IS TO ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI. CAST-IN-PLACE CONCRETE SHALL BE W/DOH CLASS B. ALL CONCRETE SHALL MEET THE REQUIREMENTS OF THE WEST VIRGINIA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS.
(E) ALL EXPOSED EDGES SHALL BE CHAMFERED 3/4".
(F) SHOP DRAWINGS ARE TO BE SUBMITTED TO AND APPROVED BY THE ENGINEER OF RECORD PRIOR TO FABRICATION.
(G) BACKFILL ADJACENT TO THE OUTLET STRUCTURES SHALL BE OF THE TYPE AND QUALITY CONFORMING TO THAT SPECIFIED FOR THE ADJOINING FILL MATERIAL. THE FILL SHALL BE PLACED IN HORIZONTAL LAYERS NOT TO EXCEED FOUR INCHES IN THICKNESS AND COMPACTED BY HAND TAMPERS OR OTHER MANUALLY DIRECTED COMPACTION EQUIPMENT. THE MATERIAL NEEDS TO FILL COMPLETELY ALL SPACES UNDER AND ADJACENT TO THE PIPE. AT NO TIME DURING THE BACKFILLING OPERATION SHALL DRIVEN EQUIPMENT BE ALLOWED TO OPERATE CLOSER THAN FOUR FEET, MEASURED HORIZONTALLY, TO ANY PART OF A STRUCTURE. UNDER NO CIRCUMSTANCES SHALL EQUIPMENT BE DRIVEN OVER ANY PART OF A CONCRETE STRUCTURE.
(H) ROCK RIP-RAP SHALL MEET THE REQUIREMENTS OF THE WEST VIRGINIA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS. THE RIP-RAP SHALL BE PLACED TO THE REQUIRED THICKNESS IN ONE OPERATION. THE ROCK SHALL BE DELIVERED AND PLACED IN A MANNER THAT WILL ENSURE THE RIP-RAP IS REASONABLY HOMOGENOUS WITH LARGER ROCKS UNIFORMLY DISTRIBUTED AND FIRMLY IN CONTACT WITH SMALLER ROCKS FILLING THE VOIDS BETWEEN THE LARGER ROCKS. FILTER CLOTH SHALL BE PLACED UNDER ALL RIP-RAP AND SHALL MEET THE REQUIREMENTS OF THE WEST VIRGINIA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS.

4. MAINTENANCE REQUIREMENTS:

- (A) ALL MAINTENANCE, INSPECTIONS, AND CLEANING OF STORMWATER MANAGEMENT FACILITIES SHALL BE THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION OR LOT OWNERS ASSOCIATION AND/OR PROPERTY OWNER OR OTHER RESPONSIBLE ENTITY AND SHALL COMPLY WITH ARTICLE III, SECTION E OF THE 2023 JEFFERSON COUNTY STORMWATER ORDINANCE. THE RESPONSIBLE PARTY(IES) SHALL BE SPECIFIED IN THE RECORDED MAINTENANCE AGREEMENT.
(B) THE OWNER AND/OR PARTY RESPONSIBLE FOR THE MAINTENANCE OF THE STORMWATER MANAGEMENT FACILITIES CONSTRUCTED PURSUANT TO THE JEFFERSON COUNTY STORMWATER MANAGEMENT ORDINANCE SHALL MAINTAIN IN GOOD CONDITION AND PROMPTLY REPAIR AND RESTORE ALL GRADE SURFACES, WALLS, DRAINS, DAMS AND STRUCTURES, DISCHARGE STRUCTURES, TRASH RACKS, VEGETATION, EROSION AND SEDIMENT CONTROL MEASURES, AND OTHER PROTECTIVE DEVICES. SUCH REPAIRS OR RESTORATION AND MAINTENANCE SHALL BE IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS.
(C) A MAINTENANCE SCHEDULE SHALL BE DEVELOPED FOR THE LIFE OF ANY STORMWATER MANAGEMENT FACILITY. ALL STORMWATER MAINTENANCE SCHEDULES MUST BE ADHERED TO BY THE OWNER, PROPERTY/HOMEOWNERS ASSOCIATION OR OTHER RESPONSIBLE ENTITY.
(D) THE PARTY RESPONSIBLE FOR THE MAINTENANCE OF THE STORMWATER MANAGEMENT SYSTEM SHALL PROVIDE WRITTEN RECORDS OF ALL MAINTENANCE AND REPAIRS WITHIN 30 DAYS OF WORK COMPLETION, TO JEFFERSON COUNTY OR AN AUTHORIZED REPRESENTATIVE.
(E) ANY AND ALL APPLICABLE INSPECTION AND MAINTENANCE REQUIREMENTS UNDER NPDES REGULATIONS SHALL BE ADHERED TO.
(F) INSPECTION OF THE PRIMARY SPILLWAY ORIFICE MAY REQUIRE GREATER FREQUENCY DEPENDING UPON THE AMOUNT OF DEBRIS WHICH ACCUMULATES WITHIN THE STORMWATER MANAGEMENT FACILITY. ANY TRASH AND/OR DEBRIS WITHIN THE STORMWATER MANAGEMENT FACILITY SHALL BE REMOVED AND PROPERLY DISPOSED OF.
(G) JEFFERSON COUNTY OR AN AUTHORIZED REPRESENTATIVE SHALL ENSURE THAT PREVENTATIVE MAINTENANCE IS PERFORMED BY REVIEWING ALL INSPECTION REPORTS FOR ALL STORMWATER MANAGEMENT SYSTEMS. INSPECTIONS SHALL OCCUR ACCORDING TO THE FOLLOWING SCHEDULE:

STORMWATER FACILITY INSPECTION SCHEDULE:

- 1. AFTER THE FIRST YEAR OF OPERATION.
2. ONCE EVERY YEAR AFTER THE FIRST YEAR OF OPERATION.
3. AFTER ANY STRUCTURAL MAINTENANCE OR MAINTENANCE IN RESPONSE TO A VIOLATION TAKES PLACE (WITHIN 30 DAYS).
4. WITHIN 30 DAYS AFTER A 3-INCH RAINFALL WITHIN A 24-HOUR PERIOD STORM EVENT (2-YEAR, 24-HOUR STORM EVENT).
5. AS REQUESTED BY JEFFERSON COUNTY OR AN AUTHORIZED REPRESENTATIVE IN RESPONSE TO COMPLAINTS OR OTHER NOTICE OF POSSIBLE VIOLATIONS.

CUT-OFF TRENCH & IMPERVIOUS CORE NOTES:

- 1. A CUT-OFF TRENCH OF RELATIVELY IMPERVIOUS MATERIAL SHALL BE PROVIDED UNDER THE ENTIRE LENGTH OF THE EMBANKMENT AND SHALL BE LOCATED AT OR UPSTREAM FROM THE CENTERLINE OF THE EMBANKMENT. THE CUT-OFF TRENCH SHALL HAVE A BOTTOM WIDTH ADEQUATE TO ACCOMMODATE THE EQUIPMENT USED FOR EXCAVATION, BACKFILL, AND COMPACTION OPERATIONS, WITH A MINIMUM WIDTH BEING 4 FEET, AND SHALL HAVE SIDE SLOPES NO STEEPER THAN ONE HORIZONTAL TO ONE VERTICAL. THE CUT-OFF TRENCH SHALL HAVE A MINIMUM DEPTH OF 4 FEET.
2. ANY IMPERVIOUS CORE WITHIN THE EMBANKMENT SHALL BE LOCATED AT OR UPSTREAM FROM THE CENTERLINE OF THE EMBANKMENT, AND SHALL EXTEND UP FROM THE ADJUSTMENTS TO THE 25-YEAR WATER SURFACE ELEVATION. THE IMPERVIOUS CORE SHALL EXTEND VERTICALLY FROM THE CUT-OFF TRENCH UP TO THE 25-YEAR WATER SURFACE ELEVATION THROUGHOUT THE EMBANKMENT.

POND LINER NOTES:

- 1. THE POND AND SEDIMENT FOREBAY SHALL BE LINED IN ONE OF THE FOLLOWING TWO WAYS: A 12" CLAY LINER WITH A MAXIMUM HYDRAULIC CONDUCTIVITY OF 1 x 10^-7 CM/SEC OR WITH A W/DEP APPROVED COMPOSITE LINER SYSTEM. A BENDTAMP PPL 24 LINER HAS BEEN APPROVED FOR PREVIOUS PROJECTS, HOWEVER THE ACCEPTABILITY OF THIS PRODUCT SHALL BE CONFIRMED WITH W/DEP DIVISION OF WATER AND WASTE MANAGEMENT PRIOR TO CONSTRUCTION.

POND LANDSCAPING NOTE:

- 1. THE SWM BASIN SHALL BE VEGETATED WITH GRASS TO ENHANCE WATER QUALITY. ADDITIONAL PLANTINGS MAY BE PROVIDED AT THE OWNERS DISCRETION, HOWEVER NO LANDSCAPING SHALL BE PERMITTED ALONG ANY PORTION OF THE POND EMBANKMENT.

**JEFFERSON COUNTY, WEST VIRGINIA
STORMWATER MANAGEMENT FACILITIES MAINTENANCE REQUIREMENT**

- 1. IN ACCORDANCE WITH THE JEFFERSON COUNTY STORMWATER MANAGEMENT ORDINANCE UNDER WHICH THIS PROJECT WAS APPROVED, PERIODIC INSPECTION AND MAINTENANCE SHALL BE PERFORMED TO ENSURE THE PROPER FUNCTION OF ALL STORMWATER MANAGEMENT FACILITIES.
2. ALL MAINTENANCE AND REPAIR, PERIODIC INSPECTIONS, AND CLEANING OF STORMWATER MANAGEMENT FACILITIES SHALL BE THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION OR LOT OWNERS ASSOCIATION, AND/OR PROPERTY OWNER OR OTHER RESPONSIBLE ENTITY, AND SHALL BE PERFORMED IN ACCORDANCE WITH THE JEFFERSON COUNTY STORMWATER MANAGEMENT ORDINANCE UNDER WHICH THE PROJECT WAS APPROVED.

STORMWATER FACILITY MAINTENANCE AND INSPECTION SCHEDULE

- 1. REGULAR MAINTENANCE:
A. MOWING (SEASONAL) AND REMOVAL OF TRASH AND DEBRIS SHALL BE PERFORMED ON A MONTHLY BASIS AT A MINIMUM.
B. REPAIR AND STABILIZATION OF ERODED AREAS SHALL BE PERFORMED DURING GROWING SEASON AND ON AN ANNUAL BASIS AT A MINIMUM.
2. PERIODIC INSPECTIONS:
ALL ELEMENTS OF STORMWATER MANAGEMENT FACILITIES SHALL BE INSPECTED FOR PROPER OPERATION AND MAINTENANCE AS FOLLOWS.
A. AFTER THE FIRST YEAR OF OPERATION.
B. ONCE EVERY YEAR AFTER THE FIRST YEAR OF OPERATION.
C. WITHIN 15 DAYS AFTER ANY MAINTENANCE ACTIVITIES ARE PERFORMED AND COMPLETED.
D. AFTER A 3-INCH RAINFALL WITHIN A 24-HOUR PERIOD STORM EVENT (2-YEAR, 24-HOUR STORM EVENT).
E. AS REQUESTED BY THE JEFFERSON COUNTY ENGINEERING DEPARTMENT IN RESPONSE TO COMPLAINTS OR NOTICE OF POSSIBLE VIOLATIONS.

BEST MANAGEMENT PRACTICES (BMP'S) MAINTENANCE PROCEDURES

- 1. MAINTENANCE FOR RAIN GARDENS, VEGETATED DRAINAGE SWALES, RIPARIAN BUFFERS, INFILTRATION BASINS, ETC., SHALL BE PERFORMED IN ACCORDANCE WITH THE BMP MAINTENANCE SPECIFICATIONS IN THE WEST VIRGINIA DEPARTMENT OF ENVIRONMENTAL PROTECTION'S WEST VIRGINIA STORMWATER MANAGEMENT AND DESIGN GUIDANCE MANUAL.

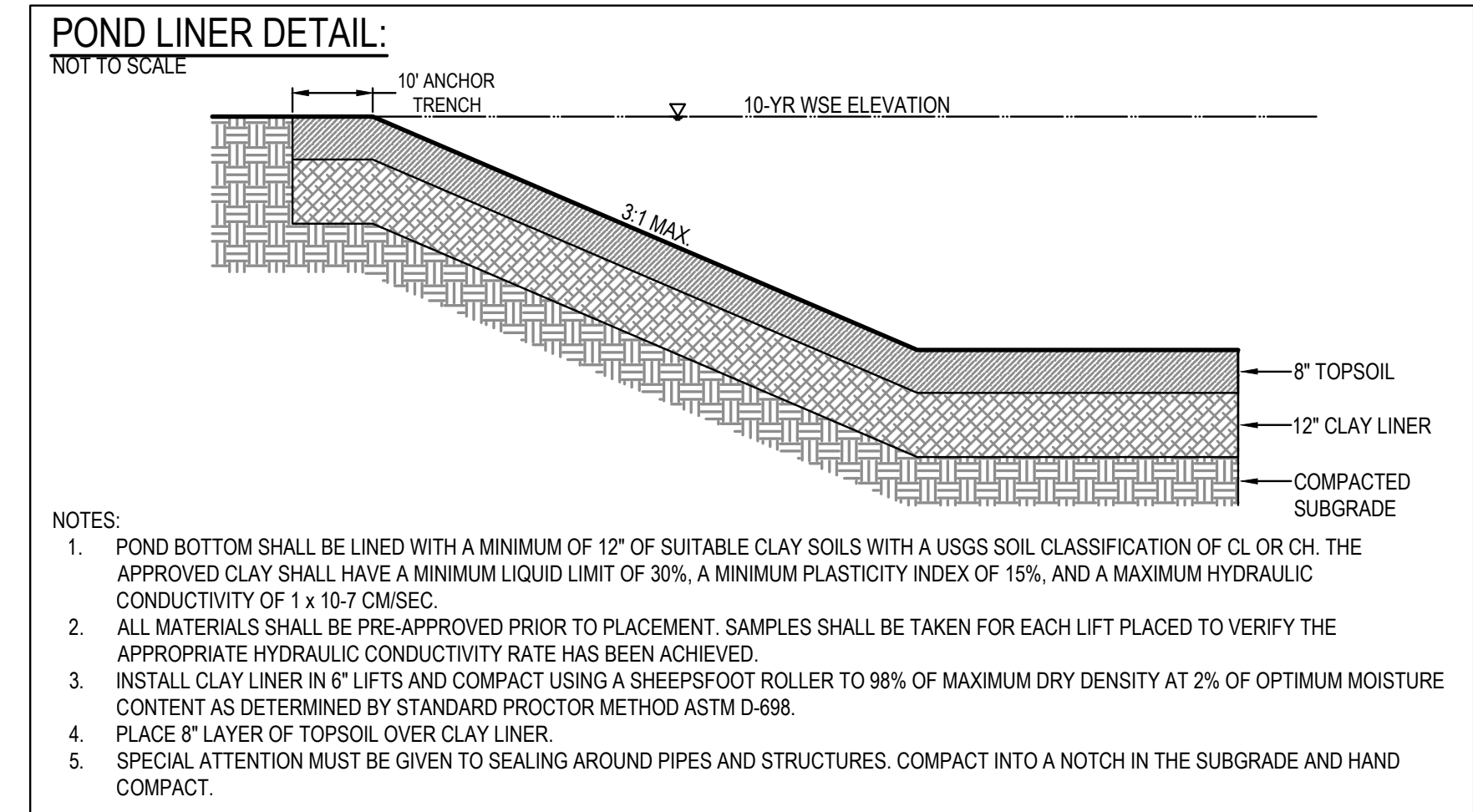
PROJECT-SPECIFIC MAINTENANCE PROCEDURES REQUIRED

(DETERMINED BY THE STORMWATER MANAGEMENT PLAN ENGINEER-OF-RECORD)

- 1. SEE NOTES PROVIDED ON THE SWM DETAILS.

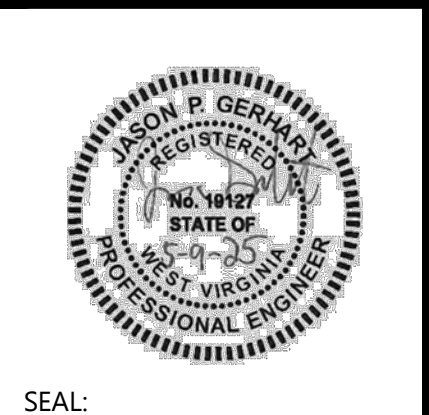
Jefferson County, WV Stormwater Management Ordinance

Stormwater Facility Inspection Report table with columns for Address of facility, Date of Inspection, Associated Business or Property Owner's Name, Company Conducting Inspection, Name of Inspector, and Condition (Substandard, Fair, Satisfactory, Good).



- NOTES:
1. POND BOTTOM SHALL BE LINED WITH A MINIMUM OF 12" OF SUITABLE CLAY SOILS WITH A USGS SOIL CLASSIFICATION OF CL OR CH. THE APPROVED CLAY SHALL HAVE A MINIMUM LIQUID LIMIT OF 30%, A MINIMUM PLASTICITY INDEX OF 15%, AND A MAXIMUM HYDRAULIC CONDUCTIVITY OF 1 x 10^-7 CM/SEC.
2. ALL MATERIALS SHALL BE PRE-APPROVED PRIOR TO PLACEMENT. SAMPLES SHALL BE TAKEN FOR EACH LIFT PLACED TO VERIFY THE APPROPRIATE HYDRAULIC CONDUCTIVITY RATE HAS BEEN ACHIEVED.
3. INSTALL CLAY LINER IN 6" LIFTS AND COMPACT USING A SHEEPSFOOT ROLLER TO 98% OF MAXIMUM DRY DENSITY AT 2% OF OPTIMUM MOISTURE CONTENT AS DETERMINED BY STANDARD PROCTOR METHOD ASTM D-698.
4. PLACE 8" LAYER OF TOPSOIL OVER CLAY LINER.
5. SPECIAL ATTENTION MUST BE GIVEN TO SEALING AROUND PIPES AND STRUCTURES. COMPACT INTO A NOTCH IN THE SUBGRADE AND HAND COMPACT.

INTEGRITY FEDERAL SERVICES CIVIL ENGINEERING • LANDSCAPE ARCHITECTURE • CONSTRUCTION MANAGEMENT 148 S. Queen Street, Suite 201 • Phone: 304-725-8466 Marlinton, WV 25101 • www.ifs-ae.com



REVISIONS table with columns for revision number and description.

HALLMARK GLEN PRELIMINARY PLAT TAX MAP 18, PARCEL 25, D.B.: 1338, PG. 538 SHEPHERDSTOWN TAX DISTRICT JEFFERSON COUNTY, WEST VIRGINIA

SCALE: HORIZ.: NTS VERT.: DATE: FEBRUARY 2025 JOB: 5098-0101 DRAWN: JCH CHECK: JPG CADD: C-CJ-101.DWG NCS: SHEET: 31 OF 34

FILE PATH: C:\Users\jgibson\OneDrive\Documents\2025\25-18-1338\25-18-1338-0101-01.dwg PLOT DATE: 2/19/2025 10:58:48 AM PLOT BY: jgibson

BR-4.9 SURFACE COVER

THE SURFACE COVER FOR BIORETENTION IS VARIABLE AND DEPENDS ON THE LANDSCAPE CONTEXT (E.G., HIGHLY-VISIBLE SITE VERSUS LESS VISIBLE; SITE THAT WILL HAVE ROUTINE MOWING VERSUS MANAGED LANDSCAPES). THE CHOICE OF SURFACE COVER ALSO WILL INFLUENCE THE INTENSITY OF LONG-TERM MAINTENANCE ACTIVITIES (SEE SECTION BR-8). IN GENERAL, THE SURFACE COVER OPTIONS ARE LISTED BELOW.

- MULCH: A 2- TO 3-INCH LAYER OF MULCH ON THE SURFACE OF THE FILTER BED ENHANCES PLANT SURVIVAL, SUPPRESSES WEED GROWTH, AND PRE-TREATS RUNOFF BEFORE IT REACHES THE FILTER MEDIA. SHREDED HARDWOOD BARK MULCH, AGED FOR AT LEAST 6 MONTHS, MAKES A VERY GOOD SURFACE COVER, AS IT RETAINS A SIGNIFICANT AMOUNT OF POLLUTANTS AND TYPICALLY WILL NOT FLOAT AWAY.
- ALTERNATIVE TO MULCH COVER: IN SOME SITUATIONS, DESIGNERS MAY CONSIDER ALTERNATIVE SURFACE COVERS SUCH AS TURF, NATIVE GROUNDCOVER, EROSION CONTROL MATTING (COIR OR JUTE MATTING), RIVER STONE, OR PEA GRAVEL. THE DECISION REGARDING THE TYPE OF SURFACE COVER TO USE SHOULD BE BASED ON FUNCTION, COST AND MAINTENANCE. STONE OR GRAVEL ARE NOT RECOMMENDED IN PARKING LOT APPLICATIONS, SINCE THEY INCREASE SOIL TEMPERATURE AND HAVE LOW WATER HOLDING CAPACITY.
- MEDIA FOR TURF COVER: ONE ADAPTATION SUGGESTED FOR USE WITH TURF COVER IS TO DESIGN THE FILTER MEDIA PRIMARILY AS A SAND FILTER WITH ORGANIC CONTENT ONLY AT THE TOP. LEAF COMPOST TILLED INTO THE TOP LAYERS WILL PROVIDE ORGANIC CONTENT FOR THE VEGETATIVE COVER. IF GRASS IS THE ONLY VEGETATION, THE RATIO OF ORGANIC MATTER IN THE FILTER MEDIA COMPOSITION MAY BE REDUCED.

TABLE BR-4. MAXIMUM PONDING SURFACE AREA TO SOIL MEDIA SURFACE AREA RATIOS*

PER CHAPTER 4.2.3 OF THE WEST VIRGINIA STORMWATER MANAGEMENT & DESIGN GUIDANCE MANUAL		
SURFACE PONDING VOLUME	SURFACE PONDING DEPTH (FT.)	MAXIMUM RATIO TO SURFACE AREAS
AT LEAST 50% OF DESIGN VOLUME	<1	1.5
AT LEAST 70% OF DESIGN VOLUME	≥1	1.25

*DEFINED AS THE RATIO OF THE PONDING SURFACE AREA MEASURED AT THE BOTTOM OF THE PONDING DEPTH TO THE SOIL MEDIA SURFACE AREA MEASURED AT THE TOP OF THE SOIL MEDIA.

TABLE BR-9 RECOMMENDED MAINTENANCE TASKS FOR BIORETENTION PRACTICES

PER CHAPTER 4.2.3 OF THE WEST VIRGINIA STORMWATER MANAGEMENT & DESIGN GUIDANCE MANUAL		
MAINTENANCE TASKS	FREQUENCY	
- For the first 6 months following construction, the practice and CDA should be inspected at least twice after storm events that exceed 1/2 in. of rainfall. Conduct any needed repairs or stabilization.		
- Inspectors should look for bare or eroding areas in the CDS or around the Bioretention area, and make sure they are immediately stabilized with grass cover.		
- One-time, spot fertilization may be needed for initial plantings.	Upon establishment	
- Watering is needed once a week during the first 2 months, and then as needed during first growing season (April-October), depending on rainfall.		
- Remove and replace dead plants. Up to 10% of the plant stock may die off in the first year, so construction contracts should include a care and replacement warranty to ensure that vegetation is properly established and survives during the first growing season following construction.		
- Mowing of grass filter strips and Bioretention with turf cover	At least 4 times a year	
- Check curb cuts and inlets for accumulated grit, leaves, and debris that may block inflow		
- Spot weeding, trash removal, and mulch raking	Twice during growing season	
- Add reinforcement planting to maintain desired the vegetation density	As needed	
- Remove invasive plants using recommended control methods		
- Remove any dead or diseased plants		
- Stabilize the CDA to prevent erosion		
- Conduct a maintenance inspection	Annually	
- Supplement mulch in voided areas to maintain a 3 inch layer		
- Prune trees and shrubs		
- Remove sediment in pre-treatment cells and inflow points		
- Remove sediment in pre-treatment cells and inflow points		
- Remove and replace the mulch layer Once every 2 to 3 years	Once every 2 to 3 year	

BR-4.16. SIGNAGE

PER CHAPTER 4.2.3 OF THE WEST VIRGINIA STORMWATER MANAGEMENT & DESIGN GUIDANCE MANUAL
BIORETENTION UNITS IN HIGHLY VISIBLE AREAS (E.G., SCHOOLS, PARKS, URBAN SETTINGS, GOVERNMENT BUILDINGS) SHOULD BE STENCILED (1) OTHERWISE PERMANENTLY MARKED TO DESIGNATE IT AS A STORMWATER MANAGEMENT FACILITY. THE STENCIL OR PLAQUE SHOULD INDICATE (1) ITS WATER QUALITY PURPOSE, (2) THAT IT MAY POND BRIEFLY AFTER A STORM, AND (3) THAT IT IS NOT TO BE DISTURBED EXCEPT FOR REQUIRED MAINTENANCE.

FOR YOUR HEALTH & SAFETY

This is a man made stormwater management facility designed to treat stormwater and is not to be disturbed except for required maintenance. The facility may pond briefly after a storm. For your safety, please avoid the water.

BR-7.2. BIORETENTION INSTALLATION:

PER CHAPTER 4.2.3 OF THE WEST VIRGINIA STORMWATER MANAGEMENT & DESIGN GUIDANCE MANUAL.

THE FOLLOWING IS A TYPICAL CONSTRUCTION SEQUENCE TO PROPERLY INSTALL A BIORETENTION BASIN. THESE STEPS MAY BE MODIFIED TO REFLECT DIFFERENT BIORETENTION APPLICATIONS OR EXPECTED SITE CONDITIONS:

- CONSTRUCTION OF THE BIORETENTION BASIN AREA MAY ONLY BEGIN AFTER THE ENTIRE CDA HAS BEEN STABILIZED WITH VEGETATION. IT MAY BE NECESSARY TO BLOCK CERTAIN CURB OR OTHER INLETS WHILE THE BIORETENTION AREA IS BEING CONSTRUCTED. THE PROPOSED SITE SHOULD BE CHECKED FOR EXISTING UTILITIES PRIOR TO ANY EXCAVATION.
- THE DESIGNER AND THE INSTALLER SHOULD HAVE A PRE-CONSTRUCTION MEETING, CHECKING THE BOUNDARIES OF THE CDA AND ACTUAL INLET ELEVATIONS TO ENSURE THEY CONFORM TO ORIGINAL DESIGN. SINCE OTHER CONTRACTORS MAY BE RESPONSIBLE FOR CONSTRUCTING PORTIONS OF THE SITE, IT IS QUITE COMMON TO FIND SUBTLE DIFFERENCES IN SITE GRADING, DRAINAGE AND PAVING ELEVATIONS THAT CAN PRODUCE HYDRAULICALLY IMPORTANT DIFFERENCES FOR THE PROPOSED BIORETENTION AREA. THE DESIGNER SHOULD CLEARLY COMMUNICATE, IN WRITING, ANY PROJECT CHANGES DETERMINED DURING THE PRE-CONSTRUCTION MEETING TO THE INSTALLER AND THE PLAN REVIEW/INSPECTION AUTHORITY.
- TEMPORARY APPROVED EROSION AND SEDIMENT CONTROLS ARE NEEDED DURING CONSTRUCTION OF THE BIORETENTION AREA TO DIVERT STORMWATER AWAY FROM THE BIORETENTION AREA UNTIL IT IS COMPLETED. SPECIAL PROTECTION MEASURES SUCH AS EROSION CONTROL FABRICS MAY BE NEEDED TO PROTECT VULNERABLE SIDE SLOPES FROM EROSION DURING THE CONSTRUCTION PROCESS. IN CASES WHERE THE BIORETENTION IS CO-LOCATED WITH EROSION AND SEDIMENT CONTROL PRACTICES (E.G., SEDIMENT TRAPS), THE CONDITIONS NOTED IN SECTION BR-7.1 OF THE WEST VIRGINIA STORMWATER MANAGEMENT & DESIGN GUIDANCE MANUAL MUST BE FOLLOWED.
- ANY PRE-TREATMENT CELLS SHOULD BE EXCAVATED FIRST AND THEN SEALED TO TRAP SEDIMENTS.
- EXCAVATORS OR BACKHOES SHOULD WORK FROM THE SIDES TO EXCAVATE THE BIORETENTION AREA TO ITS APPROPRIATE DESIGN DEPTH AND DIMENSIONS. EXCAVATING EQUIPMENT SHOULD HAVE SCOOPS WITH ADEQUATE REACH SO THEY DO NOT HAVE TO SIT INSIDE THE FOOTPRINT OF THE BIORETENTION AREA. CONTRACTORS SHOULD USE A CELL CONSTRUCTION APPROACH IN LARGER BIORETENTION BASINS, WHEREBY THE BASIN IS SPLIT INTO 500 TO 1,000 SQ. FT. TEMPORARY CELLS WITH A 10-15 FOOT EARTH BRIDGE IN BETWEEN, SO THAT CELLS CAN BE EXCAVATED FROM THE SIDE.
- IT MAY BE NECESSARY TO RIP THE BOTTOM SOILS TO A DEPTH OF 6 TO 12 INCHES TO PROMOTE GREATER INFILTRATION.
- IF USING A FILTER FABRIC, PLACE THE FABRIC ON THE SIDES OF THE BIORETENTION AREA WITH A 6 INCH OVERLAP ON THE SIDES. IF AN UNDERDRAIN STONE STORAGE LAYER WILL BE USED, PLACE APPROPRIATE DEPTH OF NO. 57 STONE ON THE BOTTOM, INSTALL THE PERFORATED UNDERDRAIN PIPE, PACK NO. 57 STONE TO 3 INCHES ABOVE THE UNDERDRAIN PIPE, ON TOP OF THE NO. 57 STONE, ADD 2 INCHES OF CHOKER STONE (NO. 8 OR NO. 89 STONE) AND THEN 2 TO 4 INCHES OF CONSTRUCTION SAND AS A FILTER BETWEEN THE UNDERDRAIN AND THE SOIL MEDIA LAYER. IF NO STONE STORAGE LAYER IS USED, START WITH 6 INCHES OF NO. 57 STONE ON THE BOTTOM, AND PROCEED WITH THE LAYERING AS DESCRIBED ABOVE.
- DELIVER THE SOIL MEDIA FROM AN APPROVED VENDOR, AND STORE IT ON AN ADJACENT IMPERVIOUS AREA OR PLASTIC SHEETING. APPLY THE MEDIA IN 12 INCH LIFTS UNTIL THE DESIRED TOP ELEVATION OF THE BIORETENTION AREA IS ACHIEVED. WAIT A FEW DAYS TO CHECK FOR SETTLEMENT, AND ADD ADDITIONAL MEDIA, AS NEEDED, TO ACHIEVE THE DESIGN ELEVATION.
- PREPARE PLANTING HOLES FOR ANY TREES AND SHRUBS, INSTALL THE VEGETATION, AND WATER ACCORDINGLY. INSTALL ANY TEMPORARY IRRIGATION.
- PLACE THE SURFACE COVER IN BOTH CELLS (MULCH, RIVER STONE OR TURF), DEPENDING ON THE DESIGN. IF COIR OR JUTE MATTING WILL BE USED IN LIEU OF MULCH, THE MATTING WILL NEED TO BE INSTALLED PRIOR TO PLANTING (STEP 9), AND HOLES OR SLITS WILL HAVE TO BE CUT IN THE MATTING TO INSTALL THE PLANTS.
- INSTALL THE PLANT MATERIALS AS SHOWN IN THE LANDSCAPING PLAN, AND WATER THEM DURING WEEKS OF NO RAIN FOR THE FIRST TWO MONTHS.
- IF CURB CUTS ARE BLOCKED DURING BIORETENTION INSTALLATION, UNBLOCK THESE AFTER THE DRAINAGE AREA AND SIDE SLOPES HAVE GOOD VEGETATIVE COVER. IT IS RECOMMENDED THAT UNBLOCKING CURB CUTS AND INLETS TAKE PLACE AFTER TWO TO THREE STORM EVENTS IF THE DRAINAGE AREA INCLUDES NEWLY INSTALLED ASPHALT, SINCE NEW ASPHALT TENDS TO PRODUCE A LOT OF FINES AND GRIT DURING THE FIRST SEVERAL MONTHS.
- CONDUCT THE FINAL CONSTRUCTION INSPECTION (SEE APPENDIX A OF THE WEST VIRGINIA STORMWATER MANAGEMENT & DESIGN GUIDANCE MANUAL), THEN LOG THE GPS COORDINATES FOR EACH BIORETENTION FACILITY AND SUBMIT THEM FOR ENTRY INTO THE LOCAL MAINTENANCE TRACKING DATABASE.

BIORETENTION LANDSCAPING SPECIFICATION

LANDSCAPING FOR BIORETENTION SURFACE SHALL FOLLOW THE REQUIREMENTS OF BR-4.17 OF THE WDEP STORMWATER MANAGEMENT DESIGN GUIDANCE MANUAL.

PROPOSED TURF COVER AS FOLLOWS:

SEED MIX:	SEED	APPLICATION RATE
	KENTUCKY BLUEGRASS	20 LB/AC
	CREEPING RED FESCUE	30 LB/AC
	CHEWINGS FESCUE	30 LB/AC

TOPSOIL: LOAMY SAND OR SANDY LOAM TEXTURE WITH LESS THAN 5% CLAY CONTENT, PH CORRECTED TO BETWEEN 6 & 7, AND AN ORGANIC MATTER CONTENT OF AT LEAST 3%. TOPSOIL SHALL BE TILLED INTO THE TOP 3" OF THE BIORETENTION MEDIA.

BIORETENTION LINER NOTES:

- THE SEDIMENT FOREBAYS & BIORETENTION MEDIA SHALL BE LINED IN ONE OF THE FOLLOWING TWO WAYS:
 - A 12" CLAY LINER WITH A MAXIMUM HYDRAULIC CONDUCTIVITY OF 1×10^{-7} CM/SEC
 - A 30 MIL PVC LINER.

TABLE BR-7. BIORETENTION MATERIAL SPECIFICATIONS

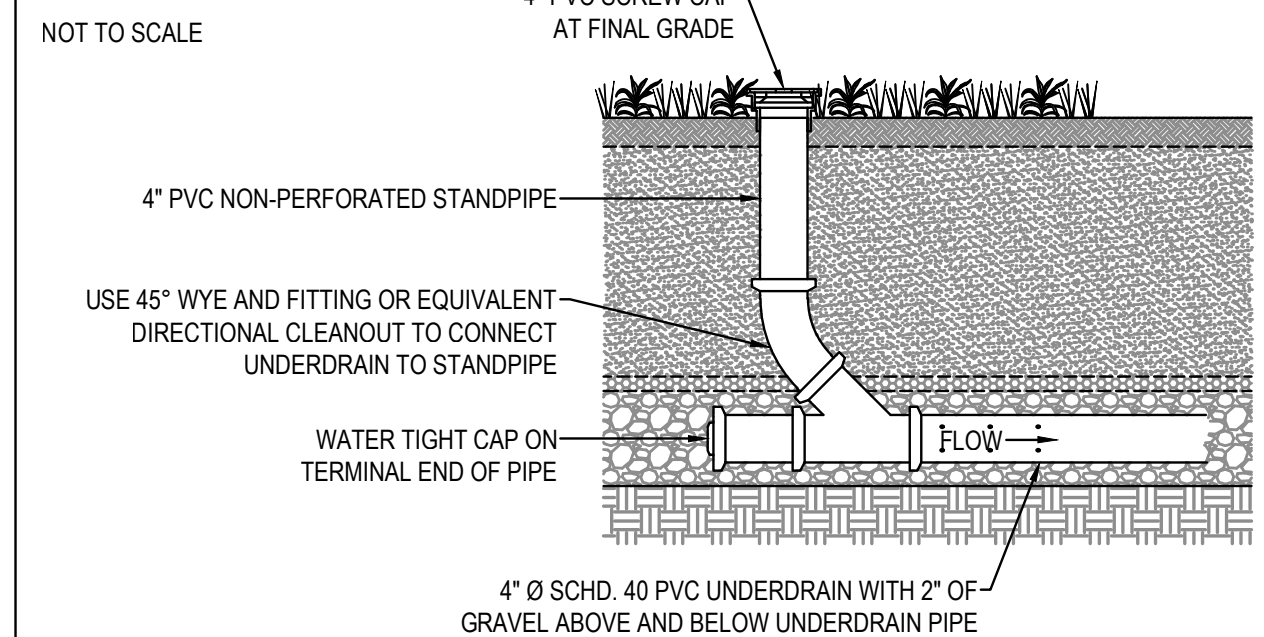
PER CHAPTER 4.2.3 OF THE WEST VIRGINIA STORMWATER MANAGEMENT & DESIGN GUIDANCE MANUAL		
MATERIAL	SPECIFICATION	NOTES
FILTER MEDIA	-70%-88% SAND -8%-26% TOP SOIL -3%-5% ORGANIC MATTER IN THE FORM OF LEAF COMPOST -SUPPLIED BY QUALIFIED VENDOR -REFER TO TABLE BR-5 FOR SPECIFIC MEDIA MATERIAL COMPOSITION	MINIMUM DEPTH OF 24 IN.; 36 IN. RECOMMENDED; (18 IN. IF AN INFILTRATION SUMP IS USED) THE VOLUME OF FILTER MEDIA USED SHOULD BE BASED ON 110% OF THE PLAN VOLUME, TO ACCOUNT FOR SETTLING OR COMPACTION.
FILTER MEDIA TESTING	BETWEEN 7 AND 21 MG./KG. OF P IN THE SOIL MEDIA. CEC'S GREATER THAN 10.	QUALIFIED VENDORS SHOULD TEST MEDIA IN BATCHES.
ALTERNATIVE SURFACE COVER	USE TURF COVER.	
TOP SOIL FOR TURF COVER	LOAMY SAND OR SANDY LOAM TEXTURE, WITH LESS THAN 5% CLAY CONTENT, PH CORRECTED TO BETWEEN 6 AND 7, AND AN ORGANIC MATTER CONTENT OF AT LEAST 2%.	3 INCHES TILLED INTO SURFACE LAYER.
FILTER FABRIC (OPTIONAL)	WOVEN MONOFLAMENT FABRIC OR NON-WOVEN GEOTEXTILE AS PER AASHTO M-288 (DO NOT USE SILT FENCE).	APPLY ONLY TO THE SIDE SLOPES
CHOKING LAYER	LAYER OF CHOKER STONE (TYPICALLY NO. 8 OR NO. 89 WASHED GRAVEL), WHICH IS LAID OVER THE UNDERDRAIN STONE.	
UNDERDRAIN STONE	1 IN. DIAMETER STONE SHOULD BE DOUBLE-WASHED AND CLEAN AND FREE OF ALL FINES (E.G., ASTM D448 NO. 57 STONE).	SEE DETAILS FOR DEPTH
IMPERMEABLE LINER (OPTIONAL)		SEE LINER NOTE THIS SHEET
UNDERDRAINS, CLEANOUTS, AND OBSERVATION WELLS	USE 4 IN OR 6 IN. RIGID SCHEDULE 40 PVC PIPE WITH 3/8 IN. PERFORATIONS AT 6 IN. ON CENTER; EACH UNDERDRAIN SHOULD BE LOCATED NO MORE THAN 20 FEET FROM THE NEXT PIPE. (SEE DETAILS BELOW FOR PIPE SIZE.)	LAY THE PERFORATED PIPE UNDER THE LENGTH OF THE BIORETENTION CELL, AND INSTALL NON-PERFORATED PIPE AS NEEDED TO CONNECT WITH THE STORM DRAIN SYSTEM OR TO DAYLIGHT IN A STABILIZED CONVEYANCE. INSTALL T'S AND Y'S AS NEEDED, DEPENDING ON THE UNDERDRAIN CONFIGURATION. EXTEND CLEANOUT PIPES TO THE SURFACE WITH VENTED CAPS AT THE T'S AND Y'S.

TABLE BR-5. SOIL MEDIA CRITERIA AND TESTING FOR BIORETENTION

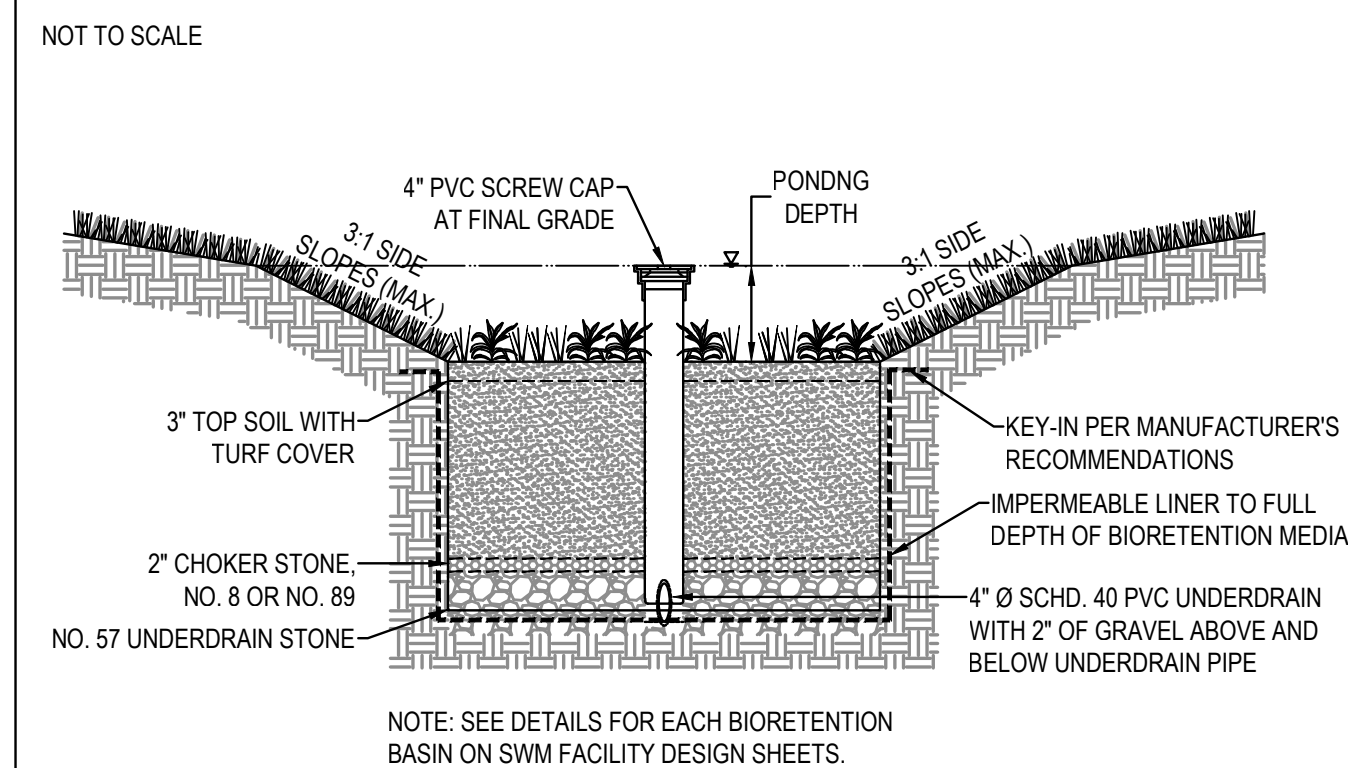
PER CHAPTER 4.2.3 OF THE WEST VIRGINIA STORMWATER MANAGEMENT & DESIGN GUIDANCE MANUAL		
SOIL MEDIA CRITERION	DESCRIPTION	STANDARD(S)
GENERAL COMPOSITION	SOIL MEDIA MUST HAVE THE PROPER PROPORTIONS SAND, FINES, AND ORGANIC MATTER TO PROMOTE PLANT GROWTH, DRAIN AT THE PROPER RATE, AND FILTER POLLUTANTS.	70% TO 88% SAND 8% TO 26% TOP SOIL; AND 3% TO 5% ORGANIC MATTER (AGED COMPOST)
SAND	SILICA BASED COARSE AGGREGATE ¹ LOCALLY-APPROVED PULVERIZED GLASS MAY BE SUBSTITUTED IF THE LOCAL AUTHORITY UNDERTAKES TESTING TO VERIFY COMPLIANCE WITH THE SPECIFICATION AND ALSO LACK OF HEAVY METALS	SIEVE SIZE % PASSING 3/8 IN. 9.50 MM. 100 NO. 4 4.75 MM. 95 TO 100 NO. 8 2.36 MM. 80 TO 100 NO. 16 1.18 MM. 45 TO 85 NO. 30 0.6 MM 15 TO 60 NO. 50 0.3 MM 3 TO 15 NO. 100 0.15 MM 0 TO 4
TOP SOIL	LOAMY SAND OR SANDY LOAM	EFFECTIVE PARTICLE SIZE (D10) > 0.3 MM USDA TEXTURAL TRIANGLE
ORGANIC MATTER	WELL AGED, CLEAN COMPOST	APPENDIX D
P-INDEX OR PHOSPHOROUS (P) CONTENT	SOIL MEDIA WITH HIGH P LEVELS WILL EXPORT P THROUGH THE MEDIA AND POTENTIALLY TO DOWNSTREAM CONVEYANCE OR RECEIVING WATERS	P CONTENT = 7 TO 23 MG/KG
CATION EXCHANGE CAPACITY (CEC)	THE CEC IS DETERMINED BY THE AMOUNT OF HUMUS OR ORGANIC MATTER. HIGHER CEC WILL PROMOTE POLLUTANT REMOVAL.	CEC > 10 MILLIEQUIVALENTS PER 100 GRAMS
INFILTRATION RATE	THIS REFERS TO THE INFILTRATION RATE OF THE SOIL MEDIA, AND NOT THE UNDERLYING SOIL. A MINIMUM RATE IS REQUIRED TO ALLOW THE SOIL MEDIA TO PROPERLY DRAIN	MINIMUM INFILTRATION RATE = 1 - 2 INCHES/HOUR (MOST SOIL MEDIA WILL HAVE MUCH HIGHER RATES)
SOIL MEDIA DEPTH	THE DEPTH OF SOIL MEDIA FOR VARIOUS APPLICATIONS	SOIL MEDIA DEPTHS FOR LEVEL 1 AND LEVEL 2 DESIGN ARE SPECIFIED IN TABLE BR-1. IF FIELD ARE UTILIZED IN THE BIORETENTION PLANTING PLAN, TREE PLANTING HOLES IN THE FILTER BED MUST BE AT LEAST 4 FEET DEEP TO PROVIDE ENOUGH SOIL VOLUME FOR THE ROOT STRUCTURE OF MATURE TREES. IN ADDITION, HIGHER PROPORTIONS OF TOPSOIL (30%) AND AGED COMPOST (20%) SHOULD BE ADDED TO THESE PLANTING HOLES COMPARED TO THE REST OF THE SOIL. TURF, PERENNIALS OR SHRUBS SHOULD BE USED INSTEAD OF TREES TO LANDSCAPE SHALLOWER FILTER BEDS.

¹ MANY SPECIFICATIONS FOR SAND REFER TO ASTM C-33. THE ASTM C-33 SPECIFICATION ALLOWS A PARTICLE SIZE DISTRIBUTION THAT CONTAINS A LARGE FRACTION OF FINES (SILT AND CLAY SIZED PARTICLES <0.05 MM). THE SMALLER FINES FILL THE VOIDS BETWEEN THE LARGER SAND SIZED PARTICLES RESULTING IN SMALLER AND MORE CONVULATED PORE SPACES. WHILE THIS CONDITION PROVIDES A HIGH DEGREE OF TREATMENT, IT ALSO ENCOURAGES CLOGGING OF THE REMAINING VOID SPACES WITH SUSPENDED SOLIDS AND BIOLOGICAL GROWTH, RESULTING IN A GREATER CHANGE OF A RESTRICTIVE BIOMAT FORMING. BY LIMITING THE FINE PARTICLES ALLOWED IN THE SAND COMPONENT, THE COMBINED MEDIA RECIPE OF SAND AND THE FINES ASSOCIATED WITH THE SOIL AND ORGANIC MATERIAL WILL BE LESS PRONE TO CLOGGING, WHILE ALSO PROVIDING AN ADEQUATE LEVEL OF FILTRATION AND RETENTION.

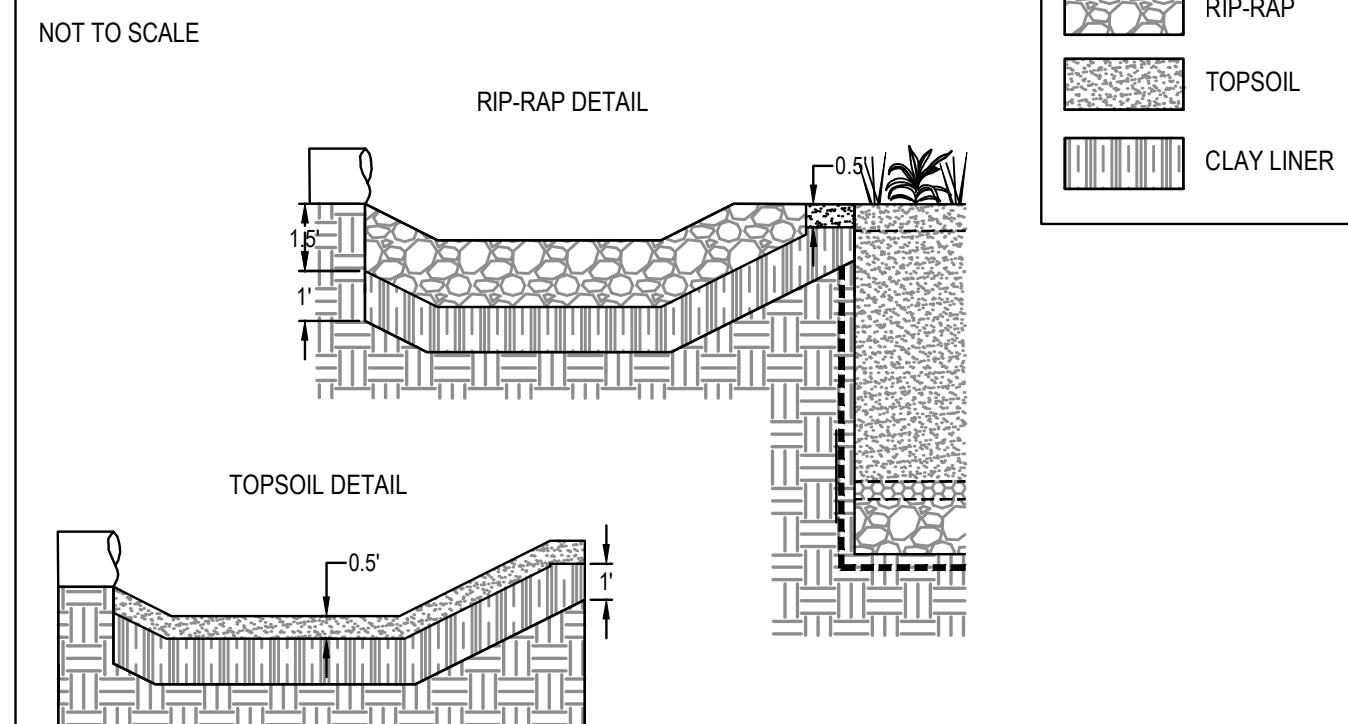
CLEANOUT DETAIL:



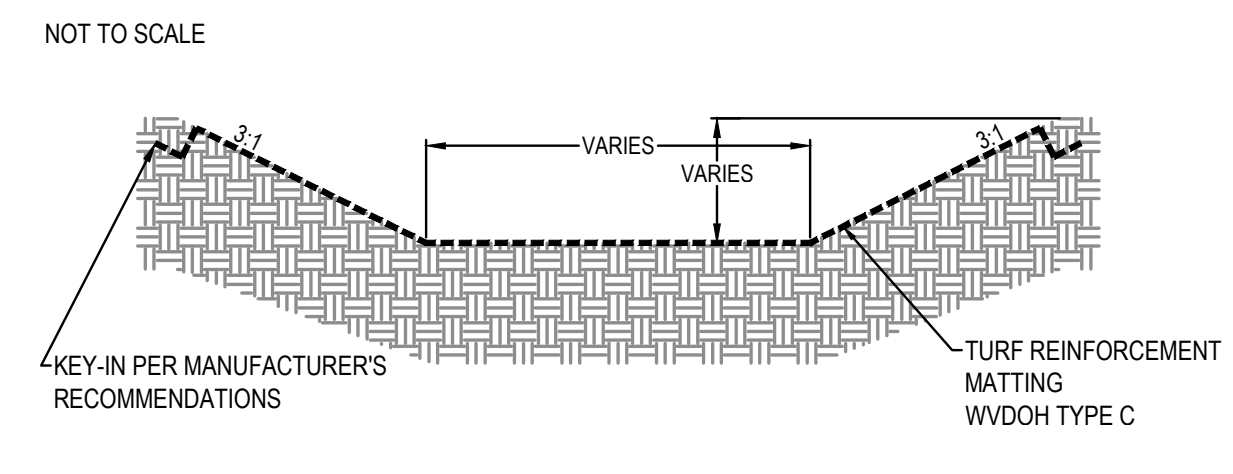
TYPICAL BIORETENTION BASIN:



FOREBAY LINER DETAILS:



TYPICAL BIORETENTION FACILITY SPILLWAY:



INTEGRITY FEDERAL SERVICES

CIVIL ENGINEERING • LANDSCAPE ARCHITECTURE • CONSTRUCTION MANAGEMENT

148 S. Queen Street, Suite 301 • Phone: 304-757-8466
Martinsburg, WV 25101 • www.ifs-ae.com

Professional Engineer Seal for Thomas P. Gorman, State of West Virginia, No. 9195.

NO.	REVISIONS

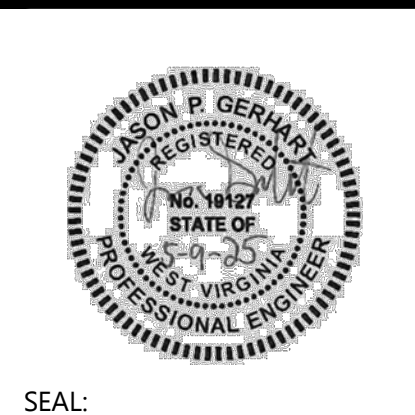
SWM NARRATIVE AND DETAILS

HALLMARK GLEN

PRELIMINARY PLAT

TAX MAP 18, PARCEL 25; D.B. 1338; PG. 538
SHEPHERDSTOWN TAX DISTRICT
JEFFERSON COUNTY, WEST VIRGINIA

SCALE:	HORIZ: NTS VERT.:
DATE:	FEBRUARY 2025
JOB:	5098-0101
DRAWN:	JCH
CHECK:	JPG
CADD:	C-CJ-101.DWG
NCS:	
SHEET:	32 OF 34

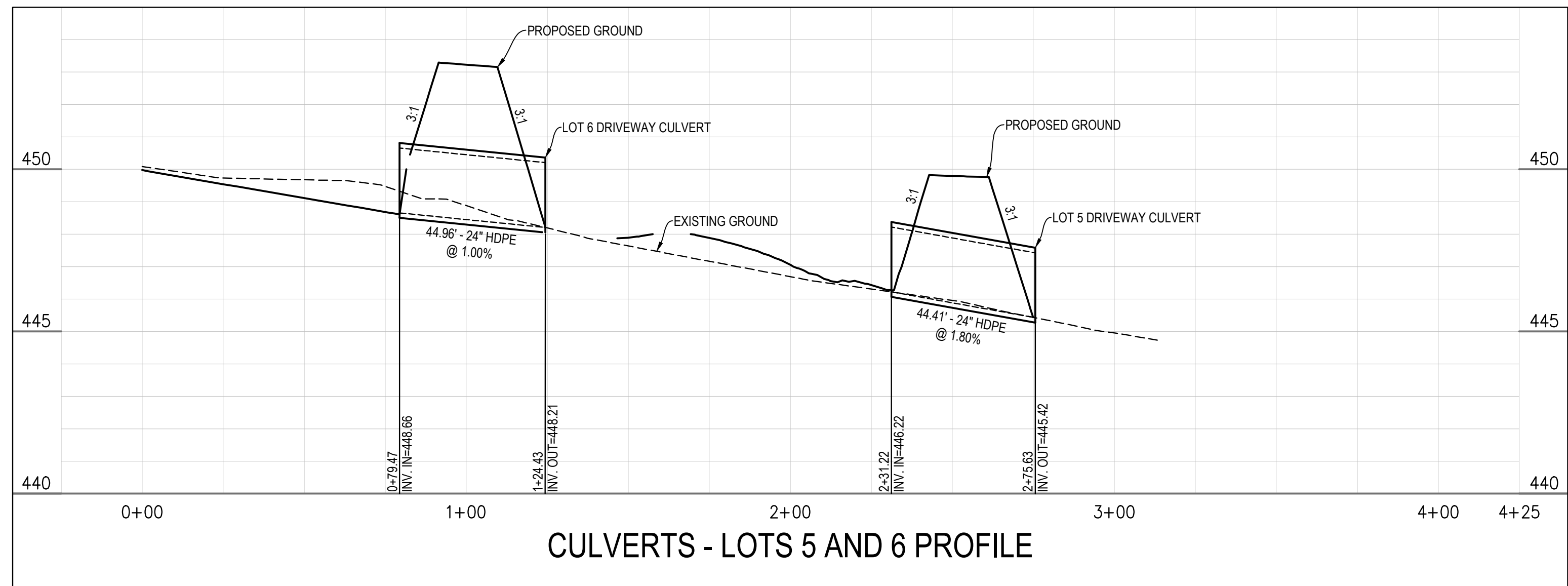


SEAL:

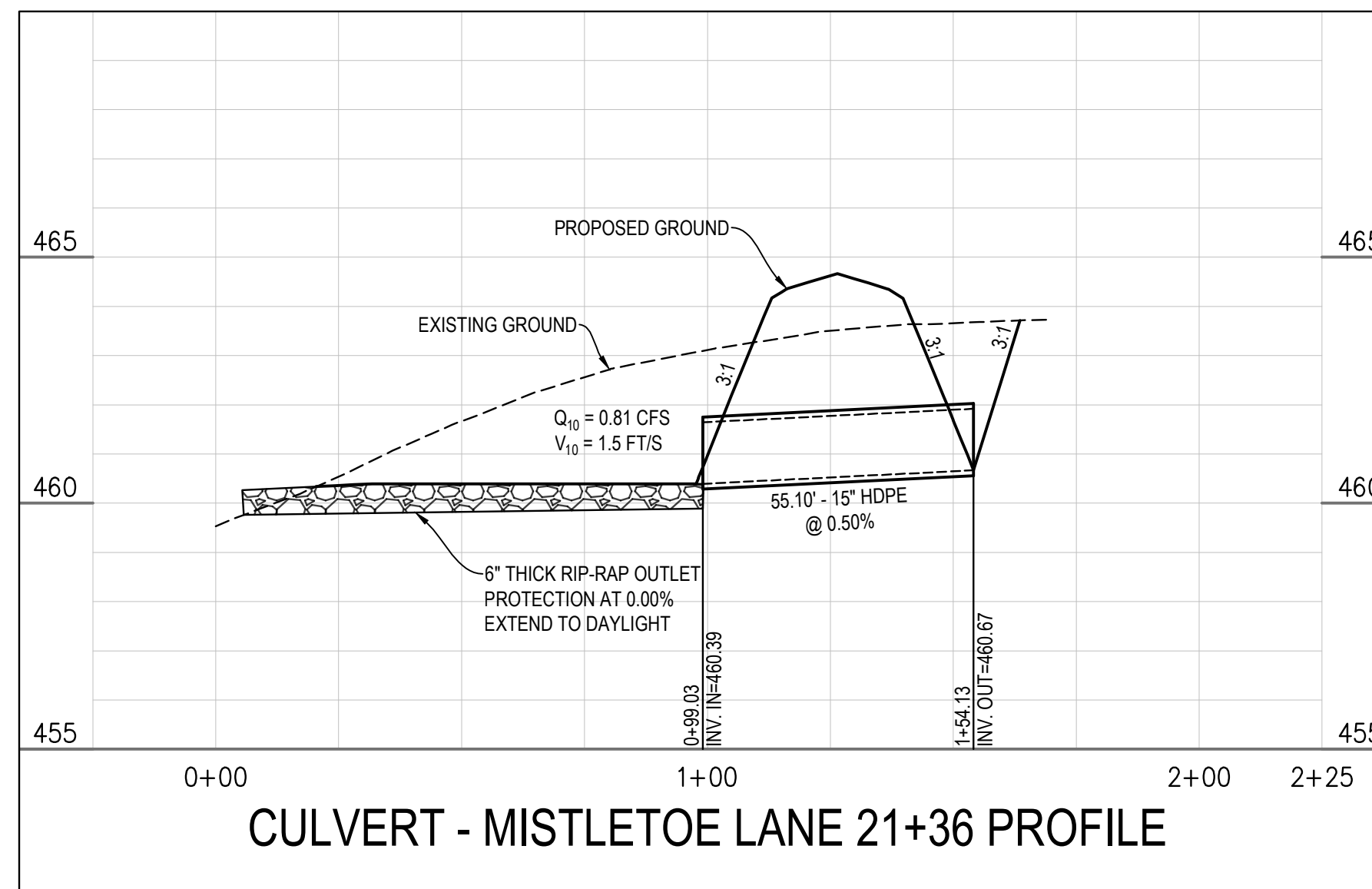
NO.	DATE	REVISIONS

ROAD CULVERT PROFILES

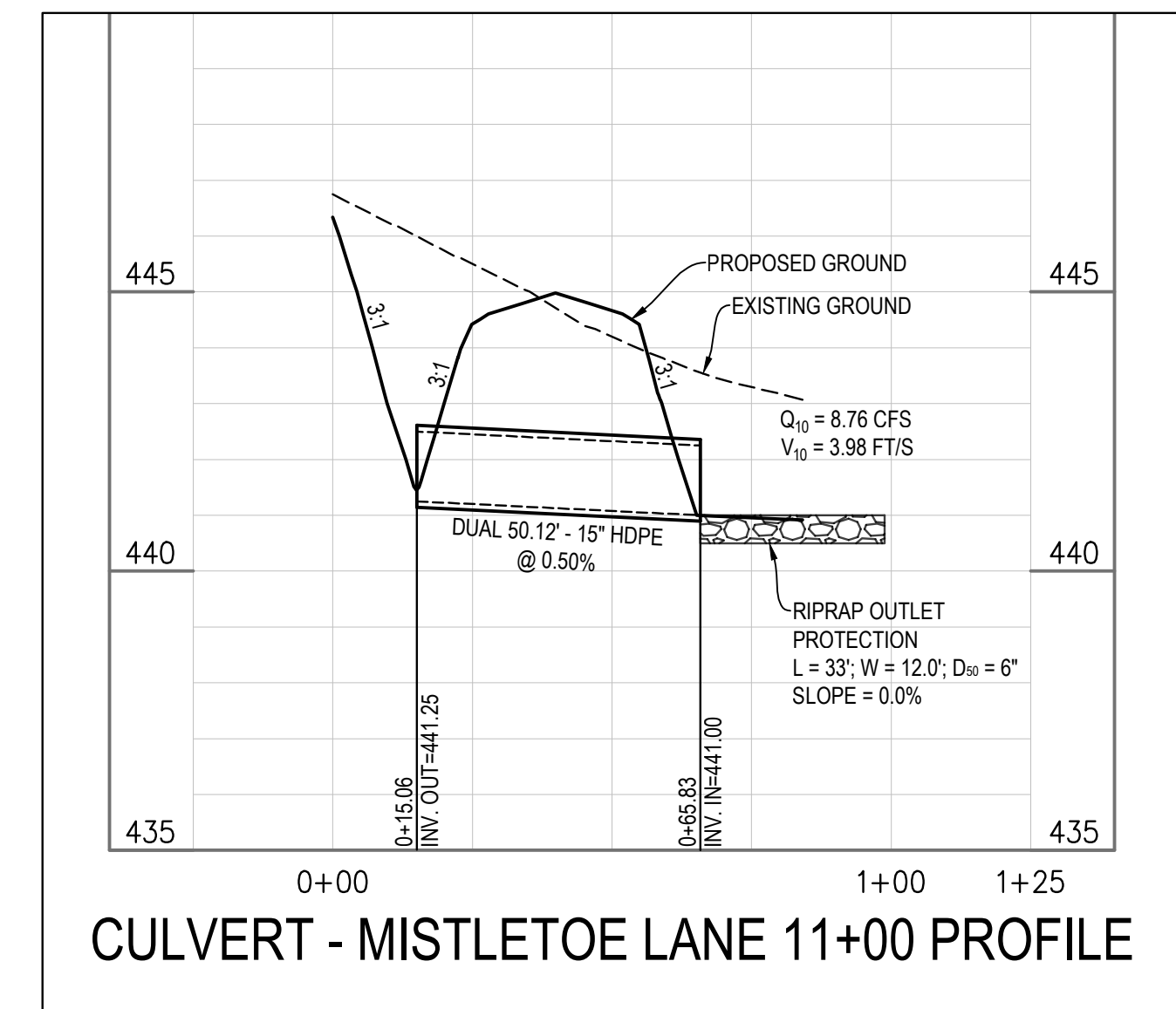
HALLMARK GLEN PRELIMINARY PLAT
 TAX MAP 18, PARCEL 25; D.B. 1338, PG. 538
 SHEPHERDSTOWN TAX DISTRICT
 JEFFERSON COUNTY, WEST VIRGINIA



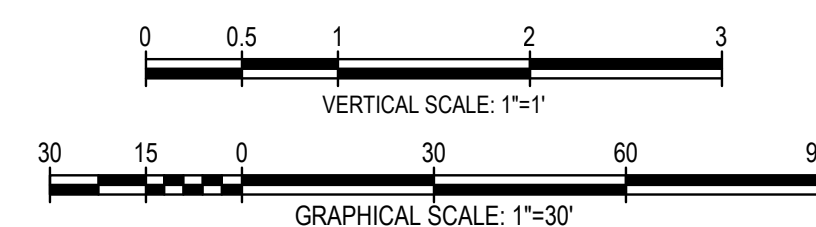
CULVERTS - LOTS 5 AND 6 PROFILE



CULVERT - MISTLETOE LANE 21+36 PROFILE



CULVERT - MISTLETOE LANE 11+00 PROFILE



ROAD STATIONS		DITCH DATA						DRAINAGE AREA				CA		FLOW TIME Tc	RAINFALL	FLOW RATE (Q)	VELOCITY	DEPTH	DITCH TREATMENT*	
BEGINNING	ENDING	FLOW	MANNINGS "N" FACTOR	CHANNEL SLOPE	LEFT SIDE SLOPE	RIGHT SIDE SLOPE	BOTTOM WIDTH	TOTAL AREA (AC.)	TOTAL AREA (SF)	LAWN AREA (SF)	IMPERVIOUS AREA (SF)	RUN-OFF COEFF. (C)	INCR.	CUM.	(IN./HR.)	(CUM.) (CFS)	(FPS)	(FT.)		
10+00	13+50	↓	0.030	1.50	4.00	2.00	0.00	0.22	9,465	5,965	3,500	0.52	0.11	0.11	5	6.40	0.73	1.86	0.36	SEED & MULCH (GRASS)
13+50	18+89.29	↑	0.030	-4.75	4.00	2.00	0.00	0.84	36,781	23,039	13,742	0.52	0.44	0.44	5	6.40	2.83	4.01	0.48	SOLID SODDING
18+89.29	24+35	↓	0.030	3.00	4.00	2.00	0.00	0.80	34,696	29,216	5,480	0.39	0.31	0.31	5	6.40	2.01	3.08	0.46	SOLID SODDING
24+35	26+37.60	↑	0.030	2.25	4.00	2.00	0.00	0.29	12,494	6,494	6,000	0.59	0.17	0.17	5	6.40	1.08	2.35	0.38	MESH DITCH LINER

ROAD STATIONS		DITCH DATA						DRAINAGE AREA				CA		FLOW TIME Tc	RAINFALL	FLOW RATE (Q)	VELOCITY	DEPTH	DITCH TREATMENT*	
BEGINNING	ENDING	FLOW	MANNINGS "N" FACTOR	CHANNEL SLOPE (%)	LEFT SIDE SLOPE	RIGHT SIDE SLOPE	BOTTOM WIDTH	TOTAL AREA (AC.)	TOTAL AREA (SF)	LAWN AREA (SF)	IMPERVIOUS AREA (SF)	RUN-OFF COEFF. (C)	INCR.	CUM.	(IN./HR.)	(CUM.) (CFS)	(FPS)	(FT.)		
10+00	13+50	↓	0.030	1.50	3.00	4.00	0.00	14.31	623,139	610,347	12,792	0.31	4.47	4.47	5	6.40	28.59	4.52	1.34	SOLID SODDING
13+50	18+89.29	↑	0.030	-4.75	3.00	4.00	0.00	1.05	45,888	29,064	16,824	0.52	0.55	0.55	5	6.40	3.51	4.11	0.49	SOLID SODDING
18+89.29	24+35	↓	0.030	3.00	3.00	4.00	0.00	0.39	16,774	11,294	5,480	0.50	0.19	0.19	5	6.40	1.22	2.65	0.36	MESH DITCH LINER
24+35	26+37.60	↑	0.030	2.25	3.00	4.00	0.00	1.55	67,585	42,057	25,528	0.53	0.82	0.82	5	6.40	5.23	3.42	0.65	SOLID SODDING

ROAD STATIONS		DITCH DATA						DRAINAGE AREA				CA		FLOW TIME Tc	RAINFALL	FLOW RATE (Q)	VELOCITY	DEPTH	DITCH TREATMENT*	
BEGINNING	ENDING	FLOW	MANNINGS "N" FACTOR	CHANNEL SLOPE	LEFT SIDE SLOPE	RIGHT SIDE SLOPE	BOTTOM WIDTH	TOTAL AREA (AC.)	TOTAL AREA (SF)	LAWN AREA (SF)	IMPERVIOUS AREA (SF)	RUN-OFF COEFF. (C)	INCR.	CUM.	(IN./HR.)	(CUM.) (CFS)	(FPS)	(FT.)		
10+00	11+51.19	↓	0.030	2.00	4.00	2.00	0.00	0.56	24,190	12,095	12,095	0.60	0.33	0.33	5	6.40	2.13	2.71	0.61	MESH DITCH LINER

ROAD STATIONS		DITCH DATA						DRAINAGE AREA				CA		FLOW TIME Tc	RAINFALL	FLOW RATE (Q)	VELOCITY	DEPTH	DITCH TREATMENT*	
BEGINNING	ENDING	FLOW	MANNINGS "N" FACTOR	CHANNEL SLOPE (%)	LEFT SIDE SLOPE	RIGHT SIDE SLOPE	BOTTOM WIDTH	TOTAL AREA (AC.)	TOTAL AREA (SF)	LAWN AREA (SF)	IMPERVIOUS AREA (SF)	RUN-OFF COEFF. (C)	INCR.	CUM.	(IN./HR.)	(CUM.) (CFS)	(FPS)	(FT.)		
10+00	11+51.19	↓	0.030	2.00	3.00	4.00	0.00	0.30	12,865	6,433	6,433	0.60	0.18	0.18	5	6.40	1.13	2.21	0.37	MESH DITCH LINER
11+51.19	15+75	↑	0.030	3.25	3.00	4.00	0.00	0.95	41,355	24,531	16,824	0.54	0.52	0.52	5	6.40	3.31	3.49	0.51	SOLID SODDING
15+75	16+42	↓	0.030	2.84	3.00	4.00	0.00	0.39	16,774	11,294	5,480	0.50	0.19	0.19	5	6.40	1.22	2.58	0.36	MESH DITCH LINER
24+35	26+37.60	↑	0.030	2.25	3.00	4.00	0.00	3.95	171,990	146,462	25,528	0.39	1.54	1.54	5	6.40	9.83	4.02	0.83	SOLID SODDING

LOT #	TO LOT #	QUANTITY	PIPE SIZE (IN.)	PIPE MATERIAL
7	6	1	15	HDPE
9	-	1	15	HDPE
11	6	1	15	HDPE
12	11	1	15	HDPE
13	12	1	15	HDPE
RESIDUE	-	1	15	HDPE
15	-	1	15	HDPE
16	-	1	15	HDPE
18	-	1	15	HDPE

LENGTH	INV. IN	INV. OUT	SLOPE (%)	MAX. HEADWATER ELEV. ALLOWED
30	449.69	449.28	1.37	452.26
30	464.02	463.21	2.69	466.43
30	460.69	460.23	1.53	463.00
30	461.46	461.00	1.53	463.87
30	462.37	461.87	1.67	464.74
30	465.94	465.48	1.53	468.09
30	464.54	464.09	1.50	467.02
30	464.02	463.26	2.53	466.40
30	463.14	462.05	3.63	465.39

TOTAL AREA (AC.)	RUNOFF COEFFICIENT [C]	CUMULATIVE AREA (SF)	INCREMENTAL AREA (SF)	CUMULATIVE LAWN AREA (SF)	INCREMENTAL LAWN AREA (SF)	CUMULATIVE IMPERVIOUS AREA (SF)	INCREMENTAL IMPERVIOUS AREA (SF)	CUMULATIVE GRAVEL AREA (SF)	GRAVEL (SQ. FT.)
2.56	0.37	111,650	111,650	99,093	99,093	12,557	12,557	0	0
0.08	0.60	3,406	3,406	1,703	1,703	1,703	1,703	0	0
1.43	0.60	62,460	62,460	31,230	31,230	31,230	31,230	0	0
1.16	0.60	50,499	50,499	25,250	25,250	25,250	25,250	0	0
0.84	0.60	36,553	36,553	18,277	18,277	18,277	18,277	0	0
0.00	0.30	10	10	10	10	0	0	0	0
0.18	0.51	7,649	7,649	5,008	5,008	2,640	2,640	1	1
0.08	0.60	3,521	3,521	1,761	1,761	1,761	1,761	0	0
0.22	0.60	9,661	9,661	4,831	4,831	4,831	4,831	0	0

Tc (MIN.)	I10 (IN./HR.)	Q10 (CFS)
5	6.4	6.03
5	6.4	0.30
5	6.4	5.51
5	6.4	4.45
5	6.4	3.22
5	6.4	0.00
5	6.4	0.57
5	6.4	0.31
5	6.4	0.85

1. ALL CIVIL ENGINEERING, ARCHITECTURE, AND LANDSCAPE ARCHITECTURE WORK IS THE PROPERTY OF INTEGRITY FEDERAL SERVICES. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF INTEGRITY FEDERAL SERVICES.



WEST VIRGINIA DEPARTMENT OF TRANSPORTATION

Division of Highways

Office of the District Engineer/Manager
District Five

Post Office Box 99 • Burlington, West Virginia 267100-0099 • (681) 320-2000

Stephen T. Rumbaugh, P.E.
Secretary of Transportation
Commissioner of Highways

May 12, 2025

Harvest homes LLC
67 LUTMANS LN. SUITE 100
SHENANDOAH JUNCTION, West Virginia 25442

Dear Harvest homes LLC:

Permit Number: 05-2025-5625
Route: County 31, Milepost: 3.96
19 - Jefferson County

Enclosed and approved is your permit application for work at the above-referenced location.

Please contact Kevin McDonald, Permit Supervisor, at 681-320-2026, at least 2 days in advance of the date you plan to begin work so arrangements can be made to inspect the work authorized by the permit. Failure to comply will result in cancellation of your permit.

A copy of this permit is to be available on the job at all times while the work is in progress for inspection by West Virginia Division of Highways personnel.

Before digging or otherwise disturbing the earth, call WV811 at 1-800-245-4848.

Sincerely,

Lee Thorne
District Manager

LJT:t
Enclosures

West Virginia Department of Transportation Division of Highways Right of Way Issued Entry Permit

PERMIT NO. 05-2025-5625

DOH Reviewer: Electronically Signed by Kevin McDonald on 5/9/2025 DOH Reviewer Title: Acting Permit Supervisor

DOH Approver: Electronically Signed by Lee Thorne on 5/12/2025 DOH Approver Title: District Manager

PERMIT ISSUE DATE: 5/12/2025

Applicant: Harvest homes LLC

Address: 67 LUTMANS LN. SUITE 100 City: SHENANDOAH JUNCTION State: West Virginia

Zip: 25442

Phone Number: 304-702-2500 Email: rent01@frontiernet.net

Route Type: County Route Number: 31 Milepost: 3.96 County: 19 - Jefferson

Latitude/ Longitude at/along Roadway (in decimal degrees): 39.38953 /-77.76959

Description of Work: ***To construct and maintain a commercial entrance for Hallmark Glen subdivision (23 residential lots) according to plans by Integrity Federal Services. This work shall be constructed and maintained so that water and debris will not flow or be tracked onto the roadway. Should this parcel develop commercially, subdivide, or be located within a subdivision with internal access, this permit will be invalid. Applicant shall apply for a new permit to fit altered conditions. All work shall be in accordance with WVDOH Specifications and Standard Details.***

Length of Installation: _____ Estimated Construction Duration: 60 working days

DOH Project Number/Name (if applicable): _____

Customer Reference Number (if applicable): _____

Inspection Fees (must check one):

- Water Installations (\$0 per foot)
- Sewer Installations (\$0 per foot)
- Aerial Installation (\$0 per day)
- Subsurface Installation (\$0 per day)
- Small Cell Installations (flat fee - \$0)
- Standard Permit Expenses Fee (\$0)
- Misc Fee (\$0)

DEPOSIT/BOND REQUIRED: **YES**
BOND / CHECK RECEIVED: **Check Received**
DATE: **4/22/2025**

BOND NUMBER: **146271**
DEPOSIT/BOND AMOUNT: **\$25,000.00**

TERMS AND CONDITIONS

1. This permit, between the WEST VIRGINIA DEPARTMENT OF TRANSPORTATION, DIVISION OF HIGHWAYS, a statutory corporation, hereinafter called "DIVISION" and APPLICANT, a person, firm or corporation, listed on page one.
2. In consideration of the conditions hereinafter set forth and in accordance with all state and federal laws, including but not limited to, W. Va. Code §17-2E-1 et seq., §17-4-8, §17-16-6, §17-16-9, §31H-1-1 et seq., and any related rules, regulations, policies, manuals, or guidelines, APPLICANT does hereby apply to enter DIVISION's right(s) of way listed on page one, for the purpose listed in Description of Work on page one.
3. APPLICANT shall deposit with DIVISION an official, certified or cashier's check, or executed bond with surety satisfactory to DIVISION to cover any damage and inspection costs DIVISION may sustain by reason of the issuing of this permit, including any expense incurred in restoring said right(s) of way to original condition or the proper repair of any and all damages arising from, related to, or otherwise connected to said entry.
4. APPLICANT agrees to reimburse DIVISION for inspection costs as listed on page one.
5. **APPLICANT shall notify DIVISION at least 48 hours in advance of the date the work will begin. Failure to comply may result in cancellation of this permit.**
6. APPLICANT shall notify DIVISION upon completion of any work authorized under this permit. If APPLICANT's work is anticipated to extend beyond the estimated construction duration indicated on page one, APPLICANT shall notify the DIVISION as soon as possible. Failure to comply may result in additional charges.
7. APPLICANT agrees to protect all users of the road right(s) of way, as well as all employees and equipment of APPLICANT and DIVISION, at all times in accordance with the current Division of Highways manual, "[Manual on Temporary Traffic Control for Streets and Highways](https://transportation.wv.gov/highways/traffic/Pages/default.aspx)" (<https://transportation.wv.gov/highways/traffic/Pages/default.aspx>).
8. APPLICANT agrees to comply with all applicable state and federal laws related to the entry that is the subject of this permit, including but not limited to the requirement to provide DIVISION copies of any NEPA clearance documentation for utility installations along or across the Interstate Highway System and/or controlled-access right(s) of way.
9. The person, firm or corporation to whom a permit is issued agrees to defend, indemnify, and hold the State of West Virginia and DIVISION harmless on account of any damages to persons or property which may arise during the process of the work authorized by this permit or by reason thereof.
10. Applications for permission to perform work within highway right(s) of way shall be made on DIVISION's standard permit form and shall be signed by the authorized representative of the person, firm or corporation applying.
11. The APPLICANT shall give detailed information concerning the nature of the entry and any work to be performed, and the application must include plans sufficient to show the same.
12. Any work authorized under this permit shall be completed on or before one calendar year from the issue date listed on page one, unless otherwise specified or approved by DIVISION.
13. APPLICANT, its agents, successor, heirs or assigns, contractors or any other person, firm or corporation working under APPLICANT's real or apparent authority, shall perform the work in a manner satisfactory to DIVISION. Damage to the right(s) of way resulting at any time from work authorized under this permit shall be repaired by APPLICANT. Unsatisfactory repairs, at the sole discretion of DIVISION, may be corrected by DIVISION or its authorized agent and the cost thereof paid by APPLICANT.
14. DIVISION shall not be liable for any damage or costs incurred by APPLICANT arising from or related to DIVISION's construction or maintenance of DIVISION's facilities.
15. Utility installation(s) shall be in accordance with the current manual, "[Accommodation of Utilities on Highway Right of Way](https://transportation.wv.gov/highways/right-of-way/Pages/Utility-Publications.aspx)" (<https://transportation.wv.gov/highways/right-of-way/Pages/Utility-Publications.aspx>).
16. Driveway construction shall be in accordance with the current manual, "[Rules and Regulations for Constructing Driveways on State Highway Rights-of-Way](https://transportation.wv.gov/highways/traffic/Pages/default.aspx)" (<https://transportation.wv.gov/highways/traffic/Pages/default.aspx>).
17. DIVISION reserves the right to cancel this permit at any time.
18. This permit is issued only insofar as DIVISION has a right to do so. APPLICANT has sole responsibility to secure all necessary rights or permissions for any third-party property interests related to the entry, known or unknown. APPLICANT, by signing on page one, hereby warrants that, to the extent its entry onto DIVISION's right(s) of way involves or affects any other entity's property, real or personal, on or within DIVISION's right(s) of way, that APPLICANT has full legal authorization or the legal right to do so. To the fullest extent permitted by law, APPLICANT agrees to defend, indemnify, and hold harmless DIVISION for damage to any persons or property arising from APPLICANT's breach of this representation and warranty.
19. All attachments are incorporated into this permit. To the extent of any conflict, the terms of this permit shall control.
20. APPLICANT agrees to keep any surface facilities installed pursuant to this permit clear of vegetation for so long as APPLICANT's facilities are located on DIVISION's rights of way. APPLICANT agrees to remove promptly any vegetation in, on, or around such facilities that poses a risk or hazard to the safety of the travelling public.
21. Applicant agrees that this submission is an application, and any final permit issued may include changes required by DIVISION.

PRELIMINARY PLAT HALLMARK GLEN SUBDIVISION

JEFFERSON COUNTY FILE NUMBER: 25-4-SD
SHEPHERDSTOWN TAX DISTRICT
JEFFERSON COUNTY, WEST VIRGINIA
TAX MAP 18, PARCEL 25; D.B. 1338, PG. 538

OWNER/APPLICANT:
HARVEST HOMES LLC
67 LUTMANS LN. SUITE 100
SHENANDOAH JUNCTION, WV 25442
(304)702-2500

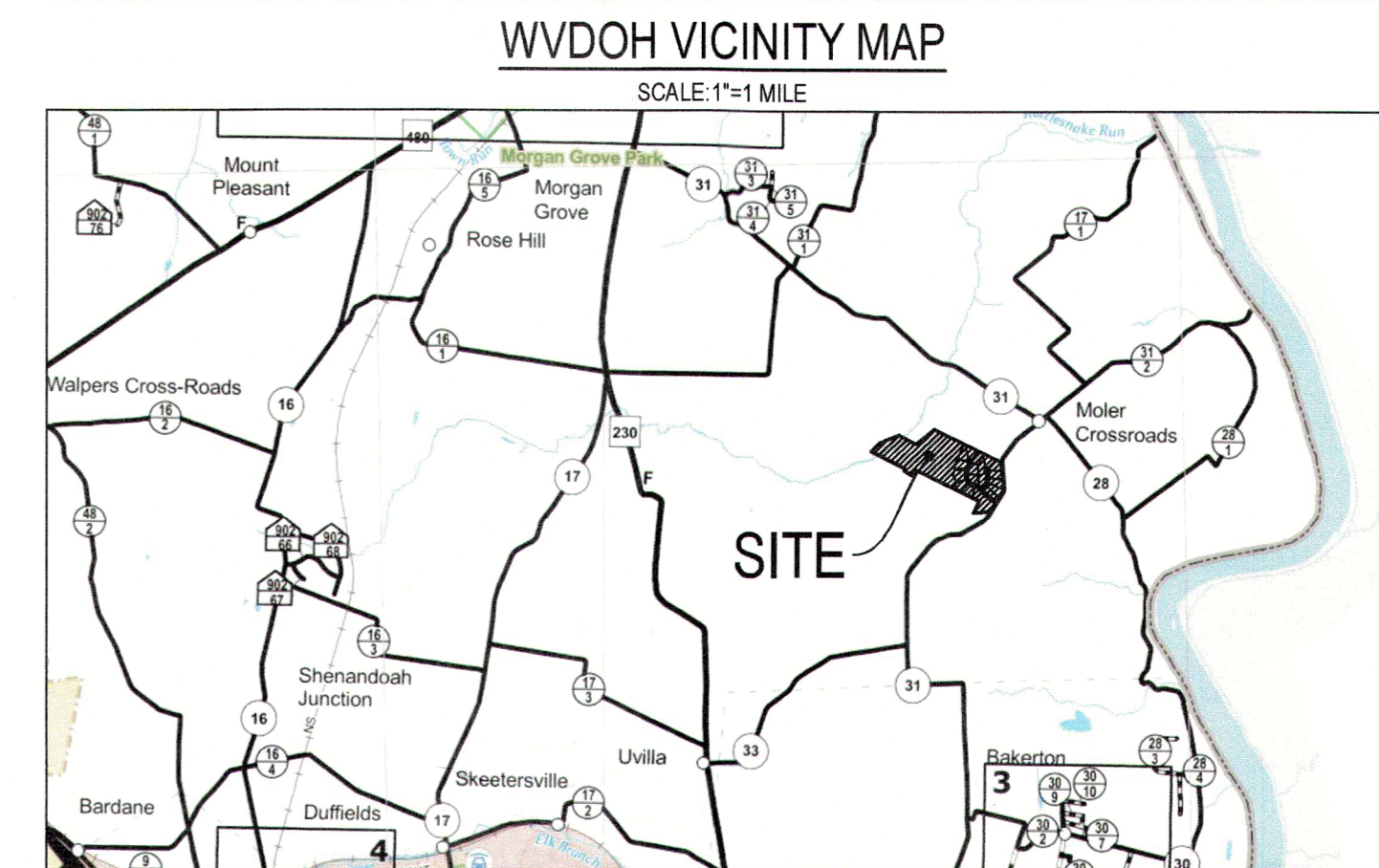
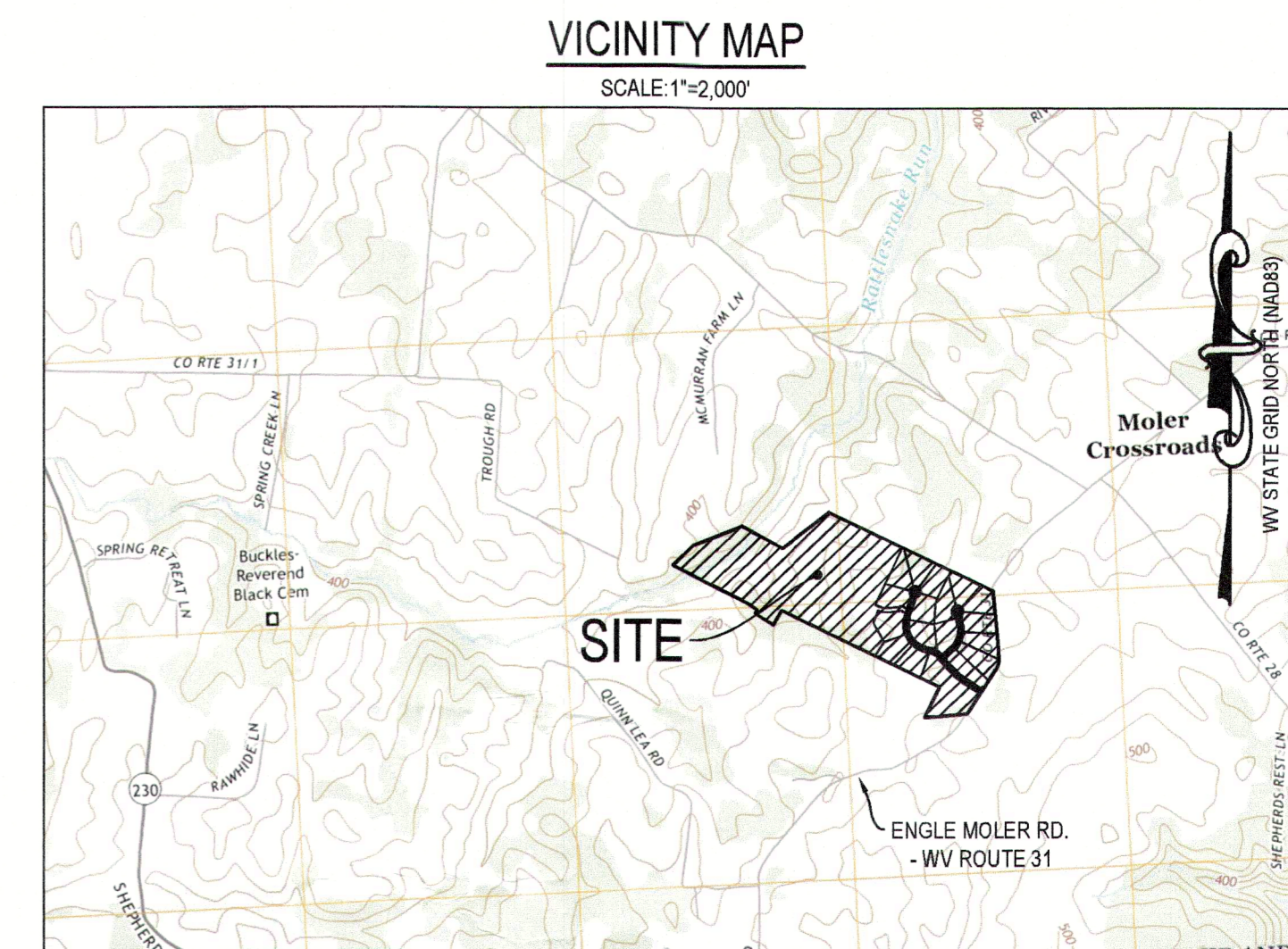


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SHEET LIST TABLE

Sheet Number	Sheet Title
1	COVER
2	OVERALL DRAINFIELD PLAN
3	DRAINFIELD PLAN
4	DRAINFIELD PLAN
5	DRAINFIELD PLAN
6	DRAINFIELD PLAN



JEFFERSON COUNTY HEALTH
DEPARTMENT
APPROVED
BY: *Mason Weekly*
DATE: 4/14/25
REVIEWED BY: *Mason*
PERMIT NO.: sub-19-25-043

CIVIL LEGEND:	
EXISTING	PROPOSED
BOUNDARY/RIGHT-OF-WAY LINE	BOUNDARY/RIGHT-OF-WAY LINE
ADJACENT BOUNDARY LINE	ADJACENT BOUNDARY LINE
CONCRETE MONUMENT/IRON REBAR	CC-TBS TBS
EASEMENT LINE	EASEMENT LINE
ROAD CENTERLINE	ROAD CENTERLINE
HEADER CURB	HEADER CURB
CURB & GUTTER	CURB TRANS. REVERSE CURB
EDGE OF PAVEMENT	EDGE OF PAVEMENT
EDGE OF CONCRETE	EDGE OF CONCRETE
EDGE OF GRAVEL	EDGE OF GRAVEL
SIDEWALK	SIDEWALK
GUARDRAIL	GUARDRAIL
BOARD FENCE	BOARD FENCE
CHAIN LINK FENCE	CHAIN LINK FENCE
WIRE FENCE	WIRE FENCE
TO BE REMOVED	TO REMAIN
BUILDINGS	BUILDINGS
RETAINING WALL	RETAINING WALL
MISCELLANEOUS SIGNS	MISCELLANEOUS SIGNS
MAIL BOX	MAIL BOX
SITE LIGHT WITH POLE	SITE LIGHT WITH POLE
BUILDING MOUNTED LIGHT	BUILDING MOUNTED LIGHT
UTILITY POLE	UTILITY POLE
UTILITY POLE GUY WIRE	UTILITY POLE GUY WIRE
OVERHEAD UTILITY LINE	OVERHEAD UTILITY LINE
UNDERGROUND UTILITY LINE	UNDERGROUND UTILITY LINE
OVERHEAD COMMUNICATIONS LINE	OVERHEAD COMMUNICATIONS LINE
UNDERGROUND COMMUNICATIONS LINE	UNDERGROUND COMMUNICATIONS LINE
UNDERGROUND GAS LINE	UNDERGROUND GAS LINE
8" PVC SAN. SEW.	8" PVC SAN. SEW.
SANITARY SEWER MAIN	SANITARY SEWER MAIN
SANITARY SEWER FORCE MAIN	SANITARY SEWER FORCE MAIN
SANITARY SEWER MANHOLE	SANITARY SEWER MANHOLE
SANITARY SEWER CLEAN-OUT	SANITARY SEWER CLEAN-OUT
15" HDPE	15" HDPE
STORM SEWER LINE	STORM SEWER LINE
STORM SEWER MANHOLE	STORM SEWER MANHOLE
STORM SEWER DROP INLET	STORM SEWER DROP INLET
STORM SEWER CURB INLET	STORM SEWER CURB INLET
STORM SEWER RIP-RAP	STORM SEWER RIP-RAP
STORM SEWER END SECTION	STORM SEWER END SECTION
8" W/M	8" W/M
WATER MAIN	WATER MAIN
FIRE HYDRANT	FIRE HYDRANT
WATER VALVE	WATER VALVE
WATER METER	WATER METER
590	590
INDEX CONTOUR LINE	INDEX CONTOUR LINE
592	592
INTERMEDIATE CONTOUR LINE	INTERMEDIATE CONTOUR LINE
SPOT ELEVATIONS	SPOT ELEVATIONS
TREES/SHRUBS	TREES/SHRUBS
DRIP LINE OF TREES	DRIP LINE OF TREES
LIMITS OF CONSTRUCTION	LIMITS OF CONSTRUCTION
SOIL BOUNDARY	SOIL BOUNDARY



JEFFERSON COUNTY SITE WORK MILESTONE INSPECTIONS

THE DEVELOPER SHALL REQUEST COUNTY ENGINEER INSPECTIONS A MINIMUM OF 48 HOURS IN ADVANCE (CALL: 304-264-1966). INSPECTIONS SHALL BE REQUESTED ACCORDING TO THE TABLE OF MILESTONES SHOWN BELOW:

1.	INSTALLATION OF SEDIMENT & EROSION CONTROL DEVICES PRIOR TO BEGINNING SITE GRADING.
2.	ROADWAY AND/OR PARKING LOT SUBGRADE PROOF ROLL PRIOR TO PLACING STONE BASE.
3.	ROADWAY AND/OR PARKING LOT STONE BASE DEPTH CHECK PRIOR TO PLACING ASPHALT OR CONCRETE PAVEMENT.
4.	WATER SYSTEM AND SANITARY SEWER SYSTEM INSPECTION AND APPROVAL BY THE PUBLIC SERVICE DISTRICT/UTILITY PRIOR TO BACKFILLING OF TRENCHES.
5.	FINAL INSPECTION INCLUDING BUT NOT LIMITED TO: SEEDING & MULCHING, ROADWAY & PARKING LOT PAVING, SIDEWALKS, STORM DRAINAGE AND STORMWATER MANAGEMENT SYSTEMS, TRAFFIC CONTROL SIGNS & PAVEMENT MARKINGS, LANDSCAPING, ETC.

NOTE:
THE COUNTY ENGINEER MAY ACCEPT "THIRD-PARTY" INSPECTION AND CERTIFICATION REPORTS IN PLACE OF INSPECTIONS PERFORMED BY THE OFFICE OF ENGINEERING, UPON PRIOR APPROVAL. THIRD-PARTY INSPECTION REPORTS SHALL BE SUBMITTED IN THE FORMAT SPECIFIED BY THE COUNTY ENGINEER.

JEFFERSON COUNTY CONSTRUCTION NOTES

(TABLE 12-1)

1.	EROSION & SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AND INSPECTED PRIOR TO PERFORMING ANY SIGNIFICANT EARTH DISTURBING ACTIVITIES AND SITE GRADING.
2.	EARTH WORK SHALL BE COMPACTED TO THE PERCENTAGES OF MAXIMUM DRY DENSITY IN ACCORDANCE WITH AASHTO T99C, AS SHOWN BELOW: A. ROADWAYS.....98% B. PARKING LOTS FOR HEAVY TRUCKS.....98% C. PARKING LOTS FOR PASSENGER VEHICLES.....95% D. UTILITY LINE TRENCHES.....98% E. BUILDING PADS.....100%
3.	THE ABOVE COMPACTION REQUIREMENTS SHALL BE CERTIFIED BY A PROFESSIONAL ENGINEER OR A SOILS TECHNICIAN UNDER THE DIRECTION OF A PROFESSIONAL ENGINEER, AND ACCEPTABLE TO THE COUNTY ENGINEER.
4.	CHANGES AND REVISIONS TO THE CONSTRUCTION PLANS AND SPECIFICATIONS SHALL NOT BE MADE UNLESS FIRST SUBMITTED IN WRITING AND APPROVED BY THE COUNTY ENGINEER AND ANY OTHER AGENCIES, AS DEEMED APPROPRIATE.
5.	WORK ZONE TEMPORARY TRAFFIC CONTROL ALONG A PUBLIC ROAD SHALL BE IN ACCORDANCE WITH WEST VIRGINIA DIVISION OF HIGHWAY REQUIREMENTS AND APPROVAL.
6.	SEVENTY-TWO (72) HOURS PRIOR TO EXCAVATION IN PUBLIC RIGHT-OF-WAYS OR IN AREAS SERVED BY UNDERGROUND UTILITIES, CALL MISS UTILITY 1-800-245-4848.

REVISIONS:

NO.	SHEET NUMBER AND REVISION DESCRIPTION	DATE

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SEAL:

NO.	REVISIONS

COVER
HALLMARK GLEN
TAX MAP 18, PARCEL 25, D.B. 1338, PG. 538
SHEPHERDSTOWN TAX DISTRICT
JEFFERSON COUNTY, WEST VIRGINIA

SCALE: HORIZ.:
VERT.:
DATE: MARCH 2025
JOB: 5098-0101
DRAWN: JCH CHECK: JPG
CADD:
NCS:
SHEET:
1 OF 6

09-120016-0000000
WILLIAM J. & ANANDA J. LINK
DEED BOOK 1315, PAGE 674
ZONING: RURAL

LEGEND

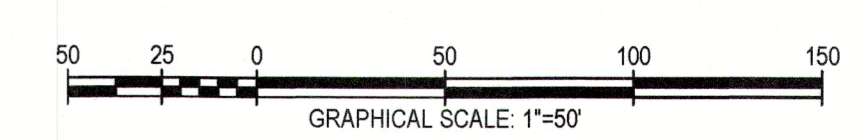
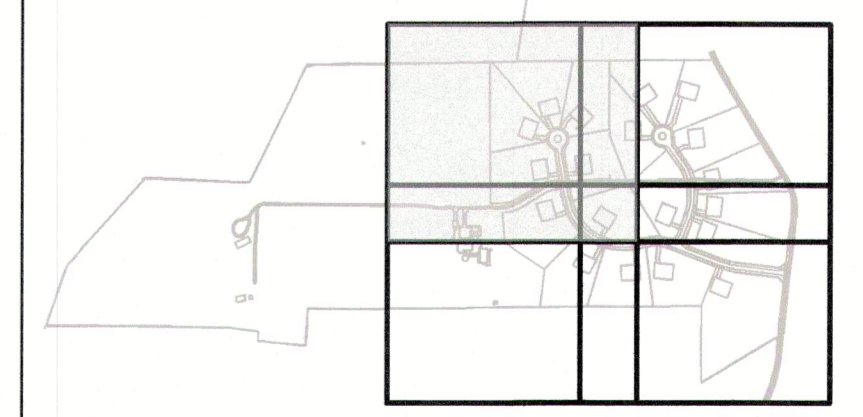
- SEPTIC RESERVE AREA (10,000 SF MIN.)
- PROPOSED WELL WITH 100-FT BUFFER
- EXISTING WELL WITH 100-FT BUFFER
- OBSERVATION HOLE
- PERC HOLE

CURVE TABLE

CURVE #	RADIUS	ARC LENGTH	DELTA	CHORD LENGTH	CHORD BEARING
C1	30.00	27.40	52°19'48"	26.46	S8°33'21"E
C2	60.00	52.34	49°58'45"	50.69	S9°43'52"E
C3	60.00	63.21	60°21'41"	60.33	S45°28'21"W
C4	60.00	53.86	51°31'47"	52.16	N78°38'55"W
C5	60.00	72.02	68°46'29"	67.77	N18°27'47"W
C6	60.00	56.58	54°00'55"	54.48	N42°55'55"E
C7	30.00	27.40	52°19'48"	26.46	N43°49'28"E
C8	275.00	24.37	5°04'40"	24.36	N15°04'14"E
C9	325.00	212.73	37°30'11"	208.95	S1°08'32"E
C10	325.00	154.10	27°10'01"	152.66	S33°28'38"E
C11	275.00	418.88	87°17'35"	379.61	N31°09'54"W
C31	120.00	46.69	22°17'31"	46.39	N83°32'12"W
C32	130.00	69.05	30°25'53"	68.24	N79°28'01"W
C33	70.00	27.23	22°17'31"	27.06	S83°32'12"E
C34	180.00	95.60	30°25'53"	94.48	S79°28'01"E

JEFFERSON COUNTY HEALTH DEPARTMENT
APPROVED
BY: Mason Welby, Sanborn
DATE: 4/11/2025
REVIEWED BY: mm well
PERMIT NO.: SCS 14-25-013

KEY MAP
(NOT TO SCALE)



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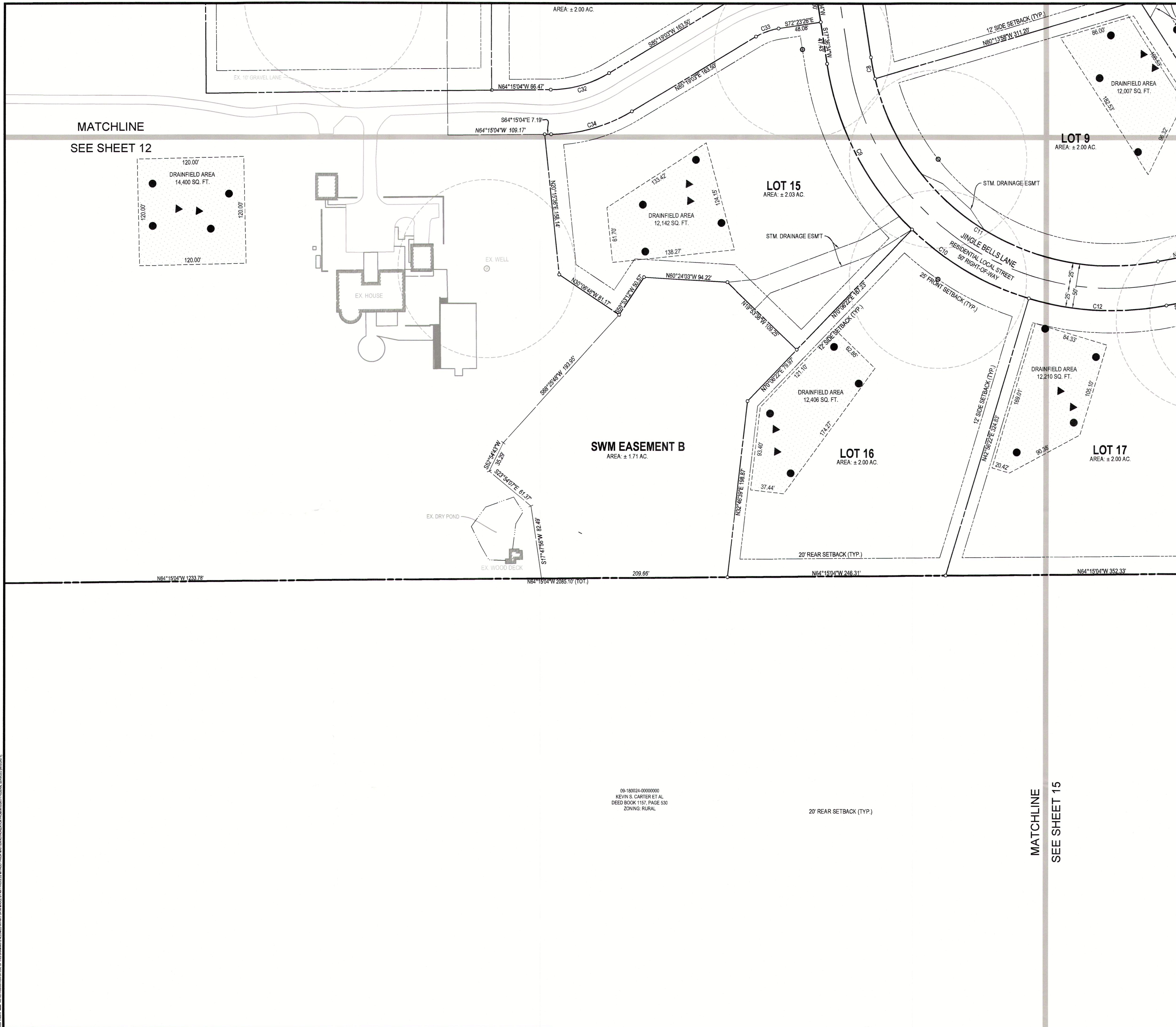
SEAL:

NO.	REVISIONS

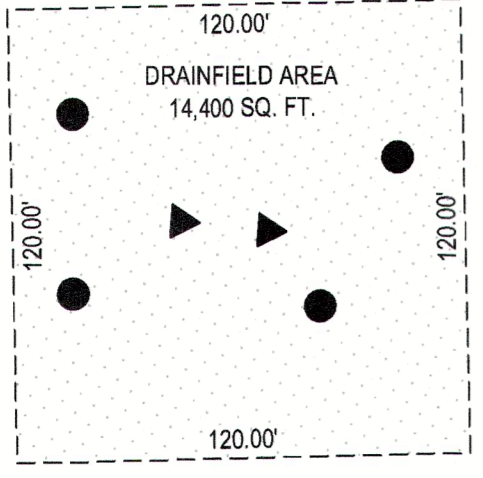
RAINFIELD PLAN
HALLMARK GLEN
TAX MAP 18, PARCEL 25; D.B. 1338, PG. 538
SHEPHERDSTOWN TAX DISTRICT
JEFFERSON COUNTY, WEST VIRGINIA

SCALE:	HORIZ: 1"=50'
DATE:	MARCH 2025
JOB:	5098-0101
DRAWN:	JCH
CHECK:	JPG
CADD:	C-CV-101-EXH.DWG
NCS:	CV-101
SHEET:	3 OF 6





MATCHLINE
SEE SHEET 12

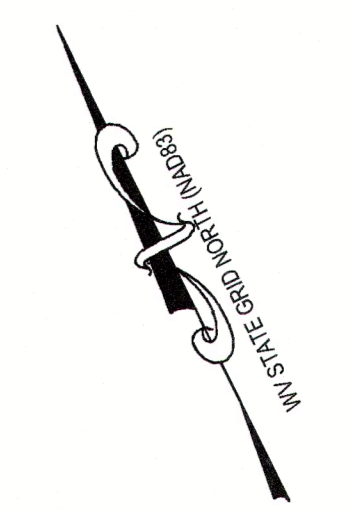


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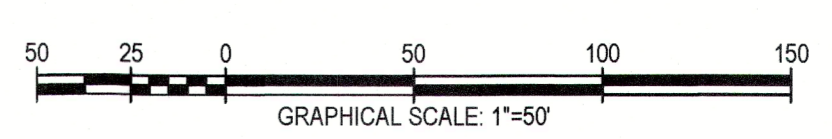
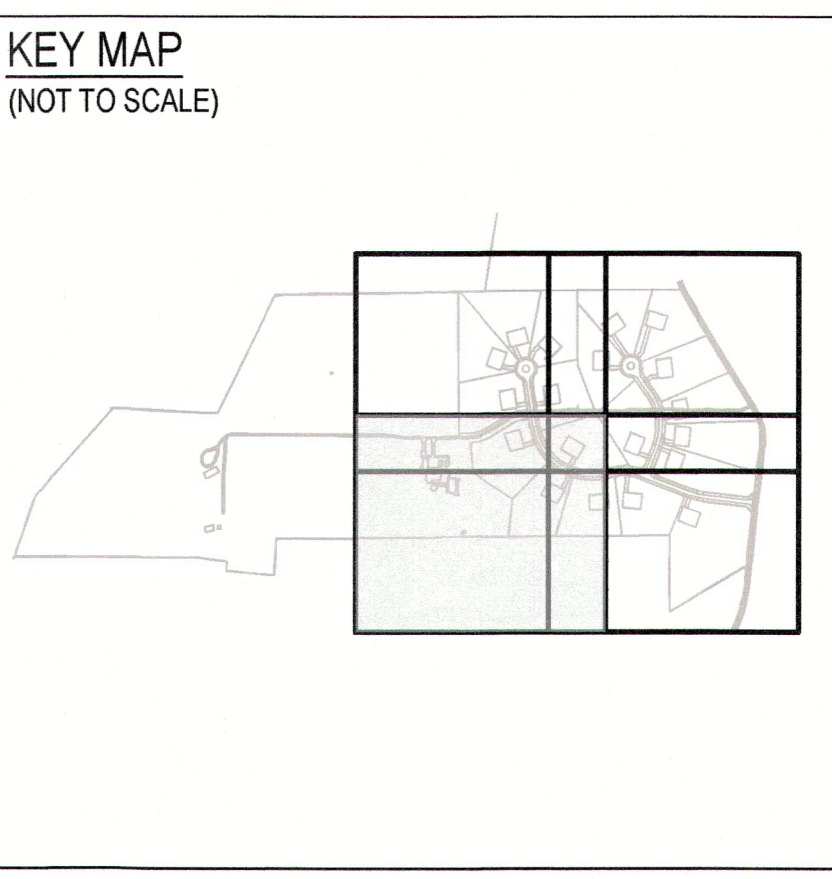
- SEPTIC RESERVE AREA (10,000 SF MIN.)
- PROPOSED WELL WITH 100-FT BUFFER
- EXISTING WELL WITH 100-FT BUFFER
- OBSERVATION HOLE
- PERC HOLE

CURVE TABLE

CURVE #	RADIUS	ARC LENGTH	DELTA	CHORD LENGTH	CHORD BEARING
C8	275.00	24.37	5°04'40"	24.36	N15° 04' 14"E
C9	325.00	212.73	37°30'11"	208.95	S1° 08' 32"E
C10	325.00	154.10	27°10'01"	152.66	S33° 28' 38"E
C11	275.00	418.88	87°17'35"	379.61	N31° 06' 54"W
C32	130.00	69.05	30°25'53"	68.24	N79° 28' 01"W
C33	70.00	27.23	22°17'31"	27.06	S83° 32' 12"E
C34	180.00	95.60	30°25'53"	94.48	S79° 28' 01"E



JEFFERSON COUNTY HEALTH DEPARTMENT
APPROVED
BY: *Mason Welch, Sanitator*
DATE: *4/11/2025*
REVIEWED BY: *M. Neal*
PERMIT NO.: *Sub-19-25-043*



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SEAL:

NO.	REVISIONS

DRAINFIELD PLAN
HALLMARK GLEN
TAX MAP 18, PARCEL 25; D.B. 1338, PG. 538
SHEPHERDSTOWN TAX DISTRICT
JEFFERSON COUNTY, WEST VIRGINIA

SCALE: HORIZ.: 1"=50'
VERT.:
DATE: MARCH 2025
JOB: 5098-0101
DRAWN: JCH CHECK: JPG
CADD: C-CV-101-EXH.DWG
NCS: CV-103
SHEET: 5 OF 6

Jefferson County Health Department
1948 Wiltshire Road, Suite 1, Kearneysville, WV 25430
Phone: 304-728-8416 | Fax: 304-728-3319
www.jchdww.org | JeffersonLHD@wv.gov



Harvest Homes LLC
67 Lutmans Ln Ste 100
Shenandoah Junction, WV 25442

April 14, 2025

Dear David Lutman + Sarah Haene,

Your application to create a subdivision from your 100-acre parcel of land located at 4001 Engle Molers Rd (Hallmark Glen), has been approved (Deed Book 1338, Page 538; Tax Map 18, Parcel 25). I have signed the plats as required by our office.

The table below lists each lot with the type of system that can be installed and the required installation depth. Pre-treatment will not be required on any of these systems.

Lot #	Septic Reserve Area Size	Class & Type System	Installation Depth
Lot 1	12,062 square feet	Class I	18-24"
Lot 2	12,034 square feet	Class I	18-24"
Lot 3	11,994 square feet	Class I	18-24"
Lot 4	12,100 square feet	Class I	18-24"
Lot 5	12,395 square feet	Class I	18-24"
Lot 6	12,387 square feet	Class I	18-24"
Lot 7	12,182 square feet	Class I	18-24"
Lot 8	12,007 square feet	Class I	18-24"
Lot 9	12,007 square feet	Class I	18-24"
Lot 10	12,280 square feet	Class I	18-24"
Lot 11	12,104 square feet	Class I	18-24"
Lot 12	12,164 square feet	Class I	18-24"
Lot 13	12,543 square feet	Class I	18-24"

Jefferson County Health Department
1948 Wiltshire Road, Suite 1, Kearneysville, WV 25430
Phone: 304-728-8416 | Fax: 304-728-3319
www.jchdww.org | JeffersonLHD@wv.gov



Lot 14	12,061 square feet	Class I	18-24"
Lot 15	12,142 square feet	Class I	18-24"
Lot 16	12,406 square feet	Class I	18-24"
Lot 17	12,210 square feet	Class I	18-24"
Lot 18	12,380 square feet	Class I	18-24"
Lot 19	12,148 square feet	Class I	18-24"
Lot 20	12,552 square feet	Class I	18-24"
Lot 21	12,552 square feet	Class I	18-24"
Lot 22	14,400 square feet	Class I	18-24
Lot 23- Residue	10,000 square feet	Class II-LPP	12"

Should state or county septic system regulations change in the future, the regulations in force at the time of application for a septic system construction permit will govern the class and type of septic system to be installed.

Please feel free to contact the Health Department if you have any questions.

Sincerely,

Mason Weikle
Sanitarian I
Jefferson County Health Department
304-728-8416 ext. 3027
William.M.Weikle@wv.gov

David Lutman
Lutman Land Development, LLC
67 Lutmans Lane, Suite 100
Shenandoah Junction, WV 25442

March 21, 2025

RE: Hallmark Glen Residential Development Section 106 Review

On behalf of Integrity Federal Service (IFS) via Lutman Land Development, LLC, AllStar Ecology LLC (ASE) conducted a Phase Ia cultural resource assessment for the proposed Hallmark Glen Residential Development in Jefferson County, West Virginia (see enclosed maps). This project will consist of constructing 19 residential lots, associated roads and driveways, and swimming areas. This assessment is a due diligence effort designed for planning purposes only, which consisted of a desktop assessment and walkover of the project area, with judgmental shovel testing or surface collection as needed.

The project is located between the Potomac River and Rattlesnake Run, along Engles Moler Road (Jefferson County Route [CR] 31), primarily southwest of the intersection between Engles Moler Road (Jefferson CR 31), Knotts Road (Jefferson CR 31/2), and Bakerton Road (Jefferson CR 28). It has an approximate center point at UTM NAD83 Zone 18N 261323 mE 4363889 mN and is located on the USGS Shepherdstown 7.5' Quadrangle. The undertaking's area of potential effects (APE) is defined as the 48.7-acre limits of disturbance (LOD) depicted in a shapefile provided by IFS dated February 7, 2025. The undertaking will involve constructing 19 residential lots and six potential swimming areas. Permanent aboveground components will include residences and associated structures, the heights of which will be defined later. No separate visual APE has been formally defined, but it is considered to include the surrounding area with a line-of-sight (LOS) to the proposed permanent aboveground components.

The WVSHPO Interactive Map Viewer and Jefferson County Historic Landmark Commission Interactive Map did not reveal any previously recorded cultural resources within the APE. 10 architectural resources, one cemetery (site ID# not available), and one National Register Area (Taylor's Meadow; 100006390) are located within the 0.5-mile buffer. The closest property listed on the National Register of Historic Places (NRHP) is Taylor's Meadow (100006390), directly adjacent to the undertaking. None of the above resources will be physically affected. However, three architectural resources (JF-0667, JF-0668, JF-0662) have a line-of-sight to the undertaking, and two architectural resources (JF-0664, JF-0665) have a limited line-of-sight to the undertaking due to intervening landscape and foliage. No other cultural resources will be visually affected due to their distance to the undertaking and intervening landforms. The WVSHPO Interactive Map Viewer also revealed that one architectural survey (RJF-17) covers the entire project area and Civil War Battle Boundary: ANTIETAM is located within 0.5 miles

AllStar Ecology LLC
1582 Meadowdale Rd. Fairmont, WV 26554
www.AllStarEcology.com
Office: 304-816-3490
Fax: 1-866-213-2666

of the direct APE but does not have a line-of-sight to the direct APE. Historical topographic maps (1914, 1916, and 1944 USGS Martinsburg 15' Topographic Maps; 1953 and 1971 USGS Shepherdstown 7.5' Quadrangle) do not depict any structures within or directly adjacent to the direct APE. Aerial imagery and topographic maps reveal that the direct APE consists of a mix of agricultural fields, maintained grassy fields, a tree farm, a gravel trackway, and a section of recent residential outbuildings located on hillside terrain.

On September 25, 2025, ASE cultural resource personnel completed a field assessment of the direct APE (see enclosed photograph exhibit). The fieldwork confirmed that the direct APE consists of undisturbed grassy hillside terrain with less than 20 percent slope, which was found suitable for subsurface testing, according to the standards described in the West Virginia State Historic Preservation Office *Guidelines for Phase I, II, and III Archaeological Investigations and Technical Report Preparation*. (Photographs 1 to 5; see enclosed maps). No aboveground cultural resources greater than 50 years old were identified within the direct APE; however, there is a dry pond and garden with an extant gazebo (see Photo 2), a pool area associated with the residence outside of the direct APE (see Photo 3), and one extant modern concrete pad with a wind turbine and generator with no identification markings (see Photo 4).

Six judgmental shovel test probes (STPs) were excavated throughout the direct APE. STPs JD1 and JD6 were placed on hillside shoulders with a slope between 5 and 10 percent. These STPs exhibited an intact, undisturbed profile of plowzone (Stratum I) overlaying well-developed subsoil (Stratum II; Photo 6). The profile closely matches the mapped Ryder-Poplimento complex (RpC) for this area. No cultural materials were recovered from these STPs. STPs JD2 and JD4 were placed on hill summits with a slope of zero percent. These STPs exhibited an intact, undisturbed profile of plowzone (Stratum I) overlaying well-developed subsoil (Stratum II), overlaying well-developed subsoil (Stratum III; Photo 7). The profile closely matches the mapped Poplimento silt loam (PmB) for this area. STP JD3 was placed on a hillside bench with a slope of less than 5 percent. It exhibited an intact, undisturbed profile of plowzone (Stratum I) overlaying well-developed subsoil (Stratum II). The profile closely matches the mapped Poplimento silt loam (PmB) for this area.

STP JD5 was placed at the top-dead-center (TDS) of a roughly rectilinear area of slightly raised earth, approximately 20 feet by 20 feet, located on a hill summit. JD5 was excavated to test the hypothesis that this raised earth represents a foundation remnant. It revealed a disturbed strata of apparent fill (Stratum I) overlaying subsoil (Stratum II). The profile does not match the mapped Ryder-Poplimento complex (RpC) for this area, likely resulting from a fill event. One piece of gauge copper wire was recovered from the stratum of fill. No architectural materials or domestic artifacts indicating the presence of a structure were recovered.

A line-of-sight (LOS) survey noted that three historic properties (JF-0662, JF-0667, and JF-0668) and a National Register Historic District (100006390) have direct lines-of-sight to the project area, while two historic properties (JF-0664 and JF-0665) have limited lines-of-sight (JF-0664, JF-0665) to the project area due to intervening landforms (see Results Map). All properties have West Virginia Historic Property Inventory (HPI) forms; no significant changes were noted (See Photos 8 to 12).

Based on the results of this Phase Ia cultural resources assessment (Phase Ia), no known cultural resources will be physically affected by the proposed Hallmark Glen Residential Development project. The proposed project will visually affect five historic structures and a National Register Historic District. Additionally, it is ASE's professional opinion that the direct APE has a low-to-moderate potential for the presence of intact archaeological resources due to the presence of relatively flat, undisturbed terrain.

Development of the proposed project requires compliance with the Jefferson County "Subdivision and Land Development Regulations" ordinance, Sec. 24.113(10), *Historic Resource Preservation* which states "***A Phase I archaeological study is required. A historic resources impact study shall also be included.***" The Jefferson County Historic Landmarks Commission (JCHLC) may request that a Phase I Investigation and an architectural reconnaissance survey be completed for the project area in order to fulfill the standards laid out in WVSHPO's *Guidelines for Phase I, II, and III Archaeological Investigations and Technical Report Preparation*. A Phase I Investigation includes comprehensive shovel testing of all terrain of less than 20 percent slope within the direct APE which is not visibly disturbed and not inundated. Areas that are not shovel tested are subject to intensive pedestrian survey. This will determine if there are intact archaeological deposits that will be adversely affected by the project. An architectural reconnaissance survey will evaluate the visual effects to the neighboring NR Historic District and the historic properties with a line-of-sight to the project area. If you have any questions or comments, please contact Patrick Spollen at 304-816-3490 or patrick@allstarecology.com.

Thank you,



Michael W. Kell
Principal Investigator
AllStar Ecology LLC

Enclosed:

- Photograph Exhibit
- WVSHPO Resources Map
- Project Area Map
- Project Results Map

Hallmark Glen Residential Development Photograph Exhibit



Photo 1. General view of the direct APE (looking southwest).



Photo 2. General view of dry pond and garden with gazebo (looking southwest).

Hallmark Glen Residential Development Photograph Exhibit



Photo 3. View of pool area within the direct APE (looking southwest).



Photo 4. Closer view of extant wind turbine and generator, no identifying markings (looking northwest).

Hallmark Glen Residential Development Photograph Exhibit



Photo 5. General view of landscape in the southern end of the direct APE (looking northeast).



Photo 6. Representative view of STP JD1 with a plowzone-subsoil profile (looking south).

Hallmark Glen Residential Development Photograph Exhibit



Photo 7. Representative view of STP JD2 with a plowzone-subsoil profile (looking west).



Photo 8. Zoomed in view of JF-0662 (looking northeast).

Hallmark Glen Residential Development Photograph Exhibit



Photo 9. General view of JF-0668 (looking south-by-southwest).



Photo 10. Zoomed in view of JF-0667 (looking south).

Hallmark Glen Residential Development Photograph Exhibit

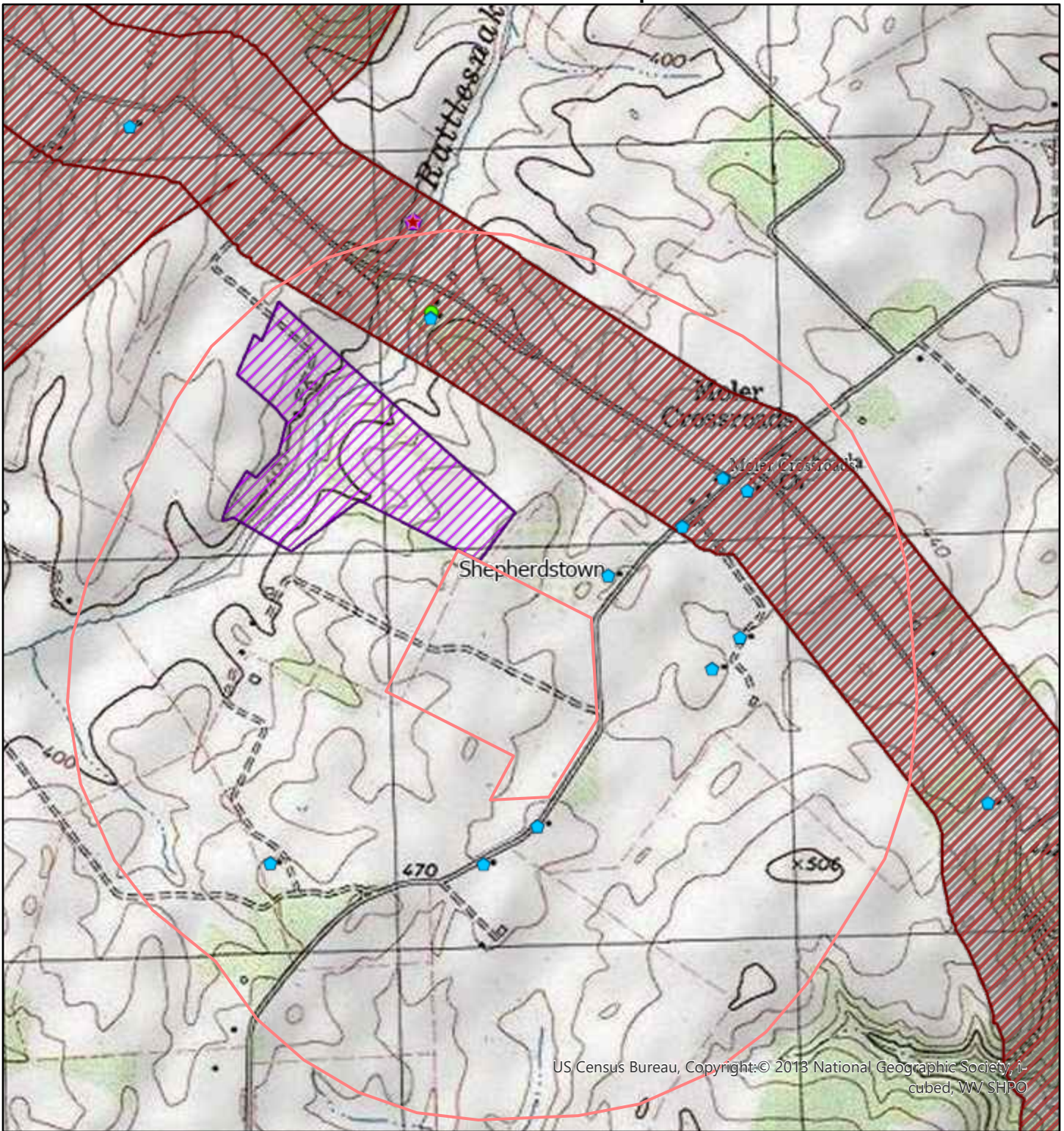


Photo 11. General view of NRHP District land (called out with red arrow) (looking north).



Photo 12. Limited lines-of-sight to JF-0664 and JF-0665 (called out with red arrow) (looking east).

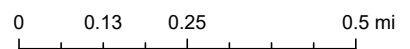
WV SHPO Map



US Census Bureau, Copyright: © 2013 National Geographic Society, i-cubed, WV SHPO

March 10, 2025

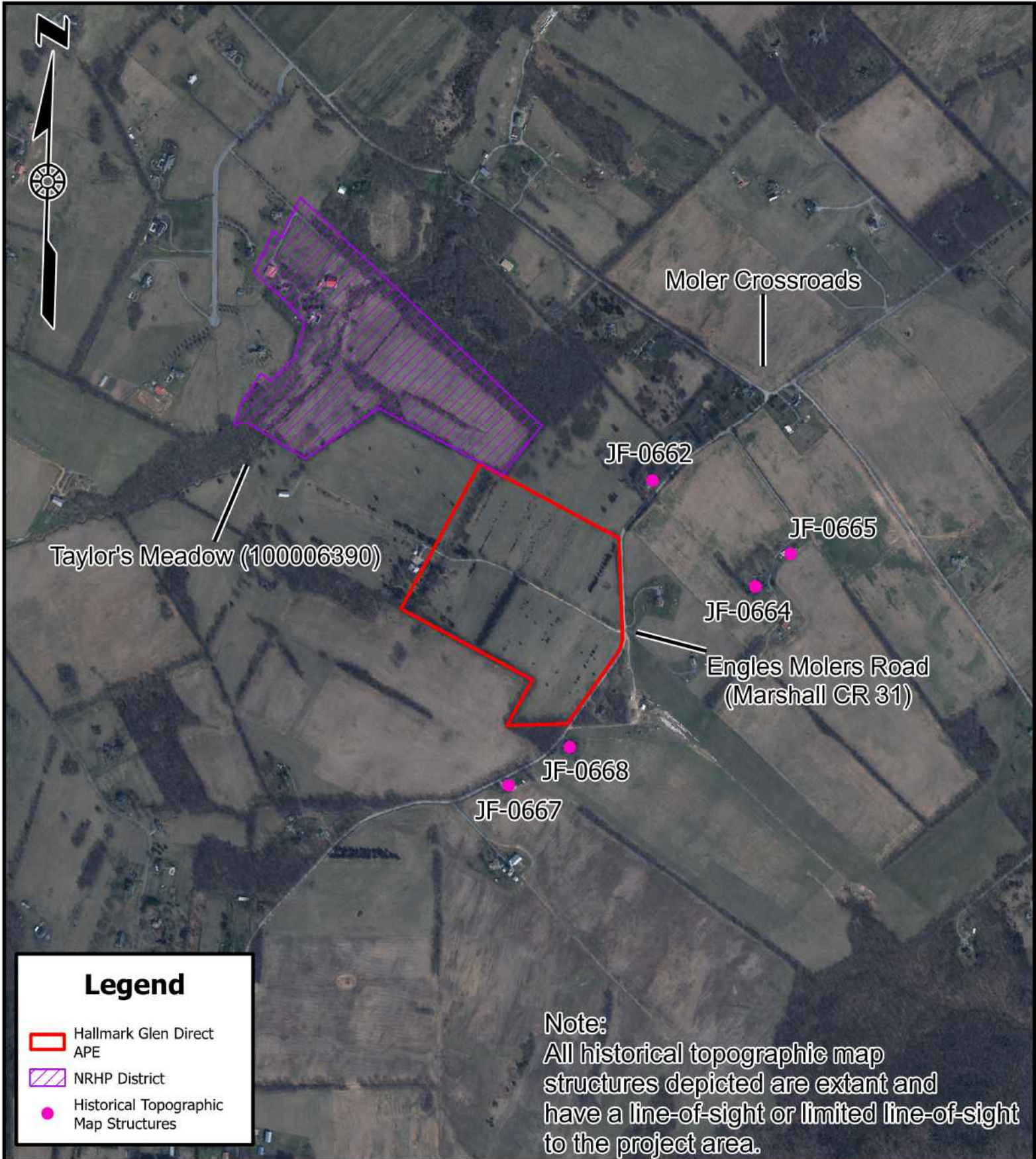
1:18,056






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|---|--|
| <p>U.S. 250th Anniversary – Predates 1800 (National Register Polygon)</p> <p>Year</p> <ul style="list-style-type: none"> Pre-1730 1730-1739 1740-1749 1750-1759 1760-1769 1770-1779 1780-1789 1790-1800 <p>U.S. 250th Anniversary – Predates 1800 (National Register Point)</p> <p>Year</p> <ul style="list-style-type: none"> Pre-1730 1730-1739 1740-1749 1750-1759 1760-1769 1770-1779 1780-1789 1790-1800 <p>Cemeteries - Area</p> <p>Civil War Battle Boundary</p> | <p>Restricted National Register - Area</p> <p>Condition</p> <ul style="list-style-type: none"> Demolished Active <p>Architecture Sites - Area</p> <p>Condition</p> <ul style="list-style-type: none"> Demolished Active <p>Archaeology Survey - Area</p> <p>Archaeology Sites - Area</p> <p>Cemeteries - Point</p> <p>Civil War Core Area</p> <p>Restricted National Register - Point</p> <p>Condition</p> <ul style="list-style-type: none"> Demolished Active <p>Architecture Sites - Point</p> <p>Condition</p> <ul style="list-style-type: none"> Demolished Active <p>Archaeology Survey - Point</p> <p>Archaeology Sites - Point</p> |
|---|--|

Notes:

- Hallmark Glen Direct APE with 0.5-mile buffer.
- 1). Architecture Survey Area RJF-17 not depicted



Legend

-  Hallmark Glen Direct APE
-  NRHP District
-  Historical Topographic Map Structures

Note:
 All historical topographic map structures depicted are extant and have a line-of-sight or limited line-of-sight to the project area.

**Hallmark Glen Residential Development
 Project Area and Historical
 Topographic Map Structures**

2024 Jefferson County Aerial Imagery

Scale: 1 : 12,000

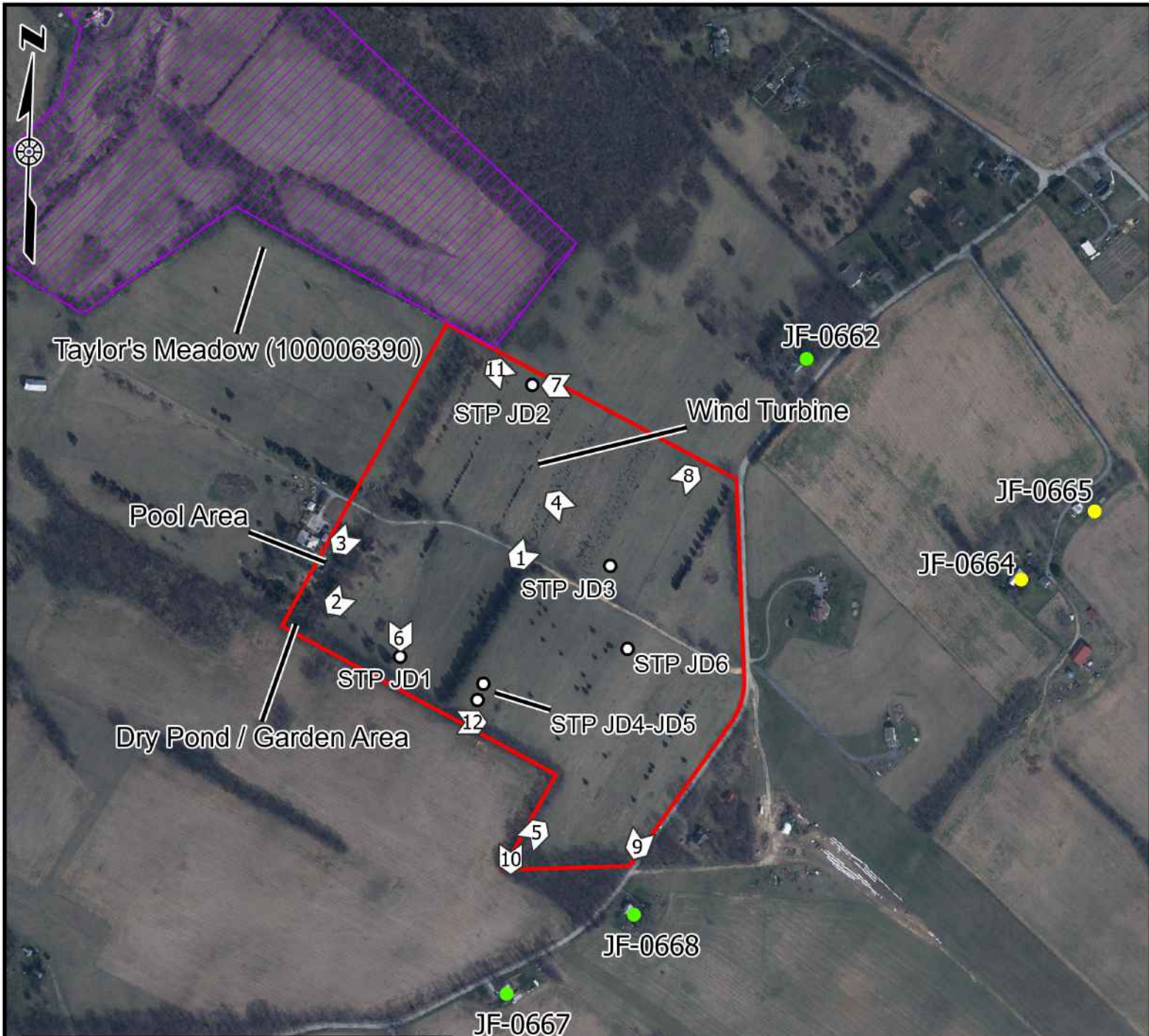
Prepared by:



ALLSTAR ECOLOGY
 Natural Resource Specialists
 1582 Meadowdale Road, Fairmont WV, 26554
 866-213-2666

Prepared for:

Lutman Land Development, LLC



Legend

Hallmark Glen Direct APE	Historical Topographic Map Structures Direct
NRHP District	Historical Topographic Map Structures Limited
Negative STPs	
Photo Exhibit Location	

Note:
 1) Historical topographic map structures that have a direct (green) or limited (yellow) line-of-sight are depicted.

Hallmark Glen Residential Development Results Map
 2024 Jefferson County Aerial Imagery
 Scale: 1 : 6,400

Prepared by:

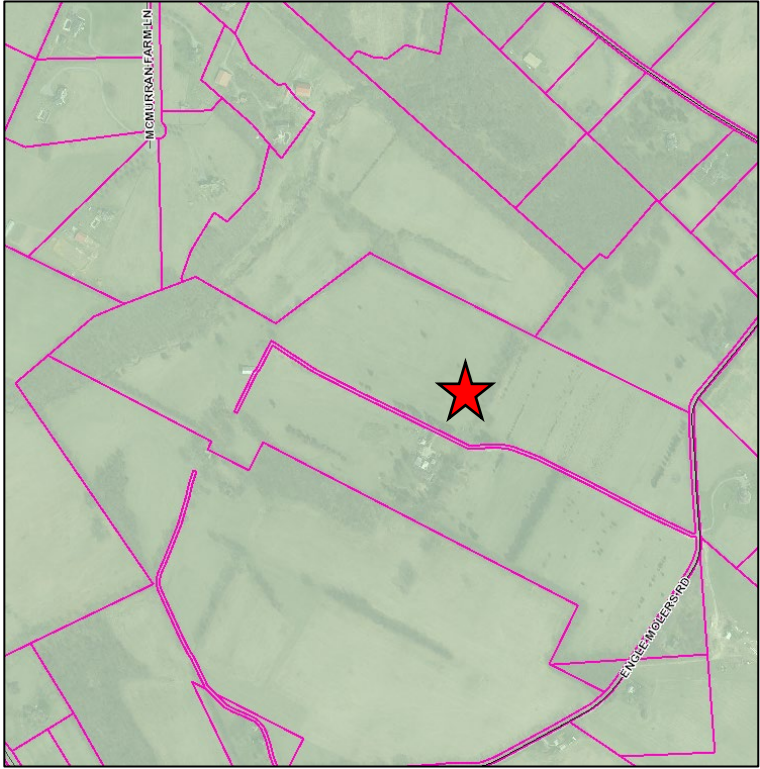
ALLSTAR ECOLOGY
 Natural Resource Specialists
 1582 Meadowdale Road, Fairmont WV, 26554
 866-213-2666

Prepared for:
Lutman Land Development, LLC

Staff Report
 Jefferson County Planning Commission Meeting
 July 8, 2025

Hallmark Glen Subdivision (Early Grading) Waiver Request (File #25-22-PCW)

Item # 7: Public Hearing: Waiver from Section 20.102B of the Subdivision Regulations to allow site grading to commence prior to site plan approval for the proposed Hallmark Glen Subdivision (File: 25-4-SD).

Owner	Harvest Homes, LLC.
Surveyor/Engineer	P.J. Raco Consulting, LLC / Attn: Paul Raco
Parcel Location and Information	<p style="text-align: center;">4001 Engle Molers Road, Harpers Ferry; Size: 100 acres; Parcel ID: 09001800250000; Zoning District: Rural</p> 
Adjacent Zoning	<i>North, South, East, and West: Rural</i>
Proposed Activity	Major Subdivision
History	<p>03/25/2025: PC approved Concept Plan 03/25/2025: PC approved waiver to reduce road width requirement (25-9-PCW) 05/27/2025: Staff finalized review of the Preliminary Plat, scheduling the Public Hearing for the July 8, 2025 PC Meeting 07/08/2025: PC Public Hearing regarding Preliminary Plat (25-4-SD) PENDING</p>

Summary of the Request:

The subject property, located along Engle Molers Rd, has a pending Preliminary Plat for a cluster subdivision. Grading cannot begin until the Final Plat is approved.

As a Major Subdivision, the proposed cluster subdivision must process a Concept Plan, Preliminary Plat, and Final Plat. The required Concept Plan was presented on March 25, 2025 to the Planning Commission along with a waiver of road width. The applicant has submitted a Preliminary Plat that staff has deemed

Staff Report
Jefferson County Planning Commission Meeting
July 8, 2025

Hallmark Glen Subdivision (Early Grading) Waiver Request (File #25-22-PCW)

complete. The Public Hearing for the Preliminary Plat is part of this meeting. There no outstanding staff comments for the Preliminary Plat.

This request is to permit the applicant to be permitted to begin early grading prior to the final approval of the Final Plat.

Subdivision Regulation Requirements:

Section 20.102B of the Subdivision Regulations requires that before development of the land is commenced, subdivision plats and site plans must be approved by the Planning Commission, recorded, and surety posted for required improvements in accordance with these Regulations and the Comprehensive Plan. This request is to waive this requirement and to allow the grading to be initiated after the bond is posted, but prior to the administrative approval of the Final Plat.

Staff Comments/Recommendation:

Many jurisdictions allow separate grading permits provided that the Erosion and Sediment Control ESC plan are approved by the County and bonded. These plans will receive such approval for all Erosion and Sediment Control measures and will be inspected by the County prior to site earthwork. There will be minimal earth work for the ESC installation. The Jefferson County Planning Commission has allowed early grading plans in the past.

The applicant has indicated that allowing this project to begin grading prior to final approval of the Preliminary Plat will be helpful in allowing the project timeline goals to be achieved.

Staff recommends approval of the waiver request with the following conditions:

- a. A grading permit is issued to allow the owner to perform site grading in preparation for the roadway and other earth work improvements. This permit is subject to the requirements of the sediment and erosion control plan submitted and approved as part of the grading plan and a NPDES permit is obtained; and
- b. The owner/Developer assumes all risk for “jump-starting” the project and understands that the final Preliminary Plat design approved by the Planning Commission might necessitate some changes and additional construction cost; and
- c. Provide bonding of all proposed site improvements related to sediment and erosion control/SWM pertaining to the permit.

Please be aware that if the county were to call in the bond, the site will only be stabilized (vegetation growth established for the site) and NOT brought back to original site conditions.

Waiver Requirements:

The applicant provides a response to the requirements found in “Division 24.300 Waivers” of the Subdivision Regulations, which is attached to the application. Waivers from the minimum standards in these Regulations may be granted by the Planning Commission only when the Planning Commission finds that granting a waiver will be consistent with all of the following criteria:

Staff Report
Jefferson County Planning Commission Meeting
July 8, 2025

Hallmark Glen Subdivision (Early Grading) Waiver Request (File #25-22-PCW)

- (1) that the design of the project will provide public benefit in the form of reduction in County maintenance costs, greater open space, parkland consistent with the County parks plan, or benefits of a similar nature;
- (2) that the waiver, if granted, will not adversely affect the public health, safety or welfare, or the rights of adjacent property owners or residents;
- (3) that the waiver, if granted, will be in keeping with the intent and purpose of these Regulations; and
- (4) that the waiver if granted will result in a project of better quality and/or character. Process and procedural waivers shall be reviewed and found consistent with the above criteria prior to approval.



Jefferson County, West Virginia
 Department of Engineering, Planning and Zoning
Office of Planning and Zoning
 116 E. Washington Street, 2nd Floor
 P.O. Box 716
 Charles Town, West Virginia 25414

File #: 25-22-PCW
 Mtg Date: 7-8-25
 Date Rec'd: 6-17-25
 Fees Paid: 150
 Staff Int: CAO
 List of Adjoiners:

Email: planningdepartment@jeffersoncountywv.org
zoning@jeffersoncountywv.org

Phone: (304) 728-3228
 Fax: (304) 728-8126

Planning Commission Waiver Request

Waivers must comply with Division 24.300 of the 2008 Subdivision Regulations, as amended.

Property Owner Information

Owner Name: Harvest Homes, LLC
 Business Name: _____
 Mailing Address: 67 Lutmans Lane, Suite 100, Shenandoah Junction, WV 25442
 Phone Number: 304/702-2500 Email: Paul pjraco.consulting@gmail.com

Applicant Contact Information

Applicant Name: Harvest Homes, LLC Same as owner:
 Business Name: _____
 Mailing Address: Same as Owner
 Phone Number: _____ Email: _____

Consultant Information

Name: Paul J Raco Consultant Engineer Connor Hill, P.E.
 Business Name: P.J. Raco Consulting, LLC Integrity Federal Services
 Mailing Address: P.O. Box 548, Charles Town, WV 25414 148 S Queen Street, Suite 201, Martinsburg, WV 25401
 Phone Number: 304/676-8256 Email: pjraco.consulting@gmail.com

Physical Property Details

Physical Address: 4001 Engle Molers Road, Harpers Ferry, WV 25425 Vacant Lot:
 Tax District: Shepherdstown Map No: 18 Parcel No: 25
 Parcel Size: 100.56+- acres Deed Book: 1338 Page No: 538
 Zoning District: Rural

On a separate sheet of paper sketch the shape and location of the lot. Show the location of the intended construction or land use and indicate building setbacks, size, and height. Identify existing easements, roads, buildings, structures, or land uses on the property. Sign and date the sketch.

Included Not applicable (include a vicinity map if a sketch is not applicable)

What Section of the Subdivision Regulations and year of the Regulations are you requesting to Waive?
Section 20.102B Early Grading Permit Request

Briefly Describe the Nature of Your Waiver Request:

If the Preliminary Plat is Approved tonight, all other permits are in hand including Health, Highway, and WV DEP NPDES Permit. The Construction Bond is also in place which protects the County. The County used to allow the Preliminary Plat to be approved conditionally on these permits being issued. Now the Commission requires all the permits in place prior to approval which has added 30 to 45 days to the Subdivision process. The Staff used to allow the Final Plat to be processed while the Preliminary Plat was finishing processing. Now they do not, which adds another 30 to 45 days to be added. This request is to start grading with PP approval.

Explain how the design of the project will provide public benefit in the form of reduction in County maintenance costs, greater open space, parkland consistent with the County Parks Plan or benefits of a similar nature.

If the PP is approved tonight, all approvals are in hand including the NPDES Permit, Health Department and Highway Department approvals. The Bond is approved and in place so the County and neighbors are protected. The Final Plat is an administrative function which has been taking time, but cannot be denied by Staff once it meets all plat requirements.

Explain how the waiver, if granted, will not adversely affect the public health, safety, or welfare or the rights of adjacent property owners or residents.

It is only for early grading which has been approved by the County before, once the NPDES Permit was granted on other projects. In this case all permits are already issued and the Bond will be in place. The Final Plat will be recorded as soon as it is administratively approved by the Staff.

Explain how the waiver, if granted, will be in keeping with the intent and purpose of this Ordinance.

The purpose of the provision is to prevent grading before the Preliminary Plat is approved and Bonding is in place. If the PP is approved at the PC Meeting and the Bond is in Place, the County will inspect the project no differently than what is done if the Final Plat was recorded. The Final Plat does not need PC approval and is an administrative function.

Explain how the waiver, if granted, will result in a project of better quality and/or character.

The early grading permit allows the construction to take place during the summer months which will give it an opportunity to be graded and seeded during this building season. No other approvals are necessary if the PP is approved and the Bond is in Place. The County is protected and the work is inspected by the Engineering Office during construction regardless if grading begins now or after the Final Plat is approved.

By signing this application, I give permission to the Planning and Zoning Staff to conduct a site visit for the purpose of taking photos for the Planning Commission staff report. The information given is correct to the best of my knowledge.

Property Owner Signature

6-17-25

Date

Property Owner Signature

6-17-25

Date

Notification Requirements

The subject parcel shall be posted with a minimum of one 28" x 22" placard at least 14 days prior to the public hearing. The placard(s) will be prepared by the Staff and posted by the applicant. Adjacent property owner name and address information shall be provided by the applicant so that notification letters can be mailed by Staff least 14 days prior to the public hearing.

Public Hearing Date

Date Placard Posted

Date Adjoiners Mailed

Planning Commission Determination

Approved

Denied

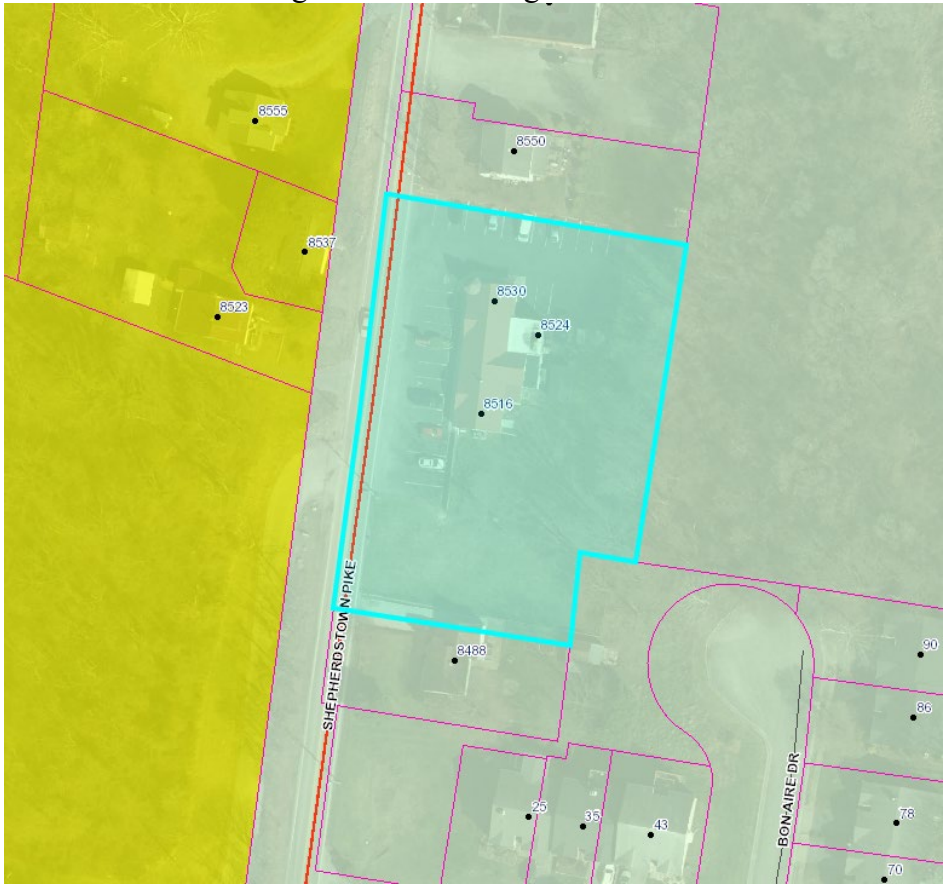
Date: ___ / ___ / ___

Staff Report
 Jefferson County Planning Commission Meeting
 July 8, 2025

Hoxton Center (General Commercial) Rezoning Request (25-2-Z)

Item # 8: Discussion and Action on the Hoxton Center (General Commercial) Zoning Map Amendment

Request: Planning Commission review and recommendation to the County Commission regarding whether the petition for a Zoning Map Amendment to rezone the 1.07 acre Hoxton Center, LLC Property from Rural(R) to General Commercial (GC) is consistent with the *2045 Comprehensive Plan*.

Property Owner:	Hoxton Center, LLC
Applicant:	Rob and Clay Hoxton
Consultant:	P.J. Raco Consulting, LLC / Attn: Paul Raco
Parcel Information:	<p style="text-align: center;">8516, 8524, and 8530 Shepherdstown Pike, Shepherdstown, WV Parcel ID: 09008B01300000 Acreage: 1.07 ac. Zoning District: Rural</p> 
Surrounding Properties:	<p><i>North, East, South: Rural</i> <i>West: Residential Growth</i></p>
Current Use:	Commercial offices
Proposed Request	To rezone the total 1.07 acres from Rural to General Commercial (GC)
Planning Commission Responsibility:	To advise the County Commission whether the requested Zoning Map Amendment is consistent with the <i>2045 Comprehensive Plan</i>
Staff Finding:	Staff finds that request is consistent with the <i>2045 Comprehensive Plan</i> Future Land Use Guide

Staff Report
Jefferson County Planning Commission Meeting
July 8, 2025

Hoxton Center (General Commercial) Rezoning Request (25-2-Z)

Applicant’s Request

The applicant is requesting to rezone approximately 1.07 acres from Rural (R) to General Commercial (GC).

Neighboring Uses

The properties under consideration for this Zoning Map Amendment are adjacent to institutional and residential uses.

- The Bon Aire subdivision is located to the south.
- Morgan Academy is located to the west.

Scope of this Assessment

This report focuses on whether or not the Zoning Map Amendment application is consistent with the *2045 Comprehensive Plan* and provides a staff recommendation for the Planning Commission’s consideration based on relevant sections and elements of the *Plan*.

Staff’s professional recommendation is that the request is **consistent** with the *2045 Plan* because it is designated “Office or Commercial” on the Future Land Use Guide. The subject property is located in the Shepherdstown Growth Management Boundary (GMB) but is not located in a Preferred Growth Area. The owner-initiated rezoning to General Commercial (GC) would allow for a single medium to large building to operate commercial uses such as, retail, food service, office space, or other commercial businesses that expect regular vehicular traffic.

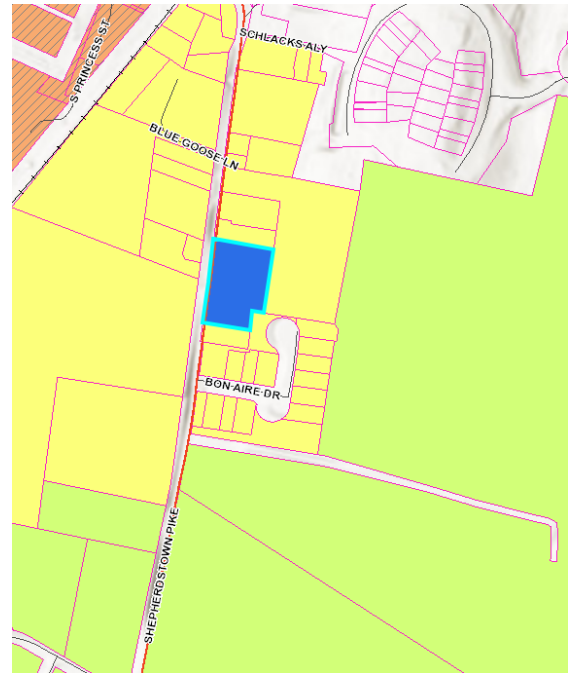
It should be noted that Staff has no statutory authority to make decisions in this regard. The Planning Commission is required to provide the County Commission with their advice as to whether the request is consistent with the Comprehensive Plan prior to the County Commission’s Public Hearing. The County Commission, with the recommendation of the Planning Commission, has the authority to approve or deny a zoning map amendment.

Zoning Map Amendment Public Hearing Process

Article 12 of the Zoning Ordinance requires that the “procedure for amendment [by petition] shall be as dictated in Section 8A-7-9 et seq of the West Virginia State Code as amended.” Regarding amendments by petition, State statute provides that, “Before amending the zoning ordinance, the governing body with the advice of the planning commission must find that the amendment is consistent with the adopted comprehensive plan.” [See WVC 8A-7-9(c)].

Relevant 2045 Comprehensive Plan Elements and Commentary

The *2045 Comprehensive Plan* consists of both goals and recommendations in text format, as well as a Future Land Use Guide, both of which are relevant to this analysis. Page number references throughout this report relate to the *2045 Comprehensive Plan*.



Hoxton Center (General Commercial) Rezoning Request (25-2-Z)

1. Land Use and Growth Management Element / Future Land Use Guide

One of the themes of the *2045 Comprehensive Plan* is Quality Land Use and Growth Management for Jefferson County. This theme identifies seven Preferred Growth Areas (PGA) and two Urban Growth Boundaries (UGB) in text and on the *Future Land Use Guide* as areas considered viable for higher intensity development. The theme also identifies the Growth Management Boundary (GMB) around Shepherdstown as separate from the PGAs and UGBs as not anticipating urban scale development. The Growth Management Boundary allows Shepherdstown to plan for growth and carry out annexations within the bounds of the

GMB. A Preferred Growth Areas was identified west of Shepherdstown as an exception within the Shepherdstown Growth Management Boundary to allow higher intensity development developing under County requirements. Preferred Growth Areas, Urban Growth Boundaries, and Growth Management Boundary were first identified in the *Envision Jefferson 2035 Plan* and are now part of the current *2045 Comprehensive Plan*.

The subject parcel is within the Shepherdstown GMB but not within a Preferred Growth Area that was identified for higher intensity development.

2. Land Use Map Classifications

The “Office or Commercial” classification is for commercial or mixed-use zoning districts to operate businesses or office spaces. Water and sewer are expected to be available at the location.

The subject parcel has access to water and sewer service.

3. Proposed Zoning District – Residential Growth (RG)

The purpose of the General Commercial (GC) District (Section 5.12 of the Zoning Ordinance) is “to provide for general destination business uses, which provide a broad range of commercial products and services necessary for large regions.” (complete description attached).

As noted previously, the subject parcel is designated as Office or Commercial on the Future Land Use Guide of the *2045 Comprehensive Plan*.

Staff Discussion and Recommendation

This property has been zoned Rural since zoning went into to effect in 1988. The applicant has stated that the subject parcel has hosted various businesses since the late 1940s. The parcel currently has an existing building and parking lot for office space. There are no historical sites, floodplains, or conservation easements located on the site.


The *2045 Comprehensive Plan* includes a Future Land Use Guide, which is intended to be a tool to provide a visual definition of future growth and areas where potential owner initiated zoning map amendments (rezoning requests) might occur within the timeframe of the *Plan*. The *2045 Comprehensive Plan* states that “land use classifications, utilized on the Existing Land Use Map and Future Land Use Guide, are intended to provide guidance to the Planning and County Commission when considering owner-initiated zoning map amendments (rezoning requests).” (pp. 111). The *Plan* further states, “Use of the Future Land Use Guide is to be in combination with the recommendations of this Plan when considering owner initiated zoning map

Office or Commercial

Primary Uses: The Office or Commercial category is intended to support a mix of business and office uses. Developments can include mixed use projects, a mix of office or commercial buildings, or solely an office or commercial use.

Intensity: Commercial or office uses are served by public water and sewer system.

Mobility: Pedestrian, bicycle, and auto orientated access are prioritized along with interconnectivity to adjacent neighborhoods and commercial developments. Access to public transit is encouraged.



Courtesy: JC Office of Planning and Zoning

Staff Report
Jefferson County Planning Commission Meeting
July 8, 2025

Hoxton Center (General Commercial) Rezoning Request (25-2-Z)

amendments.” (pp. 10). The *Plan* does not initiate any zoning map amendments and only provides recommendations to guide development including identifying Preferred Growth Areas.

Based on these recommendations of the *2045 Comprehensive Plan* related to the Future Land Use Guide and text, staff finds that the proposed General Commercial (GC) zoning category for the 1.07+/- acres included in this application is **consistent** with the *2045 Comprehensive Plan*.

Planning Commission Action Required

Article 12 of the Zoning Ordinance and the relevant sections of WV State Code requires the County Commission to refer rezoning petitions to the Planning Commission for their review and recommendation as to whether the amendment is consistent with the adopted Comprehensive Plan. Such recommendation is required to be sent to the County Commission prior to the County Commission’s public hearing which shall be held within 60 days of the date the petition is presented.

The petition was presented to the County Commission on June 5, 2025 and the required Public Hearing has been scheduled for July 17, 2025 at a time to be determined. Therefore, the Planning Commission is required to review this application and make a recommendation to the County Commission prior to this Hearing.

Attachments:

- Section 5.12 of the Zoning Ordinance – General Commercial (GC)
- Appendix B of the Zoning Ordinance
- Appendix C of the Zoning Ordinance
- 2045 Comprehensive Plan Excerpts from Quality Land Use and Growth Management Development (pg. 12-14), Growing a Diverse Economy (pg. 85), and Land Use Guide Classifications (pg. 113)
- 2045 Comprehensive Plan FLU Guide Shepherdstown Growth Management Boundary
- 2045 Comprehensive Plan 2024 Highway Problem Areas Map
- 2045 Comprehensive Plan Water & Sewer Service Areas Map

Jefferson County Zoning and Land Development Ordinance

Jefferson County,
West Virginia

Prepared By
The Jefferson County
Planning Commission

Adopted July 7, 1988, As Amended
Amendments adopted by the County Commission, June 16, 2022

5. Buildings shall be oriented toward the street with one or more entrances facing the principal street adjacent to a building.
6. Commercial and Industrial uses are subject to the requirements for such uses in Article 8.

Section 5.12 General Commercial (GC) District^{27, 32}

- A. Purpose. The purpose of this district is to provide for general destination business uses, which provide a broad range of commercial products and services necessary for large regions. The uses in this district may be characterized by medium-to-large buildings (including retail stores of up to 100,000 square feet of gross floor area for an individual building as per the definition of Retail Store, Large in this ordinance), more intensive commercial activity, and more vehicular traffic than would be permitted for uses in the NC district.
- B. Location. This zoning category is intended for use on properties:
 1. In the Growth Area as shown in the most recently adopted Comprehensive Plan, if the plan does not include a future land use map; or
 2. In locations where the appropriate land use category is designated on the future land use map (and related text) in the most recently adopted Comprehensive Plan.
- C. Permitted Uses
 1. Uses that are permitted, conditional, and not permitted in this district shall be as indicated in Appendix C, Principal Permitted and Conditional Uses Table.³²
 2. Uses shown as conditional uses (CU) for this district in Appendix C, Principal Permitted and Conditional Uses Table shall be subject to review and approval by the Board of Zoning Appeals in accordance with Section 6.3 of this Ordinance.³²
- D. Site Development Standards
 1. Setbacks, height, and other site development standards shall be as indicated in Appendix A, Residential Site Development Standards, and Appendix B, Non-Residential Site Development Standards, except as provided elsewhere in this Ordinance.
 2. A development that complies with all requirements of Section 5.11E may be developed in accordance with the requirements of Section 5.11D(2-6) and the front setback requirements for the Neighborhood Commercial District as indicated in Appendix A, Residential Site Development Standards, and Appendix B, Non-Residential Site Development Standards.
- E. Additional Requirements
 1. Commercial and Industrial uses are subject to the requirements for such uses in Article 8.

Section 5.13 Highway Commercial (HC) District^{27, 32}

- A. Purpose. The purpose of this district is to provide appropriate locations for high-intensity, motor-vehicle oriented commercial uses fronting on major roadways. The uses in this district may be characterized by a broad scale of building sizes, which may include very large buildings that exceed 100,000 square feet of gross floor area for an individual building and which may have a greater impact on surrounding areas as a result of significant truck traffic and other factors. This district may include land uses that are more intensive than other commercial districts and incompatible with nearby adjacent residential uses.
- B. Location. This zoning category is intended for use on properties:

APPENDIX B: NON RESIDENTIAL SITE DEVELOPMENT STANDARDS TABLE^{27, 32, 35}

Zoning District	Development Type [⊖]	Min Lot Area (MLA)	Min Lot Width	Max Building Height*	Imper-vious Surface Limit	Building Setbacks		Parking/ Drive Aisle Setbacks			Buffers (Sec. 4.11) (Screened / Unscreened) Adjacent Use						
											A Residential district, or any lot with a residence, school, church, or institution of human care (Distance per Sec. 4.6)			Commercial Use		Industrial Use	
						Front	Side	Rear	Front	Side	Rear	Distance Front Side Rear	Front	Side & Rear	Front	Side & Rear	Front
Industrial – Commercial (IC) **	Commercial sites 1.5 acres and smaller	N/A	N/A	75	80%	25		15	4	4	75	Street Trees	Narrow Buffer Detail No. M-54	N/A	10(S)	N/A	10(S)
	Commercial sites greater than 1.5 acres	N/A	N/A	75	80%	25		15	10	10	75	Street Trees	Medium Buffer Detail No M-53	N/A	10(S)	N/A	10(S)
	Industrial	3 ac ***	N/A	75	90%	50 or 25 if adjacent to Industrial Use		25 or 20 if adjacent to Industrial Use			200	Street Trees	Wide Buffer Detail No. M-52	25(S)	20(S)	N/A	20(S)
Residential-Light Industrial-Commercial (RLIC)	Commercial or Industrial	N/A	N/A	75	80%	See IC District											
Rural (R)	Churches	2 acres	200	45	N/A	25	50	50	See IC District for commercial sites			N/A	50(U) or 15 (S)	N/A	10(S)	N/A	10(S)
	Schools, Grades K-12	K-4: 10 ac+ 5-8: 20 ac+ 9-12: 30 ac+	500	45	N/A	100						N/A	N/A	N/A	N/A	N/A	N/A
	Hospitals	10 ac	500	45	N/A	100						N/A	N/A	N/A	N/A	N/A	N/A
	Other Rural principal permitted uses	40,000	100	45	N/A	40	50	50				N/A	See I-C District for commercial or industrial use; Otherwise, N/A				
	Commercial or Industrial**	See IC District															
Village (V)	Commercial [¥]	N/A	N/A	35	N/A	25	10	40	See IC District								
	Industrial**	See IC District			35	See IC District											
Residential Growth (RG)	Commercial or Industrial**	See IC District			35	See IC District											
Neighborhood Commercial (NC)	Commercial	N/A	N/A	35	70%	15 min 25 max	10 [£]	10 [⊖]	See I-C District		25	See IC District					
General Commercial (GC)	Commercial	N/A	N/A	75	80%	20	10	25	See IC District								
Highway Commercial (HC)	Commercial	N/A	N/A	75	80%	25	25	25									
Light Industrial (LI)	Commercial or Industrial	N/A	N/A	75	80%	25	25	25									
Major Industrial (MI)	Commercial	N/A	N/A	75	90%	25	10	50									
	Industrial	3 ac ***	N/A	75	90%	25	50	50									
Office/Commercial Mixed Use (OC)	Commercial	N/A	N/A	75	80%	15 min 25 max	10 [£]	10 [⊖]	See IC District								
Planned Neighborhood Development (PND)	Commercial	3 acres	See GC District Note: Planning Commission may amend development standards for developments in the PND District (see Article 5).														

The requirements in this table are in addition to any other applicable requirements in the text of this Ordinance. In the event of a conflict with the text, this table shall prevail.

All dimensions are in feet unless otherwise indicated by “ac” (acres).

* Maximum building height is subject to Sec. 9.2.

** If land use(s) approved via the Conditional Use process in accordance with this Ordinance.

*** MLA for Industrial uses does not apply if the site is located in an approved Industrial Park [Source: Sec. 5.6E]

**** Schools in Rural district: Plus one (1) additional acre for every 100 pupils. Minimum lot size for Vocational Schools shall be based on State of West Virginia Code. If a sewer treatment plant and retention ponds are required, acreage shall be increased accordingly.

¥ Non-Residential Site Development in an existing structure in the Village District shall comply with Section 5.10A.2.

‡ Setback may be reduced if adjacent to industrial use.

⊕ For an industrial use, no structures, stored materials, or vehicular parking shall be permitted within the buffer yard. For a commercial use, no structures, materials, or vehicular parking shall be permitted within the side and rear yard buffers.

⊖ A rear yard setback may be reduced to 10' for a non-residential use abutting a commercial or industrial use at a rear lot line

⊖ Churches in any district: (1) are treated as a commercial use on a lot of greater than 1.5 acres in determining buffer requirements and parking/drive aisle setbacks; (2) building setbacks are 25' (front) and 50' (side/rear); and (3) distance requirements do not apply.

£ For a non-residential use abutting a commercial or industrial use, no side yard setback is required, unless required by Building Code or other law or regulation.

APPENDIX C: PRINCIPAL PERMITTED AND CONDITIONAL USES TABLE^{23, 29, 32, 33, 35, 37, 39, 43}

Land Use	NC	GC	HC	LI	MI	PND ¹	OC	R	RG	RLIC	IC	V	Additional Standards
Residential Uses													
Accessory Agricultural Dwelling Unit	P	P	P	P	P	P	P	P	P	P	P	P	Sec. 8.15
Dwelling, Single Family	CU	NP	NP	NP	NP	P	NP	P	P	P	NP	P	
Dwelling, Single Family, Small Lot	CU	NP	NP	NP	NP	P	NP	NP	P	P	NP	P	
Dwelling, Two Family	CU	NP	NP	NP	NP	P	NP	P	P	P	NP	P	
Dwelling, Duplex	CU	NP	NP	NP	NP	P	NP	NP	P	P	NP	P	
Dwelling, Townhouse	CU	NP	NP	NP	NP	P	P	NP	P	P	NP	CU	
Dwelling, Multi-Family	CU	NP	NP	NP	NP	P	P	NP	P	P	NP	CU	
Day Care Center, Small	P	NP	NP	NP	NP	P	NP	P	P	P	P	P	
In-Law Suite	NP	NP	NP	NP	NP	P	NP	P	P	P	NP	P	Sec. 8.15
Mixed Use Building	P	NP	NP	NP	NP	P	P	NP	CU	P	NP	P	
Mobile Home Park	NP	NP	NP	NP	NP	NP	NP	NP	P	P	NP	NP	
Model Homes/Sales Office	P	CU	NP	NP	NP	P	NP	P	P	P	NP	NP	Sec. 8.10
Home Uses													
Home Occupation, Level 1	P	NP	NP	NP	NP	P	P	P	P	P	P	P	Art. 4A
Home Occupation, Level 2	P	NP	NP	NP	NP	P	P	P	P	P	P	P	Art. 4A
Cottage Industry	P	NP	NP	NP	NP	P	NP	P	P	P	P	P	Art. 4A
Institutional Uses													
Airport	NP	NP	NP	P	P	NP	NP	CU	NP	CU	CU	NP	
Airfield, Private/Helipad	NP	NP	NP	NP	NP	NP	NP	CU	NP	CU	CU	NP	
Church ³⁸	P	P	P	P	CU	P	P	P	P	P	CU	P	
Convention Center	NP	P	P	P	CU	P	P	CU	CU	P	CU	NP	
Cultural Facility	P	P	P	P	CU	P	P	P	P	P	P	P	
Day Care Center, Large	P	P	P	P	CU	P	P	CU	P	P	P	CU	
Electric Vehicle Charging Station	P	P	P	P	P	P	P	CU	CU	P	P	CU	
Elementary or Secondary School	P	P	CU	CU	NP	P	P	P	P	P	NP	CU	
Essential Utility Equipment	P	P	P	P	P	P	P	P	P	P	P	P	Sec. 4.7
Group Residential Facility	P	P	P	NP	NP	P	CU	P	P	P	NP	P	
Group Residential Home	P	P	P	NP	NP	P	CU	P	P	P	NP	P	
Heliport	NP	CU	CU	P	P	CU	CU	NP	NP	CU	CU	NP	
Hospital	NP	P	P	P	CU	P	P	P	P	P	NP	NP	
Nature Center and Preserve	NP	NP	NP	NP	NP	P	NP	P	CU	P	NP	P	
Nursing or Retirement Home	CU	P	P	P	NP	P	P	CU	P	P	NP	CU	
Park	P	P	P	P	NP	P	P	P	P	P	NP	P	
Performing Arts Theater	P	P	P	P	P	P	P	CU	CU	P	P	CU	
Preschool	P	P	CU	CU	CU	P	P	P	P	P	NP	CU	
Public Safety Facility	P	P	P	P	P	P	P	P	P	P	P	P	
Publicly Owned Facility	P	P	P	P	P	P	P	P	P	P	P	CU	
Recycling Drop-Off Center	CU	P	P	P	P	P	P	NP	NP	P	P	NP	
Residential Care Home	P	P	P	NP	NP	P	CU	P	P	P	NP	P	
School, College or University	NP	P	P	P	NP	P	P	CU	CU	P	NP	NP	
School, Vocational or Professional	NP	P	P	P	NP	P	P	CU	CU	P	P	NP	
Vocational and Training Facility for Adults	P	P	P	P	P	P	P	P	P	P	NP	NP	

Land Use	NC	GC	HC	LI	MI	PND ¹	OC	R	RG	RLIC	IC	V	Additional Standards
Industrial													Sec. 8.9
Heavy Equipment Repair	NP	NP	CU	CU	P	NP	NP	NP	NP	NP	P	NP	
Heavy Industrial Uses	NP	NP	NP	NP	P	NP	NP	NP	NP	NP	P	NP	Sec. 8.9
Light Industrial Uses	NP	NP	NP	P	P	NP	NP	NP	** NP	P	P	NP	Sec. 8.9
Manufacturing, Heavy	NP	NP	NP	CU	P	NP	NP	NP	NP	NP	P	NP	
Manufacturing, Limited	NP	P	P	P	P	CU	NP	NP	NP	P	P	NP	
Printing and Publishing	NP	P	P	P	P	P	P	NP	NP	P	P	NP	
Salvage Yards	NP	NP	NP	NP	CU ²	NP	NP	NP	NP	NP	CU ²	NP	Sec. 4.4L
Shooting Range, Indoor	NP	CU	CU	P	P	NP	NP	CU	NP	CU	P	NP	
Shooting Range, Outdoor	NP	NP	NP	CU	CU	NP	NP	CU	NP	NP	CU	NP	
Slaughterhouses, Stockyards	NP	NP	NP	NP	CU	NP	NP	CU	NP	NP	CU	NP	
Transportation Terminal	NP	P	P	P	P	P	P	NP	NP	CU	P	NP	
Vehicle Storage	NP	NP	NP	P	P	NP	NP	NP	NP	NP	P	NP	
Warehousing and Distribution, General	NP	NP	NP	CU	P	NP	NP	NP	NP	CU	P	NP	
Warehousing and Distribution, Limited	NP	P	P	P	P	CU	P	NP	NP	P	P	NP	
Industrial Manufacturing & Processing													Sec. 8.9
Acid or heavy chemical manufacturer, processing or storage	NP	NP	NP	NP	CU	NP	NP	NP	NP	NP	CU	NP	
Bituminous concrete mixing and recycling plants	NP	NP	NP	NP	CU	NP	NP	NP	NP	NP	CU	NP	
Cement or Lime Manufacture	NP	NP	NP	NP	CU	NP	NP	NP	NP	NP	CU	NP	
Commercial Sawmills	NP	NP	NP	NP	CU	NP	NP	NP	NP	NP	CU	NP	
Concrete and ceramic products manufacture, including ready mixed concrete plants	NP	NP	NP	NP	CU	NP	NP	NP	NP	NP	CU	NP	
Explosive manufacture or storage	NP	NP	NP	NP	CU	NP	NP	NP	NP	NP	CU	NP	
Foundries and/or casting facilities	NP	NP	NP	NP	CU	NP	NP	NP	NP	NP	CU	NP	
Jails and Prisons	NP	NP	NP	NP	CU	NP	NP	NP	NP	NP	CU	NP	Sec. 8.7
Mineral extraction, mineral processing	NP	NP	NP	NP	CU	NP	NP	NP	NP	NP	CU	NP	
Petroleum products refining or storage	NP	NP	NP	NP	CU	NP	NP	NP	NP	NP	CU	NP	Sec. 8.11
Adult Uses													
Adult Uses	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	P	NP	Sec. 4.4K, Sec. 8.1
Recreational Uses													
Hunting, Shooting, Archery and Fishing Clubs, public or private	NP	NP	NP	CU	CU	NP	NP	P	NP	NP	NP	NP	Sec. 8.8
Commercial Uses													Sec. 8.9
Antique Shop	P	P	P	P	NP	P	NP	CU	CU	P	P	P	
Appliance Sales	NP	P	P	P	CU	P	NP	CU	CU	P	P	NP	
Art Gallery or Artist Studio	P	P	P	P	NP	P	P	CU	CU	P	P	P	
ATM	P	P	P	P	NP	P	P	CU	CU	P	P	CU	
Automobile repair, sales and service	NP	P	P	P	P	P	NP	CU	CU	P	P	CU	
Automobile parts, supplies and tire stores	NP	P	P	P	P	P	NP	CU	CU	P	P	CU	
Automobile, light truck and light trailer rentals, indoor	P	P	P	P	P	P	NP	CU	CU	P	P	CU	
Automobile, light truck and light trailer rentals, outdoor	NP	P	P	P	P	P	NP	CU	CU	P	P	CU	
Bail Bond Services	NP	P	P	P	CU	NP	NP	CU	CU	CU	P	CU	
Bank	P	P	P	P	CU	P	P	CU	CU	P	P	P	
Bank with Drive-Through Facility	CU	P	P	P	CU	P	P	CU	CU	P	P	CU	

Land Use	NC	GC	HC	LI	MI	PND ¹	OC	R	RG	RLIC	IC	V	Additional Standards
Commercial Uses continued													Sec. 8.9
Bar	P	P	P	P	NP	P	P	NP	NP	P	P	CU	
Barber/Beauty Shop, Limited	P	P	P	P	NP	P	P	CU	CU	P	P	P	
Bed and Breakfast	P	NP	NP	NP	NP	P	NP	P	CU	P	NP	P	Sec. 8.3
Brewpub	P	P	P	P	NP	P	P	CU	CU	P	P	CU	Sec. 8.5
Business Equipment Sales and Service	CU	P	P	P	CU	P	P	CU	CU	P	P	CU	
Building Maintenance Services	CU	P	P	P	P	P	P	CU	CU	P	P	CU	
Building Materials and Supplies	NP	P	P	P	P	P	NP	CU	CU	P	P	CU	
Campground ³¹	CU	P	NP	NP	NP	P	NP	P	CU	P	P	CU	Sec. 8.17
Car Wash	NP	P	P	P	CU	P	P	CU	CU	P	P	CU	
Commercial Blood Plasma Center	NP	P	P	P	NP	CU	CU	CU	CU	CU	P	CU	
Commercial Uses	NP	NP	NP	NP	NP	NP	NP	NP	**	P	P	CU	Sec. 8.9
Contractor with No Outdoor Storage	P	P	P	P	P	P	P	CU	CU	P	P	CU	
Contractor with Outdoor Storage	NP	P	P	P	P	P	NP	CU	CU	P	P	CU	
Convenience Store	CU	P	P	P	CU	P	NP	CU	CU	CU	P	CU	Sec. 5.8C (RLIC only)
Convenience Store, Limited	P	P	P	P	CU	P	P	CU	CU	P	P	CU	
Country Inn	P	P	P	P	NP	P	P	CU	CU	P	P	P	
Crematorium, Pet ³⁷	NP	P	NP	P	NP	NP	NP	P	NP	P	P	CU	Sec. 8.19
Custom Manufacturing	P	P	P	P	P	P	P	CU	CU	P	P	CU	
Dry cleaning and Laundry Services	P	P	P	P	CU	P	P	CU	CU	P	P	CU	
Dry cleaning and Laundry Facility	NP	P	P	P	P	P	P	CU	CU	P	P	CU	
Equipment Rental, Sales, or Service	NP	P	P	P	P	P	NP	CU	CU	P	P	CU	
Exterminating Services	NP	P	P	P	P	P	P	CU	CU	P	P	CU	
Florist	P	P	P	P	CU	P	P	CU	CU	P	P	P	
Food Preparation	P	P	P	P	CU	P	P	CU	CU	P	P	CU	
Gambling Facilities	NP	NP	NP	NP	CU	NP	NP	NP	NP	NP	CU	CU	Sec. 4.4G
Gas Station	NP	P	P	P	CU	P	P	CU	CU	P	P	CU	
Gas Station, Large	NP	CU	P	P	CU	CU	CU	CU	CU	P	P	CU	
Gas Station, Limited	P	P	P	P	CU	P	P	CU	CU	P	P	CU	
Golf Course	NP	P	P	P	NP	P	P	CU	CU	P	P	CU	
Grocery Store	P	P	P	P	CU	P	NP	CU	CU	P	P	CU	
Horse Racing Facility	NP	NP	NP	P	NP	NP	NP	CU	CU	P	P	CU	
Hotel/Motel	NP	P	P	P	NP	P	P	CU	CU	P	P	CU	
Kennel	NP	P	P	P	CU	P	P	P	CU	P	P	CU	Sec. 8.4
Medical/Dental/Optical Office, Small	P	P	P	P	CU	P	P	CU	CU	P	P	P	
Medical/Dental/Optical Office	NP	P	P	P	CU	P	P	CU	CU	P	P	CU	
Mobile Home, Boat and Trailer Sales	NP	P	P	P	CU	P	NP	CU	CU	CU	P	CU	
Movie Theater	NP	P	P	P	NP	P	NP	CU	CU	P	P	CU	
Nightclub	NP	P	P	P	NP	P	NP	CU	CU	P	P	CU	
Non Profit Commercial Uses	P	P	P	P	NP	P	P	CU	CU	P	P	CU	
Non-Profit Community Centers	P	P	P	P	CU	P	CU	P	CU	P	P	CU	
Parking, Commercial Offsite Accessory	NP	P	P	P	P	P	P	CU	CU	P	P	CU	
Pawn Shop Services	NP	P	P	P	NP	P	NP	CU	CU	P	P	CU	
Personal Services	P	P	P	P	CU	P	P	CU	CU	P	P	CU	
Professional Office	P	P	P	P	CU	P	P	CU	CU	P	P	CU	
Professional Office, Small	P	P	P	P	CU	P	P	CU	CU	P	P	P	
Restaurant	P	P	P	P	CU	P	P	CU	CU	P	P	CU	
Restaurant, Fast Food	CU	P	P	P	CU	P	P	CU	CU	CU	P	CU	

Land Use	NC	GC	HC	LI	MI	PND ¹	OC	R	RG	RLIC	IC	V	Additional Standards
Commercial Uses continued													Sec. 8.9
Restaurant, Fast Food, Drive-Through ⁴⁰	NP	P	P	P	CU	CU	P	CU	CU	P	P	CU	
Restaurant, Fast Food, Limited	P	P	P	P	CU	P	P	CU	CU	P	P	CU	
Retail Sales and Services, General	NP	P	P	P	NP	P	NP	CU	CU	P	P	CU	
Retail Sales Limited	P	P	P	P	NP	P	P	CU	CU	P	P	CU	
Retail Store, Large	NP	CU	P	CU	NP	CU	NP	CU	CU	CU	CU	CU	
Shipping and Mailing Services	P	P	P	P	CU	P	P	CU	CU	P	P	CU	
Short Term Rental ⁴¹	CU	NP	NP	NP	NP	P	NP	P	P	P	NP	P	Sec. 8.16
Solar Energy Facility ⁴³	NP	See Section 8.20				NP	NP	See Section 8.20				NP	Sec. 8.20
Special Event Facility	P	P	P	P	NP	P	P	CU	CU	P	P	CU	Sec. 8.14
Storage, Commercial	NP	P	P	P	CU	P	NP	CU	CU	P	P	CU	
Veterinary Services	P	P	P	P	CU	P	P	P	CU	P	P	CU	
Wireless Telecommunications Facilities	P	P	P	P	P	P	P	P	P	P	P	P	Art. 4B
Agricultural Uses*													
Agricultural Uses, as defined in Article 2	P	P	P	P	P	P	P	P	P	P	P	P	
Agricultural Repair Center	NP	P	P	P	P	P	P	P	CU	P	P	NP	
Agricultural Tourism	P	P	P	P	P	P	P	P	P	P	P	P	
Crematorium, Livestock ³⁷	CU	CU	CU	CU	CU	CU	CU	P	CU	CU	CU	CU	Sec. 8.19
Farm Brewery	P	P	P	P	P	P	P	P	P	P	P	P	Sec. 8.5
Farm Winery or Distillery	P	P	P	P	P	P	P	P	P	P	P	P	Sec. 8.5
Farm Market	P	P	P	P	P	P	P	P	P	P	P	P	Sec. 8.6
Farmer's Market	P	P	P	NP	NP	P	NP	P	CU	P	NP	CU	Sec. 8.6
Farm Vacation Enterprise	P	P	P	P	P	P	P	P	P	P	P	P	
Feed and/or Farm Supply Center	CU	P	P	P	P	P	P	P	CU	P	P	NP	
Horticultural Nurseries and Commercial Greenhouses	P	P	P	P	P	P	P	P	CU	P	P	NP	
Landscaping Business	P	P	P	P	P	P	P	P	CU	P	P	NP	
Rental of Existing Farm Building for Commercial Storage Structure must have existed for 5 years	NP	P	P	P	P	P	P	P	CU	P	P	NP	
Special Event Facility, Agricultural	P	P	P	P	P	P	P	P	P	P	P	P	Sec. 8.14
Accessory Uses													
Accessory Uses	P	P	P	P	P	P	P	P	P	P	P	P	

NC Neighborhood Commercial

GC General Commercial

HC Highway Commercial

LI Light Industrial

MI Major Industrial

PND Planned Neighborhood Development

P Permitted Uses

NP Not Permitted Uses

CU Conditional Uses (subject to requirements of district and/or other requirements of this Ordinance)

** Accessory Use to a planned residential community, if permitted pursuant to Section 5.4 and processed as a CU

¹ The Planning Commission may amend the permitted uses for a development in the PND District per Article 5.

² Approval process is per the Salvage Yard Ordinance.

OC Office / Commercial Mixed-Use

R Rural

RG Residential Growth District

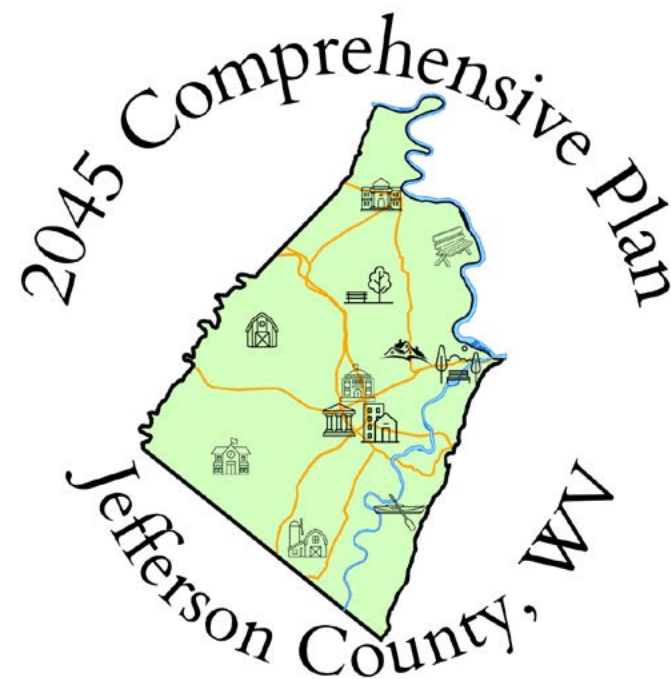
RLIC Residential-Light Industrial-Commercial District

IC Industrial-Commercial District

V Village District

2045 Comprehensive Plan

Jefferson County, West Virginia



There are eight recognized unincorporated villages in Jefferson County. All of the villages develop under County regulations. Each municipality has defined boundaries. Within town limits, the municipalities have certain taxation powers, are given jurisdiction over land-uses, and may provide services such as policing. Areas located outside of the established town limits are considered unincorporated.

Villages of Jefferson County

- Bakerton
- Kearneysville
- Leetown
- Middleway
- Mannings
- Rippon
- Shenandoah Junction
- Summit Point

The Future Land Use Guide and the Zoning Map are different. The categories on each may bear some similarities, but the maps themselves are not the same. This Plan does not call for County initiated zoning map amendments, as it is anticipated that all zoning map amendments will be owner initiated. All property owners within Jefferson County have the right to request a zoning map amendment. The Planning Commission reviews all zoning map amendment requests and makes a recommendation to County Commission regarding whether if a given request is or is not consistent with the Future Land Use Guide and relevant text of this Plan. Following a public hearing regarding the request and with the advice of the Planning Commission, County Commission must act as the governing body and determine if the request is consistent or inconsistent with the Comprehensive Plan or otherwise meets the requirements of WV Code 8A.

Urban Growth Boundary (UGB)

According to §8-6-4a of the West Virginia Code, Urban Growth Boundaries (UGBs) are...“an area around and outside the corporate limits of a municipality within which there is a sufficient supply of developable land within the boundary for at least a prospective

twenty-year period of municipal growth based on demographic forecasts and the time reasonably required to effectively provide municipal services to the identified area.”

At present, only three of the five municipalities in Jefferson County have planning boundaries that meet the definition of §8-6-4a of the West Virginia Code. In 2009, Charles Town and Ranson had their UGBs formally approved by the County Commission. In 2014, Shepherdstown created a boundary called the Growth Management Boundary (GMB) which falls under the state definition of a UGB and was formally approved by the County Commission. If Bolivar or Harpers Ferry chooses to create a UGB in the future that is different than the Preferred Growth Areas (PGAs) depicted, the recommendations in this Plan related to UGBs may be extended to the newly created UGBs based on the town’s planning goals. The use of the term UGB throughout this document refers to the Charles Town and Ranson UGBs only.

This Plan expects that properties

within the UGB may be annexed into the adjoining municipality which has created the UGB. However, an entity with property located within the UGB could choose not to annex their land into a municipality and could then develop the land under the County’s

land development standards instead. In such circumstances, the UGB acts as a Preferred Growth Area for the County and urban level development is still anticipated in these areas.

A. Shepherdstown Growth Management Boundary (GMB)

The Shepherdstown Growth Management Boundary was adopted in 2014 and is reflected on the County Zoning Map. Shepherdstown’s adopted GMB allows the Corporation to plan for future growth and annexations, but is not anticipated to have urban scale development if it remains in the unincorporated area. A smaller Preferred Growth Area that would be conducive to urban scale development has been identified to the west of the Shepherdstown.

B. Ranson Urban Growth Boundary (UGB)

In 2009, Ranson formally requested that the County Commission approve a prior Townscape Boundary as their Urban Growth Boundary. This boundary was approved in 2010 and is reflected on the County Zoning Map.

C. Charles Town Urban Growth Boundary (UGB)

In 2009, Charles Town formally requested that the County Commission approve a prior Townscape Boundary as their Urban Growth Boundary. This boundary was approved in 2010 and is reflected on the County Zoning Map.

Preferred Growth Areas (PGA)

In addition to the defined UGBs, a series of additional Preferred Growth Areas (PGAs) were identified in the Envision Jefferson 2035 plan and have been incorporated into the *2045 Comprehensive Plan*. These areas are outside the UGBs where water and sewer services are either currently available or could be made available, and are generally intended to develop using the County's development standards. Individual PGAs may also have other community services and facilities that are currently available or could be made available in the next two decades. The PGAs are not intended to be promoted in favor of the UGB for the municipalities. Both areas are expected to be viable areas for development and no policy decision is being made to favor one area over another.

The proposed PGAs are (in no particular order):

A. Shepherdstown PGA

This PGA is located south and west of Shepherdstown and defined predominately by existing zoning, residential and commercial development, and access to water and sewer services. It encompasses an area on either side of WV 45 past the west end of Old Martinsburg Road to Venice Way and to the south along the west side of WV 480. This area is included within Shepherdstown's Growth Management Boundary (GMB) and is the primary area outside of Shepherdstown that this Plan anticipates developing at an urban level even if it remains in the unincorporated area.

B. US 340 East PGA

Much of this area between Charles Town, Ranson, Harpers Ferry and Bolivar is already zoned for a wide range of commercial and residential uses. Water and sewer facilities exist along several segments of this corridor, particularly within the nodes where development is proposed to take place. The easternmost segment of the PGA could eventually be included as part of a Bolivar UGB.

and the utilization of alternative energy sources, notably some projects incorporated into the expansion of the American Public University System (APUS) in Charles Town and Ranson. These projects include the use of solar collectors that serve as cover for parked cars, electric car charging stations, and building improvements and materials that limit the use of energy needed for heating, cooling, and lighting. The improvements undertaken by APUS can serve as a role model to new development in Jefferson County and to the redevelopment of existing structures and sites. Another option for energy sourcing is natural gas, which an increasing number of businesses are using in their manufacturing process due to the lower costs and cleaner emissions. The expansion of natural gas into Jefferson County would aid economic development efforts while providing an alternative to electricity for residential and commercial purposes.

The Jefferson County Development Authority (JCDA) works to encourage and assist the development and growth of businesses and industry in the County.

Small businesses, which can range from restaurants and artisan cottage industries to small technology and service firms, are an integral part of the local economy and will need opportunities to grow stronger. Building on these assets will give the County a strong identity in its core business strengths.



Land Use Guide Classifications

Office or Commercial

Primary Uses: The Office or Commercial category is intended to support a mix of business and office uses. Developments can include mixed use projects, a mix of office or commercial buildings, or solely an office or commercial use.

Intensity: Commercial or office uses are served by public water and sewer system.

Mobility: Pedestrian, bicycle, and auto orientated access are prioritized along with interconnectivity to adjacent neighborhoods and commercial developments. Access to public transit is encouraged.



Courtesy: JC Office of Planning and Zoning

Neighborhood Commercial

Primary Uses: The Neighborhood Commercial classification is for small scale commercial uses that are compatible with residential uses. Developments in this classification should serve the convenience needs of residential neighborhoods and commercial developments within walking distance and should connect to the pedestrian and auto transportation networks of adjacent properties.

Intensity: Neighborhood commercial uses may be served by on-site well and septic systems or public water and/or sewer system.

Mobility: Pedestrian, bicycle, and auto orientated access are prioritized along with interconnectivity to adjacent neighborhoods and commercial developments.



Courtesy: JC Office of Planning and Zoning

Residential or Commercial

Primary Uses: This land use classification is for Suburban Residential and Neighborhood Commercial level development. Developments can include mixed use projects, a mix of residences and convenience businesses, or solely office, commercial, and residential uses that should connect to the pedestrian and auto transportation networks of adjacent properties. It includes gyms, convenience stores, townhomes, commercial and residential uses on adjoining lots, and mixed use projects with commercial ventures on ground level and residences on additional floors.

Intensity: Residences and commercial uses are served by public water and sewer system.

Mobility: Pedestrian, bicycle, and auto orientated access are prioritized along with interconnectivity to adjacent neighborhoods and commercial developments.



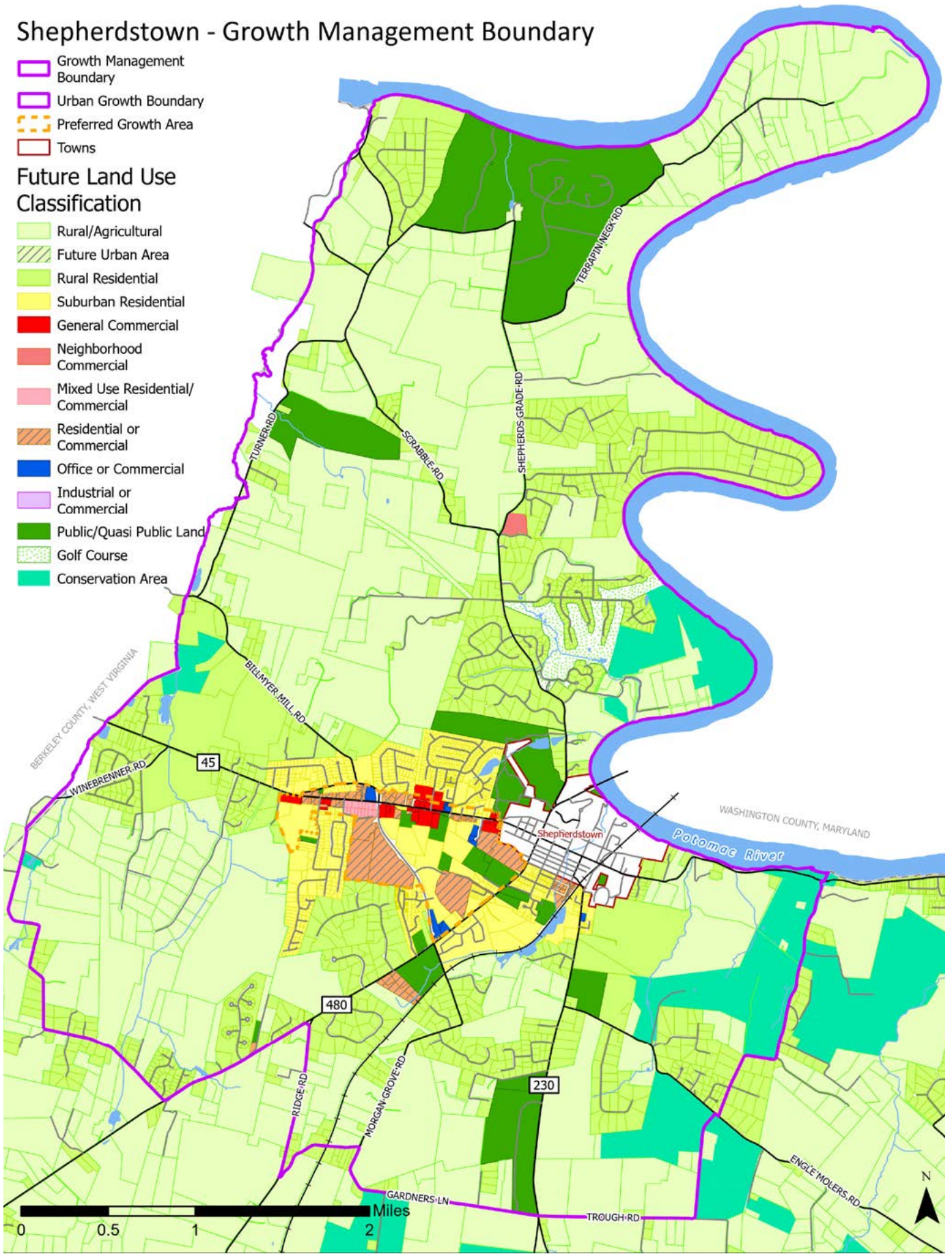
Courtesy: JC Office of Planning and Zoning

Shepherdstown - Growth Management Boundary

-  Growth Management Boundary
-  Urban Growth Boundary
-  Preferred Growth Area
-  Towns

Future Land Use Classification

-  Rural/Agricultural
-  Future Urban Area
-  Rural Residential
-  Suburban Residential
-  General Commercial
-  Neighborhood Commercial
-  Mixed Use Residential/Commercial
-  Residential or Commercial
-  Office or Commercial
-  Industrial or Commercial
-  Public/Quasi Public Land
-  Golf Course
-  Conservation Area

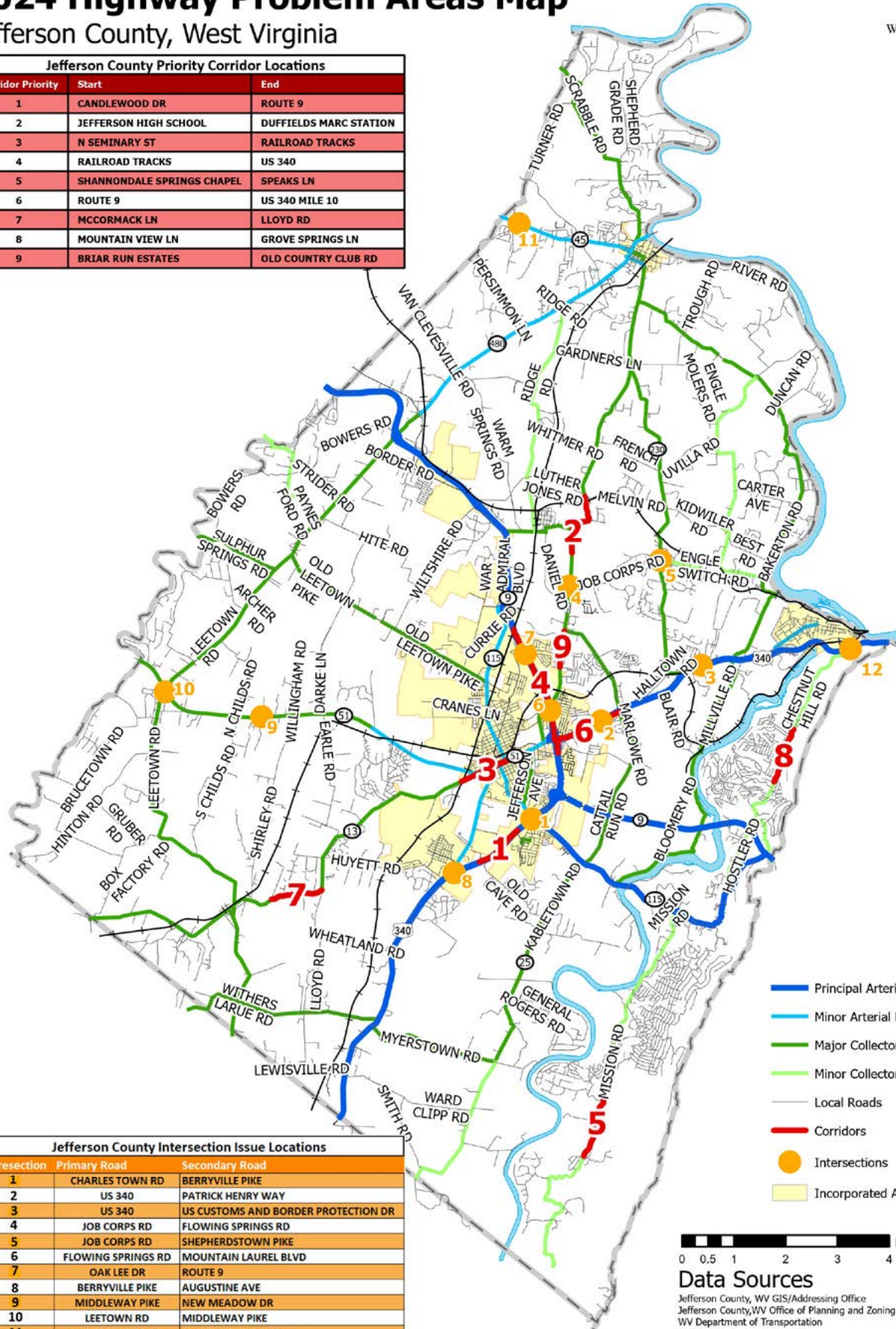


2024 Highway Problem Areas Map

Jefferson County, West Virginia



Jefferson County Priority Corridor Locations		
Corridor Priority	Start	End
1	CANDLEWOOD DR	ROUTE 9
2	JEFFERSON HIGH SCHOOL	DUFFIELDS MARC STATION
3	N SEMINARY ST	RAILROAD TRACKS
4	RAILROAD TRACKS	US 340
5	SHANNONDALE SPRINGS CHAPEL	SPEAKS LN
6	ROUTE 9	US 340 MILE 10
7	MCCORMACK LN	LLOYD RD
8	MOUNTAIN VIEW LN	GROVE SPRINGS LN
9	BRIAR RUN ESTATES	OLD COUNTRY CLUB RD



Jefferson County Intersection Issue Locations		
Intersection	Primary Road	Secondary Road
1	CHARLES TOWN RD	BERRYVILLE PIKE
2	US 340	PATRICK HENRY WAY
3	US 340	US CUSTOMS AND BORDER PROTECTION DR
4	JOB CORPS RD	FLOWING SPRINGS RD
5	JOB CORPS RD	SHEPHERDSTOWN PIKE
6	FLOWING SPRINGS RD	MOUNTAIN LAUREL BLVD
7	OAK LEE DR	ROUTE 9
8	BERRYVILLE PIKE	AUGUSTINE AVE
9	MIDDLEWAY PIKE	NEW MEADOW DR
10	LEETOWN RD	MIDDLEWAY PIKE
11	WINEBRENNER RD	MARTINSBURG PIKE
12	US 340	CHESTNUT HILL RD



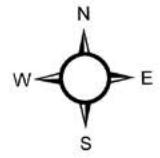
Data Sources

Jefferson County, WV GIS/Addressing Office
 Jefferson County, WV Office of Planning and Zoning
 WV Department of Transportation
 WV Department of Highways
 HEPMP0 Map Created: September 2024



Water & Sewer Service Areas

Jefferson County, WV



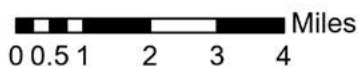
Disclaimer: All service areas are approximate, based on the area maps provided by the Utility Companies shown. Areas are current as of map publication; all service areas may be extended at any time. For detailed boundaries, please contact the Utility Company that provides service for that area.



Service Areas

Company, Type

-  Berkeley County Water, Water & Sewer
-  Charles Town Utility Board, Sewer Only
-  Charles Town Utility Board, Water Only
-  Charles Town Utility Board, Water & Sewer
-  Harpers Ferry Water Works, Water & Sewer
-  American Water, Water Only
-  American Water, Water & Sewer
-  Shepherdstown Water Department, Water Only
-  Shepherdstown Water Department, Water & Sewer
-  Preferred Growth Area (EJ2035)
-  Municipality Growth Boundary



Map created by Office of GIS and Addressing
 Jefferson County, West Virginia, July 2024
 Data Sources:
 Jefferson County, WV GIS/Addressing Office
 Jefferson County, WV Office of Planning and Zoning
 Jefferson County, WV Assessor's Office



Jefferson County, West Virginia
 Department of Engineering, Planning and Zoning
Office of Planning and Zoning
 116 E. Washington Street, 2nd Floor
 Charles Town, West Virginia 25414

File #: 25-2-2
 Fees Paid: \$ 1650

Email: planningdepartment@jeffersoncountywv.org

Phone: (304) 728-3228

Zoning Map Amendment (Rezoning)

A Zoning Map Amendment shall process in accordance with Article 12 of the Zoning Ordinance.*

A complete petition, and related fees, shall be submitted to the Office of Planning and Zoning for placement on the Planning Commission agenda at least two (2) weeks prior to the meeting date at which the petition will be presented. A copy of the application shall be submitted to the County Commission Office for inclusion on the County Commission Agenda at least one week prior to the County Commission meeting date.

Property Owner Information

Owner Name: Hoxton Center LLC
 Business Name: _____
 Mailing Address: P.O. Box E, Shepherdstown, WV 25443
 Phone Number: 304/283-0017 Email: rob.hoxton@hoxtonpm.com

Applicant Contact Information

Applicant Name: Rob and Clay Hoxton Same as owner:
 Business Name: Hoxton Center LLC
 Mailing Address: P.O. Box E, Shepherdstown, WV 25443
 Phone Number: 304/283-0017 Email: rob.hoxton@hoxtonpm.com

Consultant Information

Consultant Name: Paul J Raco
 Business Name: P.J. Raco Consulting, LLC
 Mailing Address: P.O. Box 548, Charles Town, WV 25414
 Phone Number: 304/676-8256 Email: pjraco.consulting@gmail.com

Physical Property Details

Physical Address: 8516, 8524, 8530 Shepherdstown Pike, Shepherdstown, WV 25443 Vacant Lot:
 Parcel ID: (Tax District / Map No. / Parcel No.) 09 8B0130 Shepherdstown District, Map 8B, Parcel 130
 Parcel Size: 1.07+- Acres Deed Book: 1102 Page No: 543

Current Zoning District (please check one)

- | | |
|---|---|
| <input type="checkbox"/> Residential Growth (RG) | <input type="checkbox"/> General Commercial (GC) |
| <input type="checkbox"/> Industrial Commercial (I-C) | <input type="checkbox"/> Highway Commercial (HC) |
| <input checked="" type="checkbox"/> Rural (R)* | <input type="checkbox"/> Light Industrial (LI) |
| <input type="checkbox"/> Residential-Light Industrial-Commercial (R-LI-C) | <input type="checkbox"/> Major Industrial (MI) |
| <input type="checkbox"/> Village (V) | <input type="checkbox"/> Planned Neighborhood Development (PND) |
| <input type="checkbox"/> Neighborhood Commercial (NC) | <input type="checkbox"/> Office/Commercial Mixed-Use (OC) |

Proposed Zoning District: General Commercial

*Pursuant to Article 12, a Zoning Map Amendment is a procedure to amend the official Zoning Map of the County by changing the zoning designation of a property. In order for a proposed amendment to be approved, the County Commission, with the advice of the Planning Commission, must find that the amendment is consistent with the adopted Comprehensive Plan, or if it is inconsistent, must make findings in accordance with the requirements of 8A-7-8 et seq of the WV State Code.

Substantiation for the Request

For a Zoning Map Amendment (rezoning) request, the "burden of proof" is on the applicant to show why the proposed zoning is more appropriate than the existing zoning. Accordingly, please explain how the following factors support your proposal.

Describe your proposed use/project and describe why this Zoning Map Amendment is necessary for the proposed use (and/or project) described.

The property has been used commercially since the mid-20th century around late 1940s through present day. The property is shown as Commercial or Office on the Future Land Use Guide in the Envision Jefferson 2045 Comprehensive Plan. See Attached.

Describe how this Zoning Map Amendment will be consistent with the objectives and policies of the Comprehensive Plan.

See Attached

Discuss any change(s) of transportation characteristics (i.e. type and frequency of traffic, adequacy of existing transportation routes), and neighborhood characteristics from when the original Ordinance was adopted.

See Attached

A plat or sketch shall include the entire original parcel as it appeared on the date the Zoning Ordinance took effect. The property proposed for development shall be drawn to a reasonable scale (eg. 1" = 50', 1" = 100', or 1" = 200'). The sketch plan shall show, in simple form, the proposed layout of lots, parking areas, recreational areas, streets, building areas, and other features in relation to each other and to the tract boundaries. Contour lines, as shown on the appropriate U.S.G.S. Topographic Quadrangle Map or other data source approved by the Department, should be superimposed on the sketch plan. The source of all contour lines shall be noted on the plan. Natural features such as woods, watercourses, prominent rock outcroppings, sinkholes, and quarries shall be delineated.

The information given is correct to the best of my knowledge. Property Owner Signature Required.

	05-28-2018		5/28/2025
Property Owner Signature	Date	Property Owner Signature	Date

REQUEST FOR MAP AMENDMENT/REZONING
Hoxton Center LLC
District 9, Map 8B, Parcel 130
May 27, 2025

Property Owner and Applicant:

Hoxton Center LLC
P.O. Box E
Shepherdstown, WV 25443

Request:

Amend the Zoning Map for the approximate 1.07 Acre Parcel based on its Consistency with the Envision Jefferson 2045 Comprehensive Plan, the Future Land Use Guide, and the long time previous and existing Commercial and Office Use of the property. Currently, the property is Zoned Rural, and this Map Amendment is for the General Commercial District

Section of Ordinance:

Article 12 of the Jefferson County Zoning and Development Review Ordinance, as amended.

A Map Amendment is defined as: "An amendment to the Zoning Map which is adopted by reference in the Zoning Ordinance that consists of a change that only applies to a specific property, changing from one existing zoning designation to another existing zoning designation. A map amendment does not permit changes, conditions or alterations to uses permitted within an existing zoning designation as all zoning designations must be uniformly applied to all property which are subject to said designation."

Substantiation for the Request:

1. The request is consistent and compatible with the 2025 Jefferson County Comprehensive Plan (Envision Jefferson 2045), as well as the previous 2015 Comprehensive Plan. These Plans were adopted by the County Commission after multiple meetings and hearings and specifically identify this property on the Future Land Use Guide as Commercial and Office property. The Comprehensive Plan's applicable recommendations are explained in this narrative.
2. The subject property is within the County Commission approved Shepherdstown Urban Growth Boundary named the Shepherdstown Growth Management Boundary.

3. Existing Shepherdstown Public Water and Sewer services are currently available in this neighborhood to this parcel.
4. Since the Zoning Ordinance was adopted in 1988, there have been several significant changes in the neighborhood. In this specific neighborhood Morgan Academy rehabilitated the property across the street and opened a Pre-School and K – 8 Private School. Also, the relocation of the Shepherdstown Public School buildings is currently under construction on Route 230 approximately 2 miles south of this location. Additionally, the Covenant Baptist Church constructed and all-encompassing facility approximately one mile south of the Hoxton Center. There has also been residential subdivision constructed around Shepherdstown including a Cluster Development known as Shepherdstown Village.

In the expanded neighborhood, the Clarion along with a Federal Training Facility and Conference Center including a fitness center and restaurants/lounges and Government Offices was constructed, This facility has now transitioned into apartments with a restaurant, sports training facility and Government Offices. Other changes in the neighborhood include the development of the Maddex Commercial Area (Food Lion, etc.); the enhancement to the entrance to the western campus of Shepherd University; the rezoning of the Lowe property located on the Route 45 end of the connector road; the Rezoning of the Rankin Property on Route 480 and the Connector Road; Rezoning of the Sheetz Property on Route 45; and the construction of the Sheetz Store, the WVUH Medical Office Building, and the ROCS Store on Route 45. These and other changes are described in this narrative.

5. Since the Zoning Ordinance was adopted in 1988, there has also been some change in Transportation Characteristics in the area. The most notable change was the construction of the Connector Road which functions as a western bypass around Shepherdstown. Another major change in transportation characteristics was the construction of the four lane Route 9 at the end of the Bypass to Martinsburg. This opened up that route for traffic to utilize the Route 9 and Route 480 corridor between Shepherdstown and Charles Town. There have also been road improvements to Route 45 including the West Campus Entrance to the Shepherd University Campus.
6. The current Zoning Classification, Rural, does not fit with the long existing use of the property which was commercial, including restaurant, retail, and office space. Also, the Zoning Ordinance calls for the General Commercial District to be utilized for this property since it is shown as Office or Commercial on the Future Land Use Guide.

Tax Parcel Information:

Shepherdstown Tax District, Map 8B, Parcel 130

Deed Book Reference:

Deed Book 1102 at Page 543

Sketch Plat:

Attached.

Tract Size:

Approximately 1.07 Acres.

Ordinance Required Discussion on:

The compatibility of the proposed change with the Jefferson County Comprehensive Plan; and,
The change of transportation characteristics and neighborhood from when the original zoning ordinance was adopted in 1988.

A. Comprehensive Plan Compatibility

Among the many recommendations in the 2025, Envision Jefferson 2045 Jefferson County Comprehensive Plan, the following sections address items pertinent to this map amendment. In the opening narrative on **Page 10**, the Future Land Use Guide is established as the primary tool for Map Amendments/Rezoning:

Future Land Use Guide

As part of the Envision Jefferson 2035 Comprehensive Plan, a Future Land Use Guide was adopted for the first time in Jefferson County. The Future Land Use Guide was made to assist in guiding the Planning Commission and County Commission in making decisions on changes to the Zoning Map.

One of the primary justifications for a Map Amendment is the classification of the property on the Future Land Use Guide included with the Comprehensive Plan. This Land Use Guide is explained very clearly on **Page 11** of the Plan where it describes the purpose of the Future Land Use Guide:

The Future Land Use Guide expresses the desired arrangement of future land use patterns.

The Future Land Use Guide in the current Comprehensive Plan identifies the Hoxton parcel as Office or Commercial. It is one of only five small areas in the metropolitan Shepherdstown area that is shown as Office or Commercial. Of these five areas, there are only approximately three parcels that are vacant within these areas. While most governmental jurisdictions seek the development of new office and commercial projects, there is a limited amount of area shown for future development of office or commercial. The subject Hoxton Parcel is one of these areas and is already developed as a commercial/office development. It in fact has been commercial, service, or office use, continually since the late 1940s.

The property is shown on the both the Existing Land Use Maps and Future Land Use Guides as Commercial or Office. It has been a Restaurant/Diner/Bar, Retail Establishment, and Office and Commercial since the structure was originally built and again renovated and rebuilt in the late 1980s. This property should already be zoned for Commercial and Office Development.

The General Commercial Zoning Classification is a newer Zoning classification that was created and adopted around the time the 2015 Envision Jefferson 2035 was being drafted. Since neither a newly adopted Comprehensive Plan nor a newly created zoning district can actually rezone parcels of land, these recommendations and standards are required to be utilized to implement the newly adopted recommendations and classifications for map amendments. The above referenced section of the Plan explains how the Future Land Use Guide is the primary tool that dictates a rezoning, but the Zoning Ordinance also dictates where the different Zoning Classifications should be located. For General Commercial, this is found on Page 83 of the Zoning Ordinance:

Section 5.12 General Commercial (GC) District

b. Location. This zoning category is intended for use on properties:

1. In the Growth Area as shown in the most recently adopted Comprehensive Plan, if the plan does not include a future land use map; or

2. In locations where the appropriate land use category is designated on the future land use map (and related text) in the most recently adopted Comprehensive Plan.

Again, as seen on the attached Future Land Use Guide, this property is one of the few properties indicated as Office or Commercial on that map.

On Pages 12 and 13, the Envision Jefferson 2045 Comprehensive Plan explains Urban Growth Boundaries as:

Urban Growth Boundary (UGB) According to §8-6-4a of the West Virginia Code, Urban Growth Boundaries (UGBs) are...“an area around and outside the corporate limits of a municipality within which there is a sufficient supply of developable land within the boundary for at least a prospective twenty-year period of municipal growth based on demographic forecasts and the time reasonably required to effectively provide municipal services to the identified area.” At present, only three of the five municipalities in Jefferson County have planning boundaries that meet the definition of §8-6-4a of the West Virginia Code. In 2009, Charles Town and Ranson had their UGBs formally approved by the County Commission. In 2014, Shepherdstown created a boundary called the Growth Management Boundary (GMB) which falls under the state definition of a UGB and was formally approved by the County Commission.

So, according to the Plan, the Shepherdstown’s Growth Management Boundary (GMB) is by definition an Urban Growth Boundary (UGB). The Plan goes on to explain that for the purposes of planning in the County, the GMB is to be treated differently than the Charles Town and Ranson UGBs from the standpoint of Urban Level Growth. However, as explained in the Plan, this area was established to provide for a prospective twenty year period of development and growth and can reasonably and effectively provide services to the area. This boundary was created in 2014, so it is in the eleventh year of that twenty year period. In this case, services are already available to the area and the parcel is already identified as suitable for Commercial or Office on the Future Land Use Guide. Furthermore, the site has been the location of commercial and/or office facilities for approximately 75 years from when it was initially constructed to when it was reconstructed/renovated to the existing facility around 1990.

Page 28 of the Comprehensive Plan encourages the use and reuse of existing commercial structures in Jefferson County:

Objective 2.1

Encourage and support the adaptive reuse of existing buildings, previously used sites, dilapidated structures, and vacant buildings within Jefferson County, paying particular attention to brownfield and greyfield sites.

- 1. Collaborate with stakeholders to recruit new and existing businesses and industries to use existing buildings and previously used parcels for new development including business parks and commercial sites.**

This is another main reason why a Map Amendment is supported by the Plan and Guide and is in fact necessary to achieve this Goal. The structure is a long established commercial/office building. However, if the use is ever abandoned or if the owners wish to sell, it is vital that the property is still not in the Rural Zoning Classification. If common sense is not enough to explain why new owners and lending institutions need the property to be zoned properly, certainly Lenders, Real Estate Agents, Appraisers, and intended purchasers understand why Commercial Zoning is a necessity. In current market conditions, proper zoning that reflects the actual use is the only way that the above referenced goal can be quickly achieved if the property goes on the market. Otherwise, it becomes another vacant commercial building.

Also, even though the Plan explains that the UGBs and the GMB are treated differently by the Plan, this property is still endorsed to be in an area for development even if not Urban Scale Development as reflected in **Objective 2.4 on page 29**:

Objective 2.4

Reevaluate the Preferred Growth Areas to reflect infrastructure expansions and land use changes.

- 1. Direct new urban level residential developments to locate in preferred areas within the municipalities, UGBs, PGAs, or Villages where water and sewer services are available.**

As already mentioned, Shepherdstown Water and Sewer are already available to this property and the property is already utilized for Commercial/Office uses. Since it also is one of the few properties in the area that is distinguished to be Commercial or Office on the Future Land Use Guide, the proposed Map Amendment is warranted.

Regarding Highway suitability, **Page 57** of the Envision Jefferson 2045 Comprehensive Plan includes the Jefferson County Highway Problems Area Map (attached). This map shows that the subject Hoxton Center Property is on a Major Collector Route with no Highway Problem Areas in the extended neighborhood. Being identified as a Major Collector Road with no nearby highway problem area is also supportive of the Commercial Rezoning. Again, combined with the area being served by Public Water and Sewer, the location of the property on a Major Collector Route is indicative of why the Plan supports the Map Amendment.

Several of the Goals and Objectives under **Goal 12 on Page 80** apply to the proposed Map Amendment. However, the entire **Goal on Page 78** speaks to the importance of businesses in Jefferson County:

Goal 12

Foster job development in Jefferson County by promoting diverse businesses; employment opportunities; local business entrepreneurship; and professional service jobs.

Objective 12.1

Collaborate with stakeholders to build and expand existing local businesses, support the start-up of new businesses, and attract new businesses to Jefferson County.

- 1. Organize and host small business development, entrepreneurship, financial assistance, and urban site selection classes in collaboration with stakeholders.**
- 5. Develop partnerships with area financial institutions, including non-profit lenders that specialize in providing business financing to new and emerging businesses that are in the Federal Opportunity Zone census tracts and other eligible businesses.**
- 6. Coordinate with local and state economic development agencies to identify potential funding sources for economic development efforts.**
- 7. Plan with stakeholders' co-work facilities or business incubators that provide space for start-up companies along with a small network of entrepreneurs to collaborate.**
- 8. Identify opportunities for public/ private partnerships investment that would result in the creation or expansion of employment opportunities and infrastructure.**

These objectives under **Goal 12** are hard to achieve on properties not zoned for commercial business development. Pure and simple, the already existing businesses in the County and the properties shown on the Future Land Use Guide for business development need to be Zoned for that type of development. Otherwise, businesses have a challenging time expanding and continuing on commercially if the properties go on the market for whatever reason. Furthermore, without the equity that is afforded to properties already zoned for commercial, there is little chance to expand the business or sell the property to continue to be utilized as a business. The rezoning of the Hoxton Property is needed to achieve these goals and objectives in the Plan.

Finally, along with the fact that the subject property is already shown on the Future Land Use Guide as Office or Commercial, **Goal 13** in its entirety supports the Map

Amendment for the Hoxton Center. This Goal and associated objectives are found on Pages 83 through 86 of the Plan:

Goal 13 Develop an environment that promotes existing and new businesses by expanding necessary infrastructure within the Preferred Growth Areas (PGA), Villages, and municipal Growth Boundaries (UGB&GMB)

Page 85:

The Jefferson County Development Authority (JCDA) works to encourage and assist the development and growth of businesses and industry in the County. Small businesses, which can range from restaurants and artisan cottage industries to small technology and service firms, are an integral part of the local economy and will need opportunities to grow stronger. Building on these assets will give the County a strong identity in its core business strengths.

The JCDA says it very succinctly in this paragraph. Small businesses need the opportunity to grow stronger. The Hoxton Center cannot grow stronger as a nonconforming use as it is now. The property needs to be rezoned in order to grow and in order to ensure that the future use continues as business property.

Furthermore, the following Objectives under the above cited Goal 13 all support the Map Amendment:

Objective 13.3

Provide incentives and opportunities for businesses to relocate or expand their operations within the County.

1. Work with the County's municipalities to create a unified economic development strategy.
2. Encourage local non-profit organizations and local and regional economic development agencies to create a regular forum where all County artisans, businesses, and members of the non-profit and arts communities can meet to network and collaborate.
3. Encourage the engagement of the public in creating a unified economic development strategy.

Objective 13.4

Work with utility providers to ensure public and private infrastructure is in place within UGBs, PGAs, and Villages to enable economic development.

2. Request state and federal agencies to consider the location of new facilities in Jefferson County within the growth areas identified in this Plan.
3. Request the deployment of infrastructure, including water and sewer, in all UGBs and the PGAs.

In this case, the subject parcel is in the defined UGB known as GMB and Public Water and Sewer is already servicing the area. And, redundantly, the property is dedicated for Commercial or Office Zoning on the Envision Jefferson 2045 Comprehensive Plan. Therefore, pursuant to the Comprehensive Plan, the rezoning of this property from Rural to General Commercial is consistent and compatible with the 2025 Jefferson County Comprehensive Plan. The Comprehensive Plan compatibility is combined with the fact that the property has been a Restaurant, Lounge, Retail Establishment, Artist (Pottery) Center, and Offices for nearly three quarters of a Century and should be zoned for commercial development.

The Consistency and Compatibility with the existing Comprehensive Plan and the Future Land Use Guide are the two most important criteria to be used for a Map Amendment. Also important is the fact that the Plan supports the growth of existing businesses and the continued use of property for business for the overall economic good of the County.

B. Shepherdstown UGB/GMB and Future Land Use Guide

The subject property is located in the center of the Shepherdstown UGB/GMB. The difference in these designations is described in the above Comprehensive Plan discussion and in the Plan itself. While not slated for Urban Level Development, it is a Boundary for Development. The property, as it existed in 1988 (Adoption of Zoning) is also shown on the Future Land Use Guide as Commercial or Office. The UGB/GMB and Future Land Use Guide are thoroughly discussed in A above.

Based on the location of this property within these areas, the property has already been determined to be a growth area. The property includes a long time successful business that has been owned by the Hoxton Family since 1990. The family just wants to have the property rezoned for the expansion of the business and for the long time assurance that lending institutions and potential investors or potential purchasers require.

C. Sewer and Water

This property is within the Shepherdstown Water and Sewer Service area and both water and sewer are available to the property. As the Comprehensive Plan points out in many sections, Growth should be directed into the areas served by central sewer

and water. Accordingly, the Plan supports this Map Amendment based on the availability of utilities in this area.

As addressed below, the Shepherdstown Wastewater Treatment Plant has recently undergone a quantity expansion and quality renovation.

D. Change of Neighborhood

It is important to point out that the Zoning Ordinance requires a discussion of the changes in an area since the original Zoning Ordinance was adopted in 1988. Some of these changes are recent and others were completed years ago.

The neighborhood has undergone significant changes since the zoning ordinance was adopted. In 1988, the Shepherdstown Wastewater Treatment Plant was nearing capacity and that is probably one of the reasons that more land was not zoned for residential or commercial uses at that time (1988). Another huge change in the neighborhood is that the Route 45 Connector Road (Potomac Farms Drive) was constructed in 2000/2001. This change will be further discussed in the Change of Transportation Characteristics part of the application. Finally, the expanded neighborhood has added a number of residential units in several subdivisions including Shepherdstown Village, Maddex, Kensington, Tollhouse Woods and Colonial Hills. Along with this residential growth, other commercial areas have also developed since 1988, leaving a deficit of available zoned commercial land in and around the growth areas of the County.

The following are changes in the neighborhood that would specifically support the requested change from Rural to the General Commercial District:

1. Availability of Public Utilities and Services:

Public Water and Sewer is available in this neighborhood. Furthermore, the recent Wastewater Treatment Plan expansion has increased its capacity to sustain additional growth in the Growth Area Boundaries. The availability of the additional capacity has been a change for this neighborhood since 1988. As stated earlier, one of the Comprehensive Plan's primary objectives is to funnel growth into areas already served by existing infrastructure such as sewer and water:

The allowance of growth in this area because of both the sewer and water and location within the aforementioned UGB/GMA and PGA is also supported by the Comprehensive Plan's Goals and Objectives cited earlier.

In this case, the construction of the water and sewer services into the neighborhood and the expansion and improvements to the Wastewater Plant already happened years ago and accordingly, there will be no unreasonable costs to the community, since Shepherdstown already serves the

neighborhood. Plus, there is no extension of the water and sewer services, so the rezoning does not open up other areas for development.

2. Growth in the Area:

Several large residential projects have been completely developed in the metropolitan Shepherdstown area that would benefit from the continued commercial use and potential expansion of use that would be permitted with this map amendment. Three of these, Colonial Hills, Tollhouse Woods, and Maddex Subdivision, are residential developments that are approved with a considerable number of residential units. Colonial Hills and Tollhouse are continuing to develop units and expect substantial growth in the next couple of years. Shepherdstown Village has also been constructed in the immediate area with possible expansion plans being discussed. As these subdivisions are built out, they will most certainly need nearby commercial services available to their residents. Due to the limited area of Shepherdstown and the traffic congestion and parking problems within the town, it is imperative that some commercial services be made available to the residents outside of town. Otherwise, the town will only be surrounded by residential development. Furthermore, these new commercial services should not have a negative impact on the businesses within the Central Business District of Shepherdstown, because of the unique collection of eclectic shops and shops that service college students that are already in town.

The primary area that is zoned for commercial uses in the Shepherdstown Growth area has mostly been developed. The original zoning map only allowed for limited areas for commercial development in the Shepherdstown Growth Area. These areas were zoned for the Mixed-Use District. Most of that commercial area was the Maddex Farm area that is now almost entirely developed for commercial uses. Therefore, it is vital to add some commercially zoned properties around Shepherdstown. Otherwise, commercial growth in the Shepherdstown Growth Area will not be able to meet the demands of the residential properties in that growth area. It will also provide for some limited commercial development in the area to serve the residential developments and existing homes in the area. Plus, it is an area allowed for Commercial or Office Zoning Map and is located between the Town of Shepherdstown and the new School Campus. Commercial services will be needed in this area as the potential for growth exists this close to town.

E. Change of Transportation Characteristics:

Please note that this property is already utilized for commercial/office use. As such, there should be little significant difference in traffic from this property if it is rezoned to General Commercial. Additionally, a small-scale commercial and existing office

center would have a more favorable outcome regarding traffic since some of the local residents could utilize the commercial services available if the property is rezoned and the use expanded. The ability to continue the use of the property for business and commercial uses with a formal commercial zoning, will ensure the long time continued use for a business on this property.

The addition of this connector road (functionally a bypass), along with the expanded entrance into the western campus of Shepherd University, has considerably changed the transportation characteristics in Shepherdstown and in the expanded neighborhoods around town. These two improvements have allowed traffic to bypass Shepherdstown to keep pass-through traffic away from the more congested areas of town. The addition of limited service and commercial areas around Shepherdstown should further reduce commercial traffic in the downtown area of Shepherdstown, without negatively affecting the unique collection of shops in town.

One of the most significant changes in Transportation Characteristics in this area, as well as other areas around Shepherdstown, was the finishing of the Four Lane Route 9 between the Bypass (around Charles Town) and Martinsburg. This changed much of the typical traffic between the two incorporated areas from primarily the use of Flowing Springs Road to utilizing the new Route 9 four lane to Kearneysville and then onto Route 480 to Shepherdstown. However, some of that traffic has returned with the development of the Preferred Growth Areas along Flowing Spring Road and will also be somehow affected by the development of the School Campus outside of town.

The Map Amendment to this property will not have an adverse effect on the existing Traffic/Transportation characteristics since the property is already utilized for Commercial/Office use. Due to the Size of the property, there is only a limited amount of expansion opportunity available to the parcel.

F. Current Permitted Uses on the Subject Property:

The current use is commercial and office. It exists as a nonconforming use because the property was not shown on the Zoning Map as Commercial when the Original Zoning Map was created in 1988. Since the County was adopting a nontraditional LESA based zoning system, existing uses were not taken into consideration when the map was being created. There were only three zones in this system since all uses were permitted by Conditional Use with the nontraditional zoning. The three zones were Industrial/Commercial, Residential Growth, and Agricultural. In Traditional Zoning Ordinances, there are many more zoning districts and existing uses on every parcel are reviewed to be added to one of these more specific zones. This did not happen in 1988 as explained. When the County transitioned into a Traditional Zoning after the adoption of the 2015 Comprehensive Plan, more zoning districts should have been created and the existing (especially commercial) uses should have been

placed in those districts. Even with the addition of four or five districts in 2014 (which added the General Commercial District), a County wide study was not conducted to consider existing commercial property into the newly created commercial zones. As such, this property remains nonconforming even though it existed as commercial since the structure was built and renovated.

As the survey, excerpts of the appraisal, and aerials reflect, the existing footprint of the building is approximately 3,480 sq. ft. with a finished basement of an additional 2,384 sq. ft. The proposal is merely to rezone the property to reflect the long time use and to be consistent with both the 2015 and 2025 Envision Jefferson Comprehensive Plans. This provides long time assurance that the property can continue as commercial, including offices. It also provides equity and assurances to Lending Institutions, Investors, potential Lessees/Purchasers, and Tenants that the property is not considered a nonconforming use and can expand as needed and permitted. As the attached Survey shows, the subject Tax Parcel 130 on Map 8B in the Shepherdstown Tax District includes five parcels of land, which all make up the approximately 1.07 acres. All 5 continuous parcels are utilized for the existing building/parking/business.

G. General Policy of the Comprehensive Plan and Zoning Ordinance Requirement:

As cited in the previous pages, there are specific sections of the Comprehensive Plan that support this map amendment. Consistency with and Compatibility to the Envision Jefferson 2045 Comprehensive Plan and Future Land Use Guide and continued economic benefit to the County are the prevailing reasons that the Commission should grant approval to a Map Amendment or Rezoning. This proposal very much meets those requirements. Beyond the specific provisions, the general policies found throughout both the current Plan and the previous Plan (2015) support this map amendment. This property has been located the primary growth area around Shepherdstown for many years and has been used commercially since prior to Comprehensive Plans in the County, let alone a Zoning Ordinance. However, in addition to the Comprehensive Plans, the Future Land Use Guides, and the longtime existing use, the request for the General Commercial District on this property is clearly spelled out in the previously quoted section of the **Zoning Ordinance on Page 83:**


Section 5.12 General Commercial (GC) District

B. Location. This zoning category is intended for use on properties:

2. In locations where the appropriate land use category is designated on the future land use map (and related text) in the most recently adopted Comprehensive Plan.

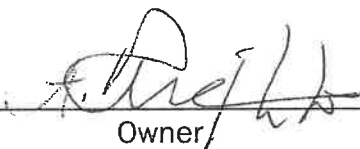
H. Conclusion:

The Applicant is requesting this map amendment for Tax Parcel 130, on Map 8B, in the Shepherdstown Tax District for the benefit of economic and business development in Jefferson County. Therefore, the Applicant respectfully requests that the County Commission approve this map amendment to the Jefferson County Zoning Map. This Application cites many reasons why the map amendment to General Commercial should be approved. The request and proposed zoning are entirely consistent with the current existing uses, the Future Land Use Guide, and the Comprehensive Plan. The property is within the Shepherdstown UBG/GMA and is currently zoned for Rural but is shown as Commercial/Office on the Future Land Use Guide. Furthermore, the property has been used commercially for decades prior to zoning in Jefferson County. As such, the request is very consistent with the recommendations and policies in the Comprehensive Plan. The Applicant also believes that the 2025 Envision Jefferson 2045 Comprehensive Plan (and the previous 2015 Plan) and the general philosophy of the County Commission regarding business enhancement, business retention, and business redevelopment in Jefferson County all support the requested map amendment. The requested rezoning will change this property's zoning designation from the Rural District to the General Commercial District. Thank you for the Commission's consideration of the request.



Owner

05-28-2025
Date



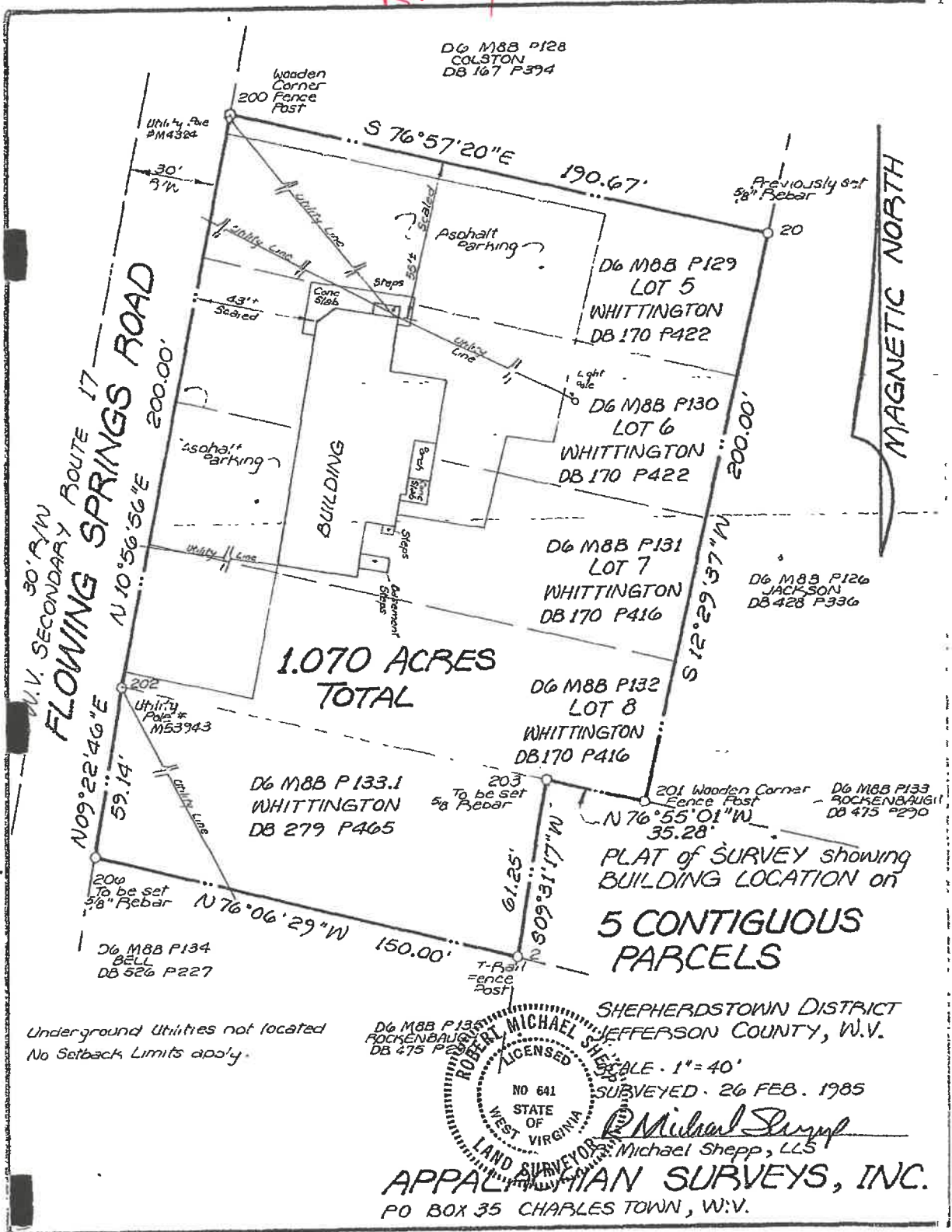
Owner

5/28/2025
Date

REQUEST FOR MAP AMENDMENT/REZONING
Hoxton Center LLC
District 9, Map 8B, Parcel 130
May 27, 2025

Addendum Index

- Page A1: Survey recorded in Deed Book 540 at Page 719. Deed begins at Page 717.
- Page A2: Existing Conditions Aerial over Tax Map.
- Page A3: 2023 Jefferson County Zoning Map, Page 22, Envision Jefferson 2045.
- Page A4: Property on Tax Map with adjacent Zoning indicated.
- Page A5: Existing Conditions Building Pictures.
- Page A6: Existing Building Description.
- Page A7: Future Land Use Guide.
- Page A8: Enlarged Future Land Use Guide around Shepherdstown.
- Page A9: Future Land Use Guide Legend.
- Page A10: Existing Conditions Aerial from County Public Research Portal.
- Page A11: FEMA 100 Year Flood Plain from County Public Research Portal.
- Page A12: Property on Tax Map Aerial with Topography provided by GIS Department.
- Page A13: 2024 Highway Problem Area Map & Road Classification, Page 57 Comp Plan.

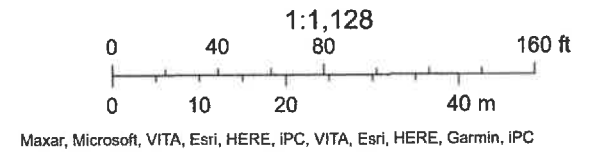


Existing Conditions Aerial over Tax MAP
Viewer Map



PAGE A2

April 29, 2025

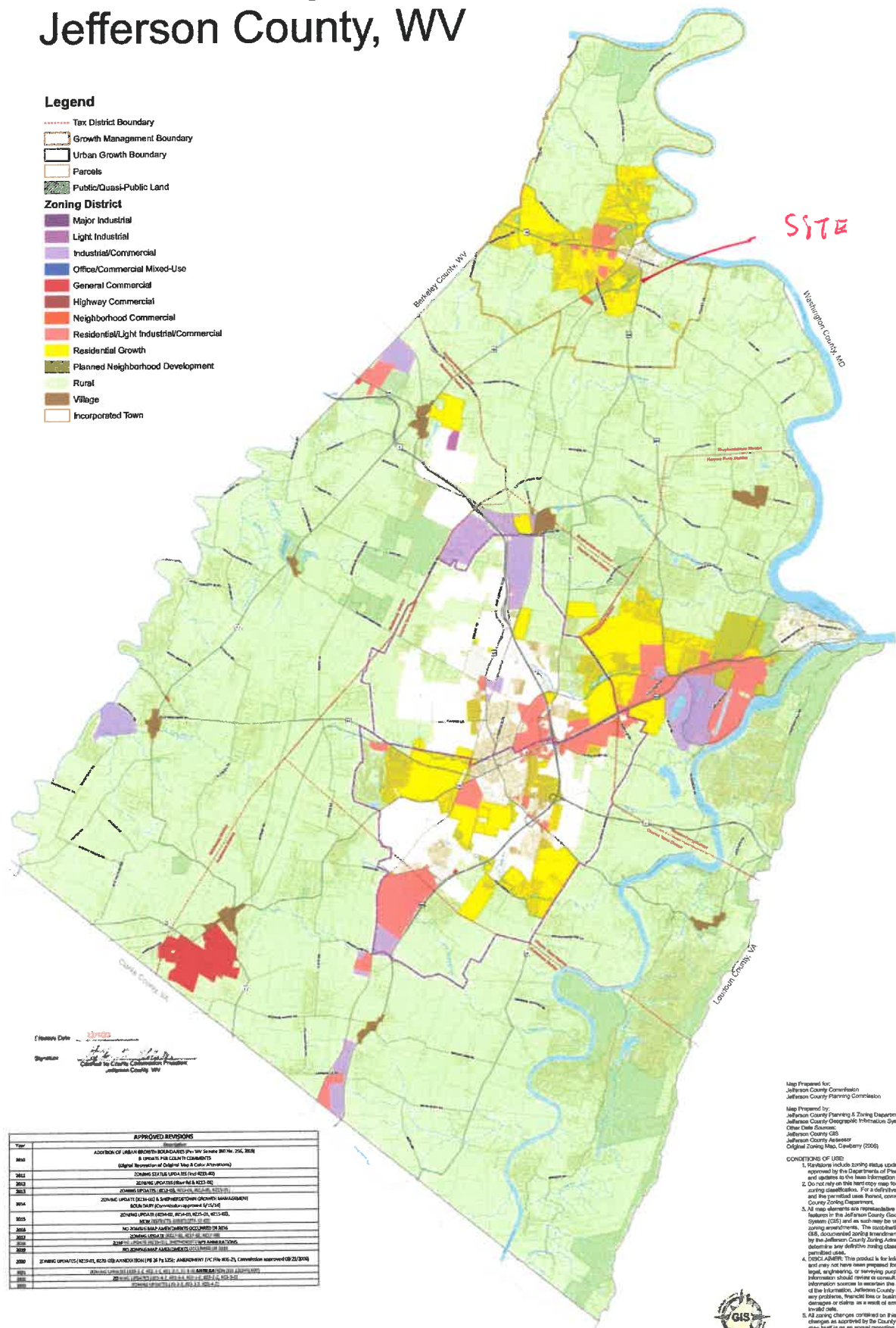


2023 Zoning Map Jefferson County, WV



Legend

- Tax District Boundary
- Growth Management Boundary
- Urban Growth Boundary
- Parcels
- Public/Quasi-Public Land
- Zoning District**
- Major Industrial
- Light Industrial
- Industrial/Commercial
- Office/Commercial Mixed-Use
- General Commercial
- Highway Commercial
- Neighborhood Commercial
- Residential/Light Industrial/Commercial
- Residential Growth
- Planned Neighborhood Development
- Rural
- Village
- Incorporated Town



Revision Date: 10/2023
 Signature: [Signature]
 Chief of County Commission President
 Jefferson County, WV

Year	APPROVED REVISIONS
2000	ADOPTION OF URBAN GROWTH BOUNDARIES (Pw. Wv Senate Bill No. 256, 2000) & URBAN GROWTH COUNTY COMMISSIONS (Original Resolution of Original Map & Color Presentation)
2001	ZONING STATUS UPDATES (REV 0201-02)
2002	ZONING UPDATES (REV 0202-02)
2003	ZONING UPDATES (REV 0303-02)
2004	ZONING UPDATES (REV 0404-02) & SUPERSTITION TOWN GROWTH MANAGEMENT (REV 0404-02)
2005	ZONING UPDATES (REV 0505-02)
2006	NEW URBAN GROWTH BOUNDARIES (REV 0606-02)
2007	ZONING UPDATES (REV 0707-02)
2008	ZONING UPDATES (REV 0808-02)
2009	ZONING UPDATES (REV 0909-02)
2010	ZONING UPDATES (REV 1010-02)
2011	ZONING UPDATES (REV 1111-02)
2012	ZONING UPDATES (REV 1212-02)
2013	ZONING UPDATES (REV 1313-02)
2014	ZONING UPDATES (REV 1414-02)
2015	ZONING UPDATES (REV 1515-02)
2016	ZONING UPDATES (REV 1616-02)
2017	ZONING UPDATES (REV 1717-02)
2018	ZONING UPDATES (REV 1818-02)
2019	ZONING UPDATES (REV 1919-02)
2020	ZONING UPDATES (REV 2020-02)
2021	ZONING UPDATES (REV 2121-02)
2022	ZONING UPDATES (REV 2222-02)
2023	ZONING UPDATES (REV 2323-02)

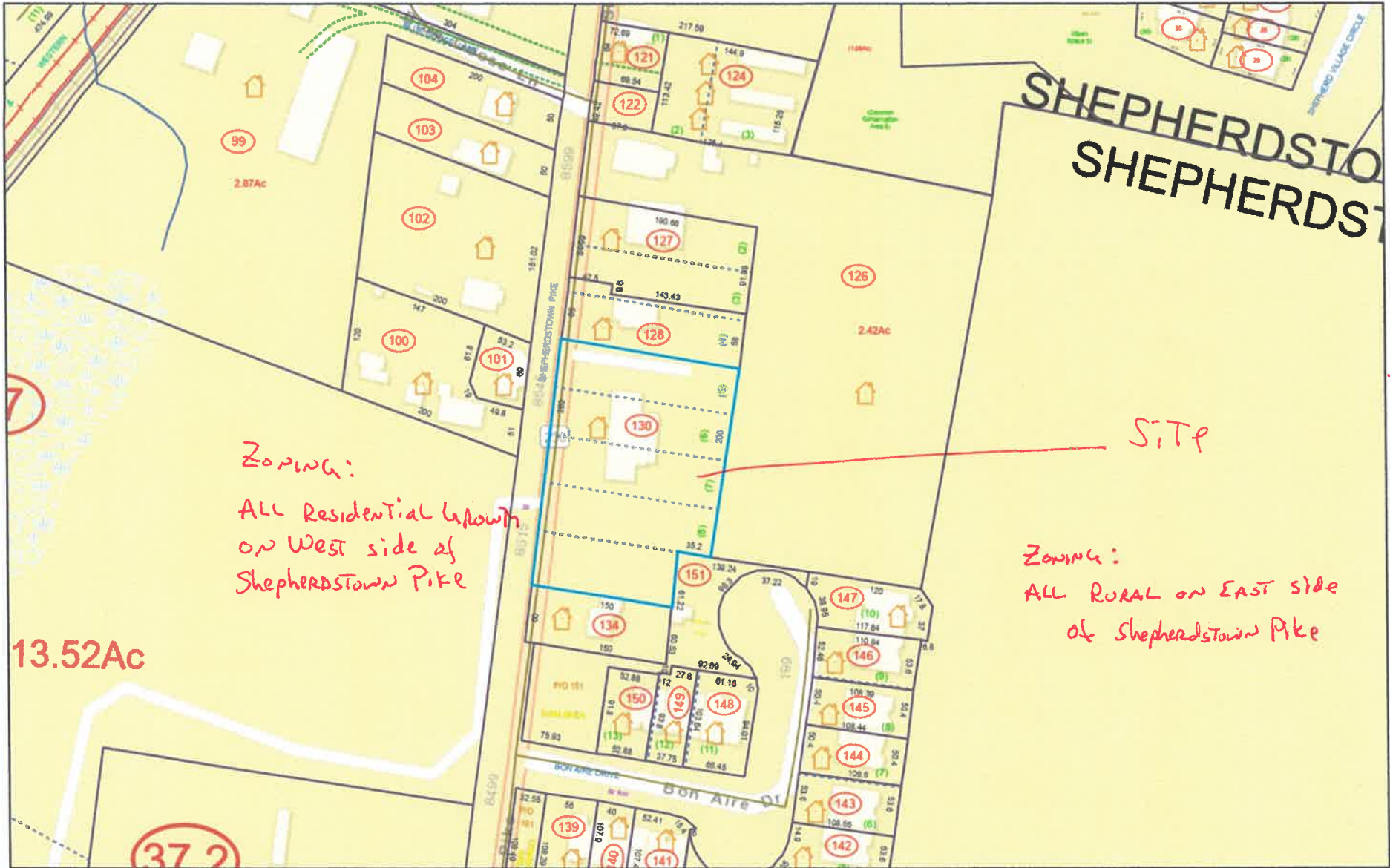
Map Prepared for:
 Jefferson County Commission
 Jefferson County Planning Commission

Map Prepared by:
 Jefferson County Planning & Zoning Department
 Jefferson County Geographic Information Systems
 Other Data Sources:
 Jefferson County GIS
 Jefferson County Assessor
 Original Zoning Map, Ordinance (2006)

- CONDITIONS OF USE:**
1. This map includes zoning map updates as approved by the Department of Planning & Zoning and updates to the base information (roads, parcels, etc.). Do not rely on this map for any definitive zoning classification. For a definitive zoning classification and the permitted uses thereof, consult the Jefferson County Zoning Department.
 2. All map elements are the responsibility of geographic features in the Jefferson County Geographic Information System (GIS) and as such may be updated per subsequent zoning amendments. The jurisdiction of the map, the GIS, documented zoning amendments and interpretation by the Jefferson County Zoning Administrator shall determine any definitive zoning classification and permitted uses.
 3. DEPICTED: This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. Users of this information should review or consult the primary data and information sources to ascertain the appropriate usability of the information. Jefferson County disclaims all liability for any problems, financial loss or business, consequential damages or claims as a result of errors, inaccuracies or omitted data.
 4. All zoning changes contained on this map are official changes as authorized by the County Commission. The map is based on an annual recording schedule and will be updated and recorded in January of subsequent years. Any roadway updates, if not recorded, but available online will reflect the most current zoning information available.

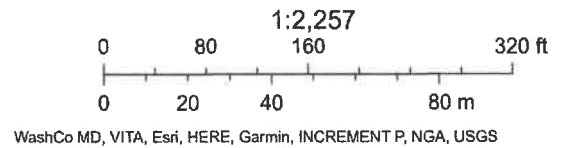


County Tax Map and Zoning Adjacent
Viewer Map



PAGE 44

April 29, 2025



Existing Condition Pictures



BUILDING FRONT



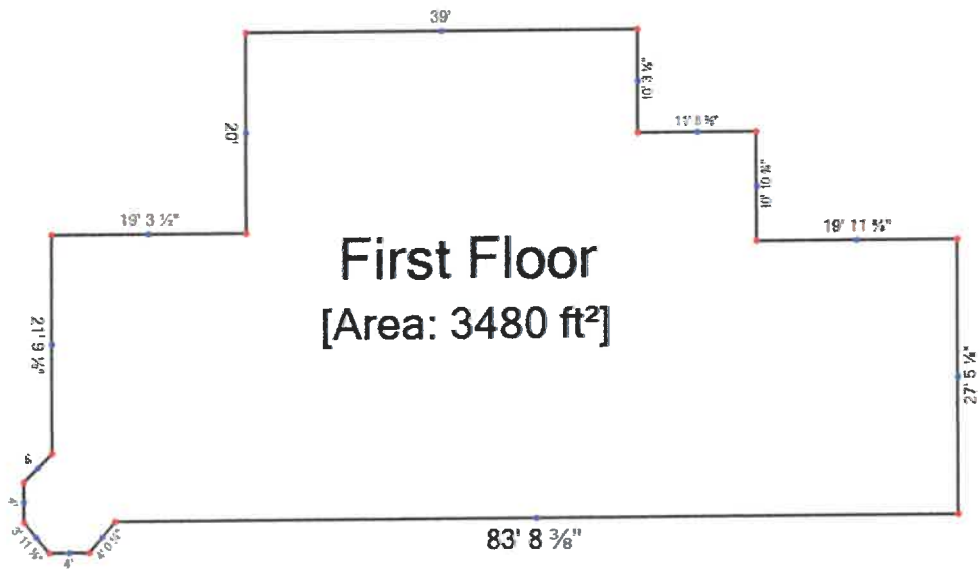
BUILDING NORTH EXTERIOR

Keys Valuation: Real Estate Appraisal Services, LLC *
Client: Hoxton Center, LLC © 2024

DESCRIPTION OF THE IMPROVEMENTS

The subject property is improved with a one-story professional office building, containing approximately 3,480 SF of gross building area constructed in 1949. The building is a concrete block construction, with a sloped metal roofing system. The veneer is a combination of a James Hardie concrete and wood. Additionally, there is a full basement, with approximately 2,384 square feet of below grade area is finished office. The first floor is partially shared, however could be split between two tenants. The basement has a separate below grade direct entrance. Overall, the improvements are well-maintained and considered good condition with no deferred maintenance noted. The building in total has the capacity to be split among three tenants, each with direct entrances however are owner occupied at this time.

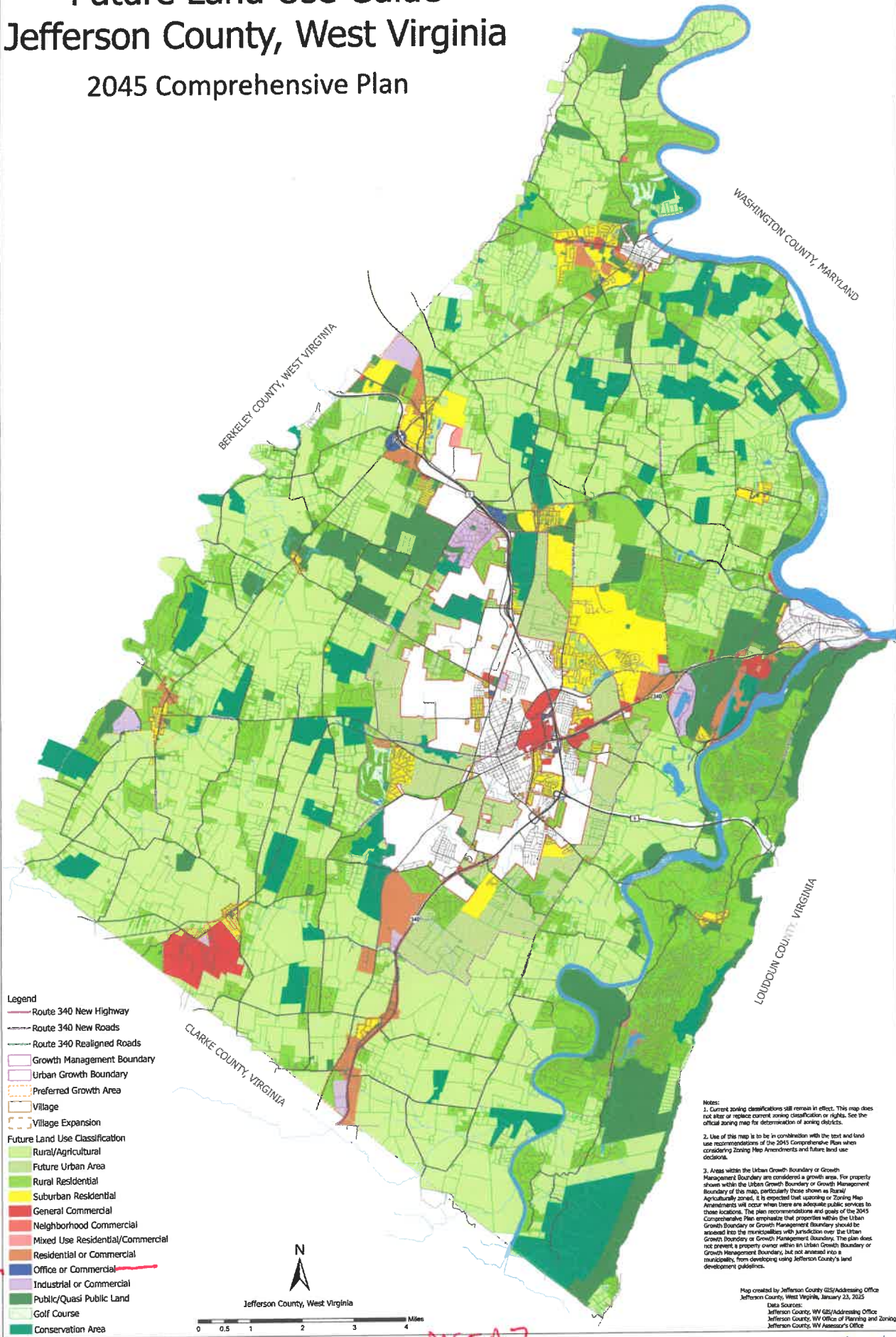
The first floor contains approximately 11 offices, a conference room, two receptions with direct entrance, kitchenette, and three half bathrooms. The finished basement contains five offices, reception, and half bathroom. The finishes are a combination of carpet and LTV flooring, drywall finished walls and ceilings, and recessed lighting throughout.



Future Land Use Guide

Jefferson County, West Virginia

2045 Comprehensive Plan



Notes:
 1. Current zoning classifications will remain in effect. This map does not show or replace current zoning classification or rights. See the official zoning map for determination of zoning districts.

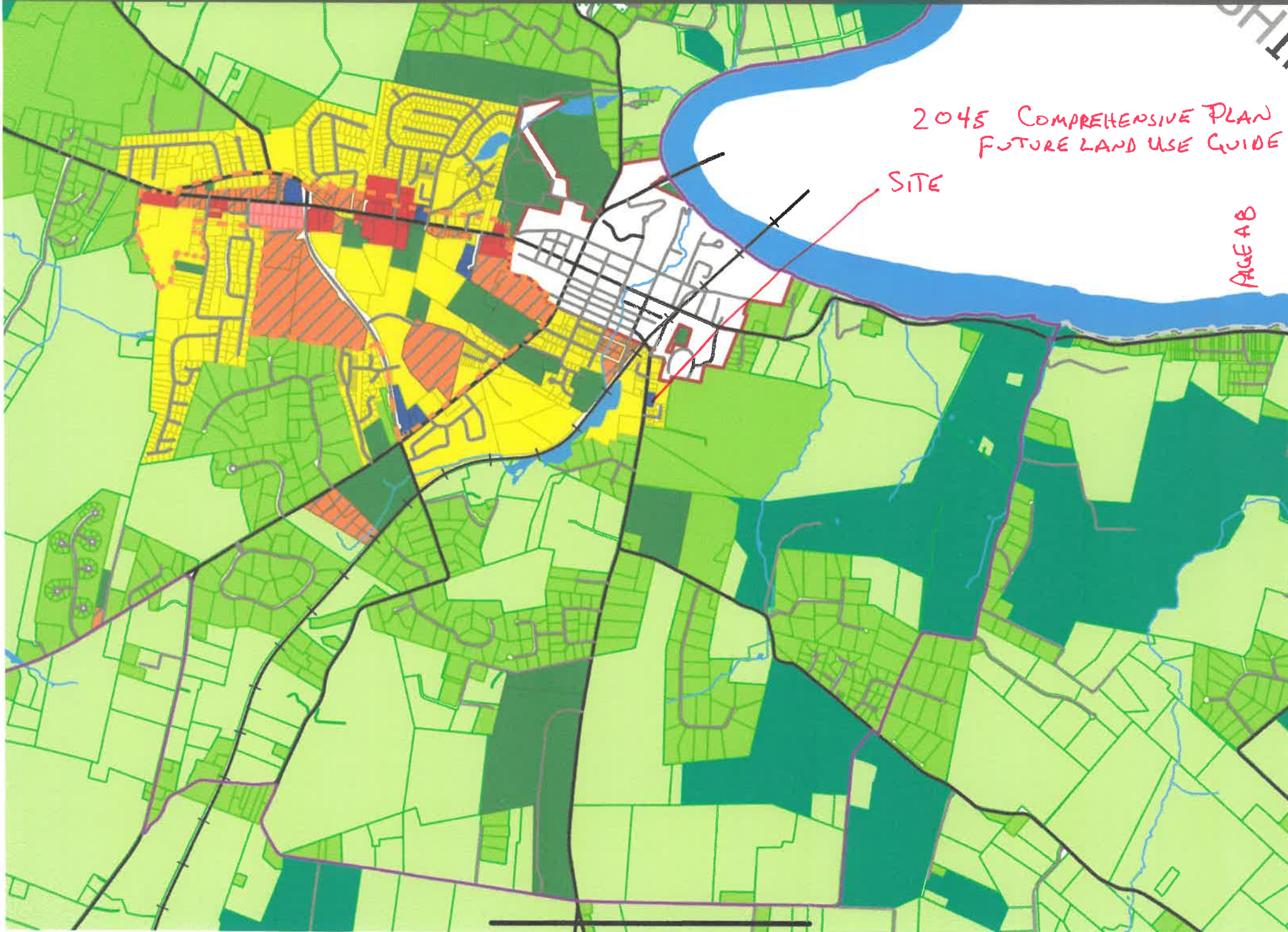
2. Use of this map is to be in combination with the text and land use recommendations of the 2045 Comprehensive Plan when considering Zoning Map Amendments and future land use decisions.

3. Areas within the Urban Growth Boundary or Growth Management Boundary are considered a growth area. For property shown within the Urban Growth Boundary or Growth Management Boundary of the map, particularly those shown as Rural/Agricultural zones, it is expected that zoning or Zoning Map Amendments will occur when there are adequate public services to those locations. The plan recommendations and goals of the 2045 Comprehensive Plan emphasize that properties within the Urban Growth Boundary or Growth Management Boundary should be assessed into the municipalities with jurisdiction over the Urban Growth Boundary or Growth Management Boundary. The plan does not prevent a property owner within an Urban Growth Boundary or Growth Management Boundary, but not annexed into a municipality, from developing using Jefferson County's land development guidelines.

Map created by Jefferson County GIS/Addressing Office
 Jefferson County, West Virginia, January 23, 2025
 Data Sources:
 Jefferson County, WV GIS/Addressing Office
 Jefferson County, WV Office of Planning and Zoning
 Jefferson County, WV Assessor's Office

PAGE A7





2045 Comprehensive Plan
Future Land Use Guide
Legend

Legend

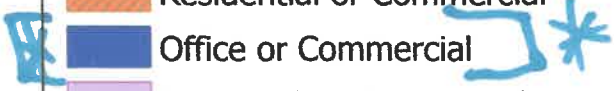
-  Route 340 New Highway
-  Route 340 New Roads
-  Route 340 Realigned Roads
-  Growth Management Boundary
-  Urban Growth Boundary
-  Preferred Growth Area
-  Village
-  Village Expansion
- Future Land Use Classification**
-  Rural/Agricultural
-  Future Urban Area
-  Rural Residential
-  Suburban Residential
-  General Commercial
-  Neighborhood Commercial
-  Mixed Use Residential/Commercial
-  Residential or Commercial
-  Office or Commercial
-  Industrial or Commercial
-  Public/Quasi Public Land
-  Golf Course
-  Conservation Area

CLARKE COUNTY, VIRGINIA

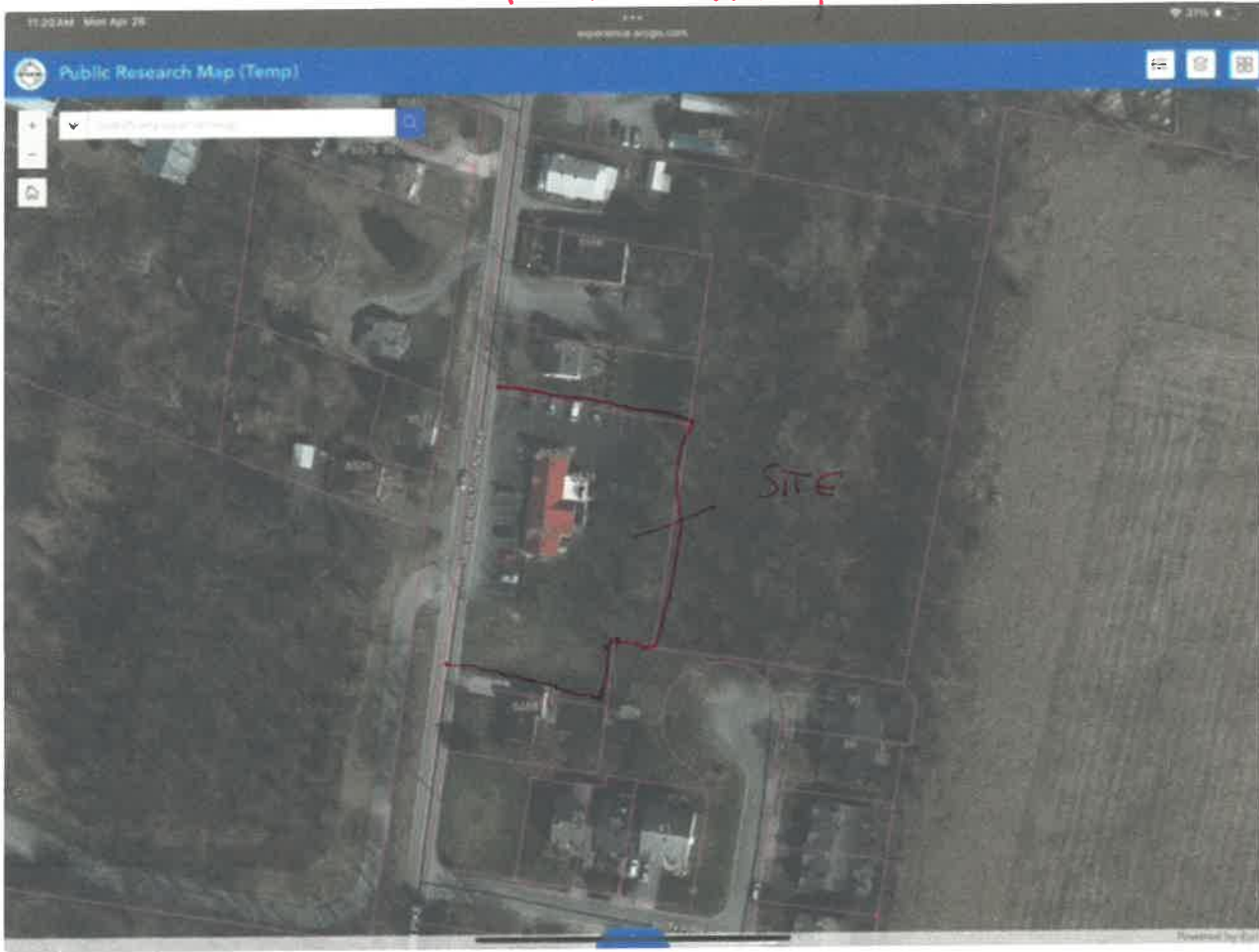
PAGE 19



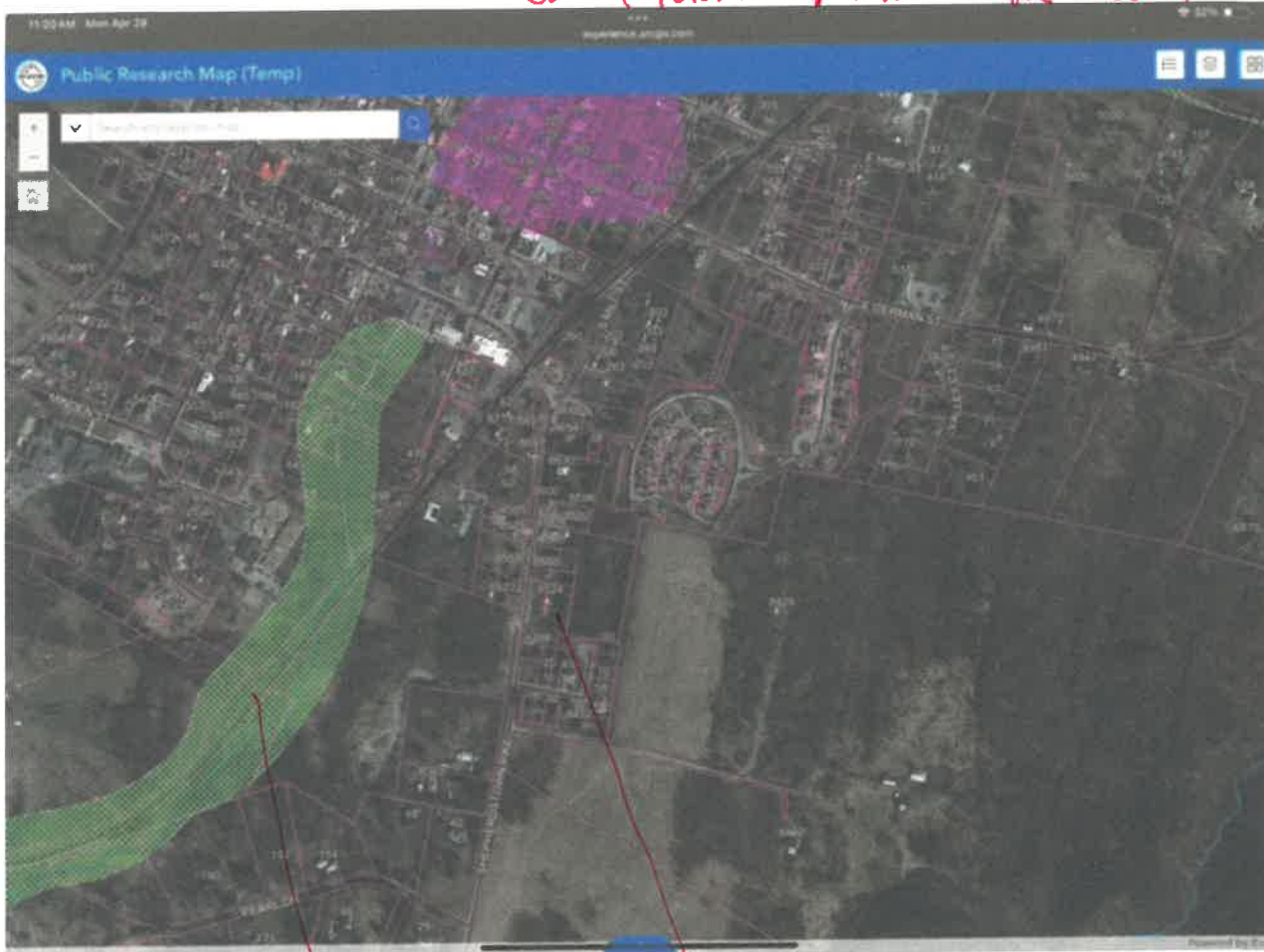
Jefferson County, West Virginia



AERIAL EXISTING CONDITIONS



COUNTY PORTAL FEMA 100 YR Floodplain



SITE

FEMA Floodplain 100 yr.

Source: County GIS Office Topography



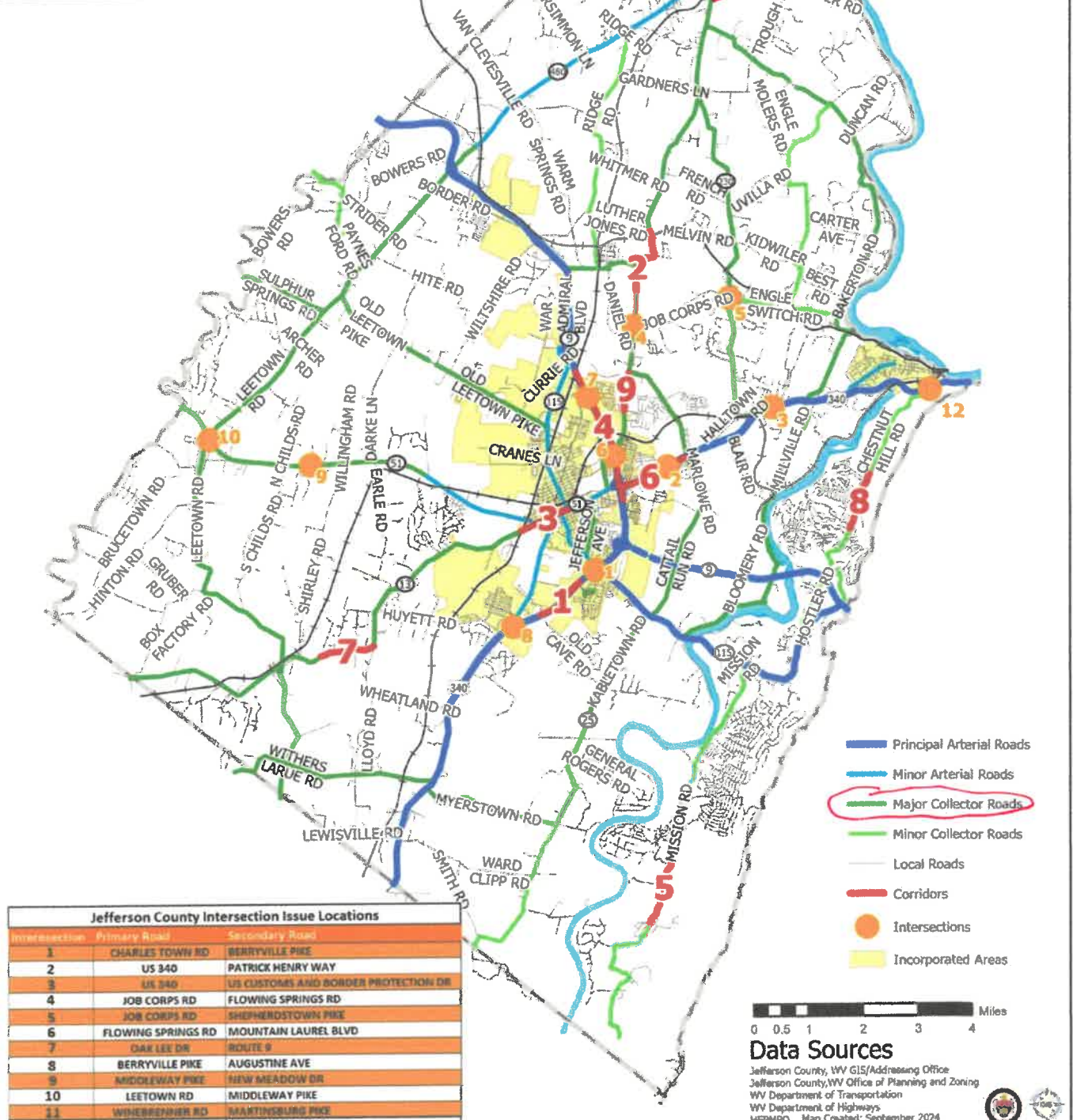
2024 Highway Problem Areas Map

Jefferson County, West Virginia



Corridor Priority	Start	End
1	CANDLEWOOD DR	ROUTE 9
2	JEFFERSON HIGH SCHOOL	DUFFIELDS MARC STATION
3	N SEMINARY ST	RAILROAD TRACKS
4	RAILROAD TRACKS	US 340
5	SHANNONDALE SPRINGS CHAPEL	SPEAKS LN
6	ROUTE 9	US 340 MILE 10
7	MCCORMACK LN	LLOYD RD
8	MOUNTAIN VIEW LN	GROVE SPRINGS LN
9	BRJAB RUN ESTATES	OLD COUNTRY CLUB RD

SITE



Intersection	Primary Road	Secondary Road
1	CHARLES TOWN RD	BERRYVILLE PIKE
2	US 340	PATRICK HENRY WAY
3	US 340	US CUSTOMS AND BORDER PROTECTION DR
4	JOB CORPS RD	FLOWING SPRINGS RD
5	JOB CORPS RD	SHEPHERDSTOWN PIKE
6	FLOWING SPRINGS RD	MOUNTAIN LAUREL BLVD
7	OAK LEE DR	ROUTE 9
8	BERRYVILLE PIKE	AUGUSTINE AVE
9	MIDDLEWAY PIKE	NEW MEADOW DR
10	LEETOWN RD	MIDDLEWAY PIKE
11	WHEATLAND RD	WHEATLAND PIKE
12	US 340	CHESTNUT HILL RD

Data Sources
 Jefferson County, WV GIS/Addressing Office
 Jefferson County, WV Office of Planning and Zoning
 WV Department of Transportation
 WV Department of Highways
 HEPPO Map Created: September 2024