

Site Plan showing

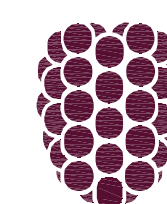
# THE GATEWAY BUILDING, LLC

City of Charles Town  
Jefferson County, West Virginia

CTC M2A P2, 3, 5, 6, 7, & 12  
DB 943 P. 463; DB 939 P.457; DB 1046 P. 642

Owned By:  
MSA, Inc.  
March 2009

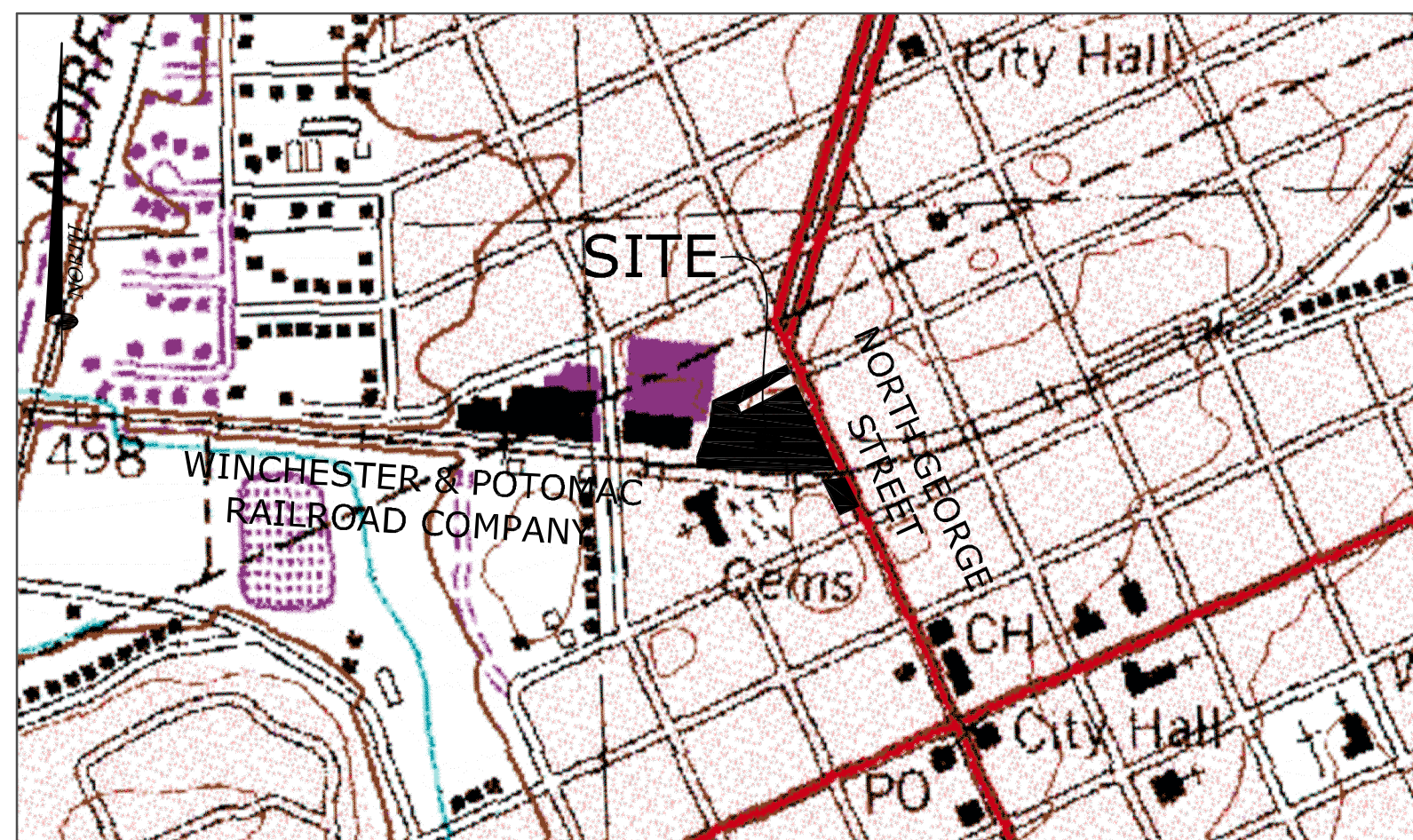
Prepared By:



**Dewberry**

Dewberry & Davis, LLC

401 S. FAIRFAX BOULEVARD, SUITE 3  
RANSON, WV 25438-1611  
PHONE: 304.725.4572  
FAX: 304.725.6896  
WWW.DEWBERRY.COM

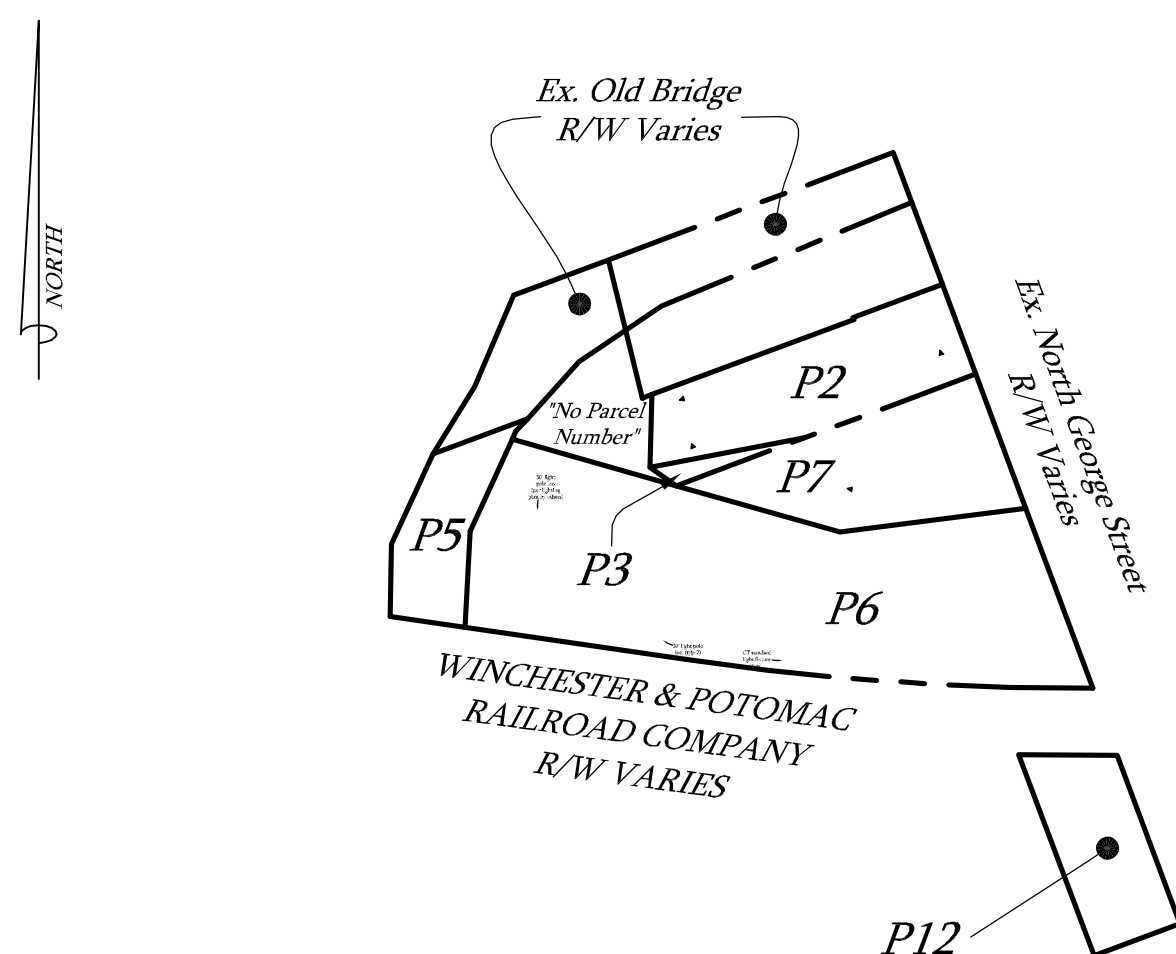


LOCATION INSET  
Scale: 1" = 500'

## SUBDIVISION INSET

For all adjoiner information, see sheet 2.

CTC M2A P2, 3, 5, 6, 7, & 12 DB 943 P.463; DB 939 P.457; DB. 1046 P. 642  
Scale: 1"=100'



## LEGEND

- property corner: to be set #5 rebar unless otherwise noted
- traffic direction
- existing contour: 5'
- existing contour: 1'
- design contour: as noted
- storm drainage easement
- trees
- street sign
- stop sign
- test pit
- speed limit sign
- boring hole
- fire hydrant
- light pole
- Building Access Point

## REVISIONS

No.	Revisions	Date
1.	Per comments by City of Charles Town	9-17-2007
2.	Waterline, grading, & comments revision (per City CT & View Eng.)	10-26-2007
3.	Per WVDOH comments	11-07-2007
4.	Per WVDEP (Twila Carr) comments	01-15-2008
5.	Deed Reference per City CT comments	03-27-2008
6.	Parking add'n on Grove Prop./4 stories	03-27-2009
7.	Comment Revisions	04-23-2009

## INDEX

Coversheet	1
Overall Sheet	2
Plan Sheet	3
E&S Sheet	4
SWM Sheet	5
Road Plan & Profile Sheet	6
Details	7-8
Landscaping & Lighting Sheet	9
Landscaping Details	10

## VARIANCES

The Charles Town Board of Zoning Appeals approved a variance application for the subject property on August 28, 2007, following a public hearing held on August 21, 2007. In summary, the BZA approved the following variances:  
Variance # 1: A minimum 5' side setback (no variance necessary for front variance requested in application).  
Variance # 2: A minimum 22' aisle width.  
Variance # 3: A minimum of 84 parking spaces.

## SURVEYORS CERTIFICATE

I, Karen K. Brill, a duly registered Professional Surveyor in the State of West Virginia, do hereby certify that I have carefully surveyed the property delineated by this plat and that it is correct to the best of my knowledge and belief, that it is part of the same land in the name of MSA, Inc., and recorded in the Land Records of Jefferson County, in D.B. 943, P463; D.B. 939 P. 457; D.B. 1046 P. 642.

I further certify that the lots are properly and accurately described and are within the boundary of said land; that the monuments and markers will be placed as shown hereon.

Karen K. Brill, PS  
304-725-4572  
Dewberry & Davis, LLC

THE CONTRACTOR SHALL NOTIFY THE FOLLOWING AT LEAST TWO WORKING DAYS BEFORE STARTING ANY CONSTRUCTION:

MISS UTILITY - CALL TOLL FREE.....1-800-245-4848  
ALLEGHENY POWER.....1-301-695-5700  
CITY OF CHARLES TOWN.....1-304-725-2311  
JEFFERSON COUNTY PSD.....1-304-725-4647  
JEFFERSON UTILITIES INC.....1-304-725-9140  
WEST VIRGINIA DEPT. OF HIGHWAYS.....1-304-725-5821  
GARBAGE COLLECTION: APPLE VALLEY WASTE.....1-304-267-1280  
TELEPHONE: FRONTIER COMMUNICATIONS.....1-888-635-4354 (304-728-8500)  
CABLE TV: GS COMMUNICATIONS, INC.....1-304-725-9185  
COMCAST BUSINESS.....1-800-316-1619  
POLICE/FIRE/RESCUE.....911

## PLANNING COMMISSION APPROVAL

This plat meets the requirements of the subdivision ordinance of the City of Charles Town and has been approved for recordation by the City of Charles Town Planning Commission.

Planning Commission President Date File Number

## ENGINEER'S CERTIFICATION

I hereby certify that these scaled plans reasonably meet or exceed minimum acceptable engineering standards and those state and county code provisions applicable on said date.

Lisa D. McCauley, PE  
304-725-4572  
Dewberry & Davis, LLC

## OWNER'S STATEMENT OF ACCEPTANCE

The Developer/Owner/Builder, in signing this Site Plan, agrees to abide to all conditions, specifications, and terms as specified from hereon.

MSA, Inc.  
Peter Chakmakian, President  
P.O. Box 547  
Charles Town, WV 25414

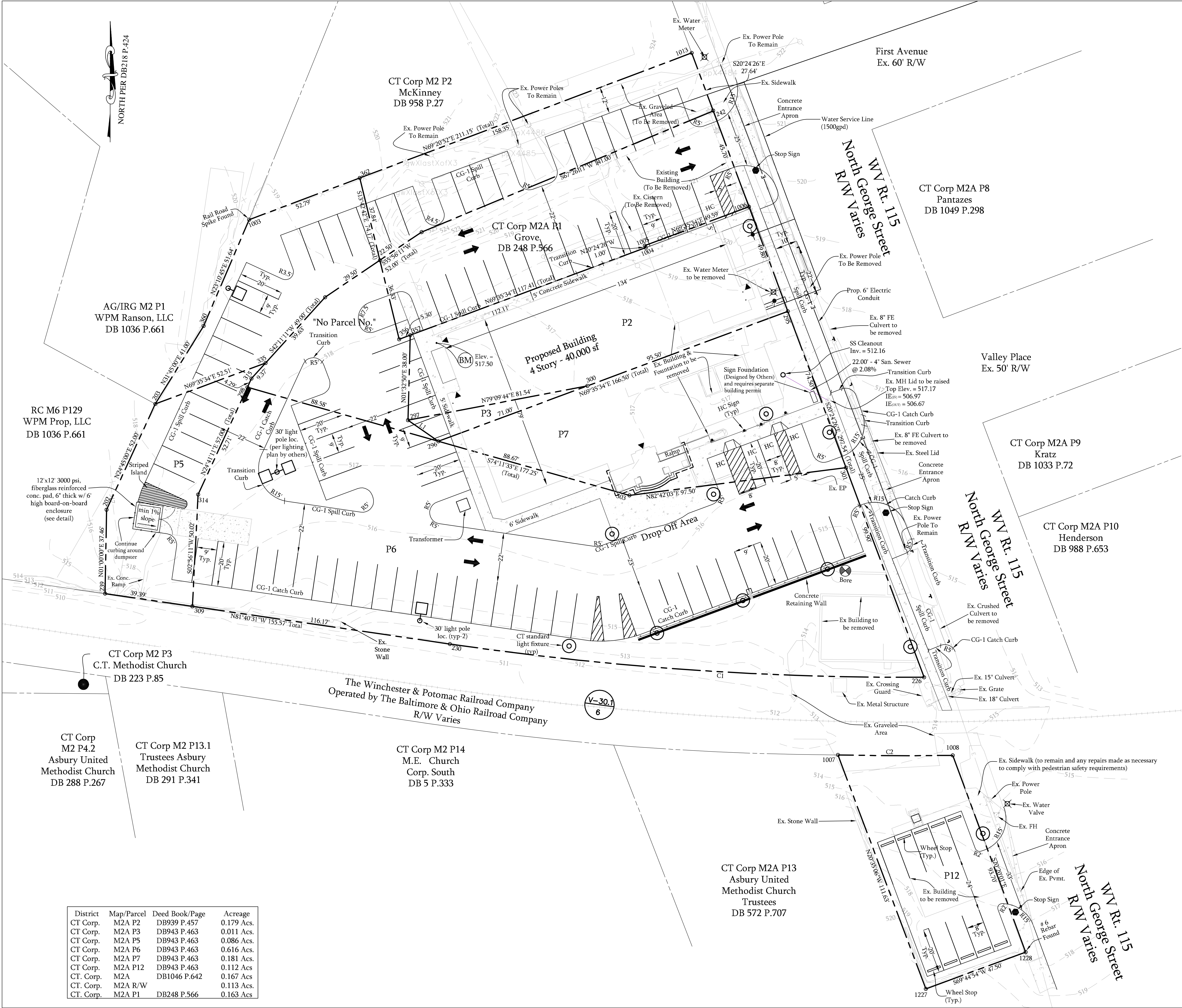
Call 1-800-245-4848 "Miss Utility"  
BEFORE ANY CONSTRUCTION, PER I.C.P.Z.C. ORDINANCE

## Architect:

Harne Bowen Architects  
and Planners  
12509 Wolfsville Road  
Myersville, MD 21773

SITE PLAN REFERENCE  
STPL 2009-0003





District	Map/Parcel	Deed Book/Page	Acreage
CT Corp.	M2A P2	DB939 P.457	0.179 Acs.
CT Corp.	M2A P3	DB943 P.463	0.011 Acs.
CT Corp.	M2A P5	DB943 P.463	0.086 Acs.
CT Corp.	M2A P6	DB943 P.463	0.616 Acs.
CT Corp.	M2A P7	DB943 P.463	0.181 Acs.
CT Corp.	M2A P12	DB943 P.463	0.112 Acs.
CT Corp.	M2A	DB1046 P.642	0.167 Acs.
CT Corp.	M2A R/W		0.113 Acs.
CT Corp.	M2A P1	DB248 P.566	0.163 Acs.

PARKING TABULATIONS:

APPROVED REQUIRED PARKING: 1 SPACE / 357 SQ.FT FLOOR SPACE  
1 SPACE PER 357 SF x 40,000 SQ.FT. FLOOR SPACE = 112 SPACES

PROVIDED PARKING: 93 ON-SITE SPACES + 6 SPACES ALONG N. GEORGE STREET  
+ 10 OFF-SITE SPACES + 3 HC WITH 5' ISLE + 2 HC VAN ACCESSIBLE WITH 6'  
SHARED A ISLE = 114 SPACES TOTAL

SITE DATA:

PROPOSED USE: OFFICE BUILDING  
ZONING DISTRICT(CORPORATION): GENERAL COMMERCIAL/CITY OF CHARLES TOWN  
ZONING CLASSIFICATION TO THE:  
NORTH: INDUSTRIAL  
SOUTH: RESIDENTIAL DUPLEX  
EAST: INDUSTRIAL  
WEST: INDUSTRIAL  
BUILDING SETBACK:

FRONT YARD (ANY ROAD FRONTAGE): 0-15'  
SIDE YARD: 0-15'  
REAR YARD: 0-5'

PARKING SETBACK:  
FRONT: 40' (7)  
SIDE: 10' (5) PER APPROVED VARIANCE  
REAR: 30'

PARCEL SIZE: 1.628 ACRES TOTAL (70,928.75 SQ. FT.) (1,2409 ACS. +  
0.1126 ACS. + 0.1123 ACS. + 0.1625)  
TOTAL GREEN AREA: 0.413 ACRES (17,998 SQ. FT.)  
TOTAL IMPERVIOUS AREA (BUILDING, PAVING, SIDEWALKS): 1.1127 ACRES  
(48,469.21 SQ. FT.)  
BUILDING HEIGHT: 66'  
NUMBER OF STORIES: FOUR

GENERAL NOTES:

1. ENSURE A CLEAR AND LEVEL ACCESSIBLE PATH FROM ALL PUBLIC SIDEWALKS / PUBLIC TRANSPORTATION STOPS WITHIN THE SITE.
2. PROVIDE A CLEAR AND LEVEL ACCESSIBLE PATH FROM EGRESS EXITS TO THE PARKING SURFACE OR LOWEST GROUND LEVEL AT THE TERMINATION

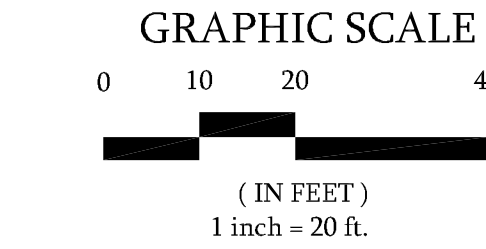


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SITE PLAN SHOWING  
**THE GATEWAY  
BUILDING, LLC**  
CITY OF CHARLES TOWN  
JEFFERSON COUNTY, WEST VIRGINIA

SCALE: 1"=20'



NO.	DATE	BY	DESCRIPTION
7	04-23-09	LDM	PER COMMENTS
6	03-27-09	AFJ	PARKING ADDITIONS
5	03-27-08	CRG	Deed Reference per City CT comments
4	01-15-08	CRG	PER COMMENTS W/DEPT (T. CARR)
2	09-17-07	CBB	PER COMMENTS BY CITY OF CT
1	08-27-07	CRG	REVISED 22' ISLE WIDTH AND 5' BBL

REVISIONS

DRAWN BY	AFJ
APPROVED BY	LDM
CHECKED BY	AFJ
DATE	March 2009

Overall

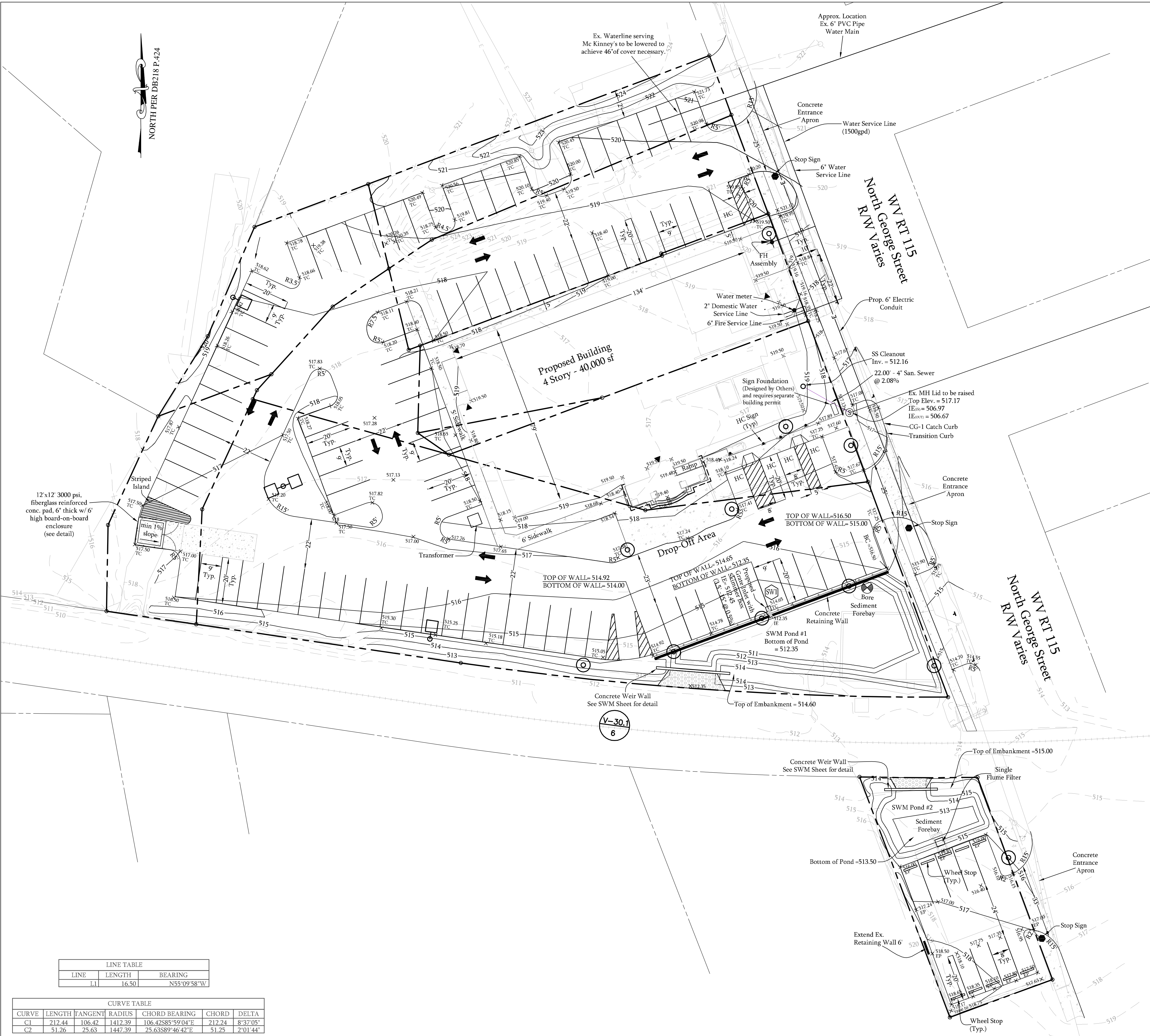
PROJECT NO. 50019902

SITE PLAN REFERENCE

STPL 2009-0003

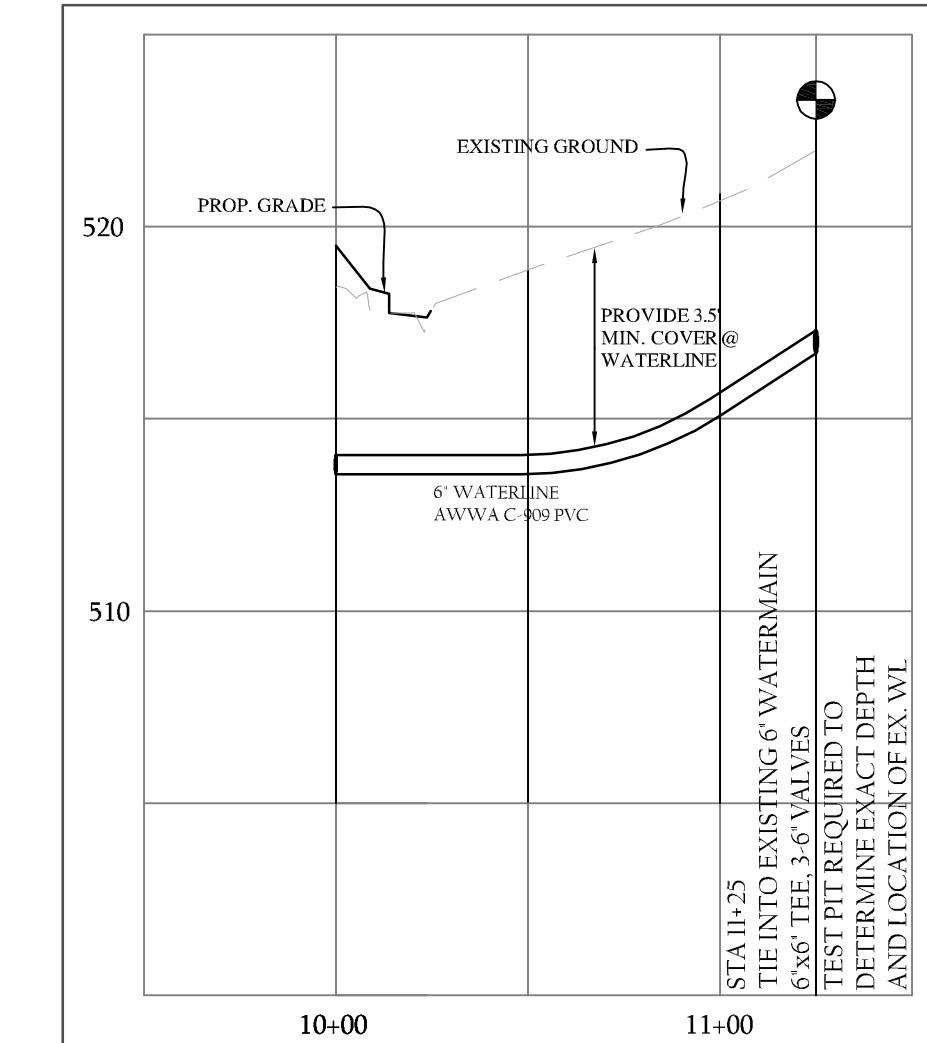
SHEET 2 OF 10






- NOTES:
1. BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE "C" PER F.I.R.M. MAP 54-00065 050C, DATED AUGUST 2, 1993. BASED ON THE ABOVE INFORMATION, NO PORTION OF THIS PROPERTY IS IN A SPECIAL FLOOD HAZARD AREA.
  2. HIGHWAY PERMIT # 5-07-1190 (ENTRANCE 2), 5-07-1191 (ENTRANCE 2), 5-07-1192 (ENTRANCE 3), 5-07-1193 (IMPROVEMENTS TO WV 115).
  3. CONCRETE ARE 24" x 30" REBAR WITH 1.0 CAPS UNLESS NOTED OTHERWISE.
  4. THIS LOT WILL HAVE A STABILIZED CONSTRUCTION ENTRANCE DURING CONSTRUCTION.
  5. THIS BUILDING TO BE SERVED BY WATER & SEWER SYSTEMS.
  6. ELECTRIC AND TELEPHONE SERVICE TO BUILDINGS SHALL BE UNDERGROUND.
  7. CONSTRUCTION BLASTING LIMITED TO BETWEEN THE HOURS OF 8:00 A.M. AND 5:00 P.M.
  8. ROOF DRAINS SHALL DRAIN INTO THE STORM SEWER.
  9. THERE ARE NO KNOWN WETLANDS OR SENSITIVE NATURAL AREAS FOUND ON THIS PROPERTY. ALL DEVELOPMENTS ADJACENT TO A SENSITIVE NATURAL AREA SHALL HAVE A BUFFER OF NATURAL VEGETATION. THE BUFFER SHALL MEET THE CURRENT FEDERAL STANDARDS EXCEPT AS REQUIRED IN THE CITY OF CHARLES TOWN ZONING AND DEVELOPMENT ORDINANCE.
  10. ALL SIGNAGE TO BE IN CONFORMANCE WITH JEFFERSON COUNTY ADDRESSING OFFICE STANDARDS.
  11. TRUCKING ON OR ABOUT THE SITE WILL BE PERMITTED ONLY WITHIN REASONABLE LIMITS. AND THE CONTRACTOR SHALL NOT UNREASONABLY ENCUMBER THE PREMISES WITH HIS EQUIPMENT AND MATERIALS. THE STORAGE SHALL BE CONFINED TO SUCH LIMITS AS MAY BE JOINTLY AGREED BY OWNER AND CONTRACTOR.
  12. THE CONTRACTOR SHALL FURTHER ENFORCE THE ARCHITECT'S INSTRUCTIONS OF SUCH NATURE, INCLUDING PARKING, USE OF ROADS, AND FIRE PREVENTION, WHICH THE OWNER MAY DEEM NECESSARY OR DESIRABLE ON THE OWNER'S PROPERTY.
  13. UTILITIES SHOWN ARE TAKEN FROM SURVEY AND PART FROM RECORDS OF RESPECTIVE UTILITY COMPANIES AND DO NOT NECESSARILY REPRESENT ALL UNDERGROUND UTILITIES ADJACENT TO OR UPON PREMISES SHOWN ON PLAN.
  14. ALL FILL ON THE PROPERTY SHALL BE ADEQUATELY COMPACTED BY ROLLING TO PRODUCE A SURFACE SATISFACTORY FOR THE PROPER INSTALLATION OF BASE COURSE AND PAVING. BEFORE COMMENCING PAVING WORK, THE PAVING CONTRACTOR MUST MAKE CERTAIN THAT THE SURFACES TO BE COVERED ARE IN PROPER CONDITION. SURFACE NOT ACCEPTABLE SHALL BE REPORTED TO THE OWNER IMMEDIATELY. THE APPLICATION OF PAVING MATERIALS SHALL BE IN ACCEPTANCE TO THE SURFACES AND WORKING CONDITIONS OF THE PAVING CONTRACTOR WHO WILL BE HELD RESPONSIBLE FOR THE RESULTS REASONABLE TO BE EXPECTED.
  15. THE PLUMBING CONTRACTOR SHALL VERIFY SEWER DEPTH AND BE RESPONSIBLE FOR PROVIDING ADEQUATE SLOPE OF BUILDING SEWER TOWARD THE CITY SEWER IN STRICT ACCORDANCE WITH THE GOVERNING AUTHORITIES PRIOR TO BUILDING CONSTRUCTION.
  16. THE PLUMBING CONTRACTOR, ELECTRICAL CONTRACTOR, AND HEATING, AIR CONDITIONING, AND VENTILATION CONTRACTOR SHALL BE UNDER THE DIRECTION OF THE GENERAL CONTRACTOR WHO WILL BE HELD RESPONSIBLE FOR THE COORDINATION OF ALL WORK ON THIS PROJECT AND THE PROPER EXECUTION OF THE SAME.
  17. ALL EXTERIOR ILLUMINATED SIGNS ARE PROVIDED AND INSTALLED UNDER A SEPARATE CONTRACT. ELECTRICAL CONTRACTOR SHALL PROVIDE CONDUIT AND WIRE TO SIGN. FINAL CONNECTIONS TO BE MADE BY ELECTRICAL CONTRACTOR.
  18. REMOVE EXISTING TOP SOIL FROM AREAS TO BE PAVED AND REPLACE WITH SUITABLE COMPACTED FILL STOCKPILE FOR FUTURE USE MATERIAL DEEMED USABLE FOR LANDSCAPE BERM OR TOPSOIL.
  19. GENERAL CONTRACTOR SHALL PROVIDE GROUND POISONING FOR TERMITES AND OTHER INSECTS PRIOR TO FINAL CONCRETE FLOOR INSTALLATION. GENERAL CONTRACTOR SHALL SUBMIT TO OWNER WRITTEN GUARANTEE FROM REPUTABLE LOCAL EXTERMINATING COMPANY.
  20. VERIFY EXACT LOCATION OF UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION. REPORT ANY DISCREPANCIES IMMEDIATELY TO OWNER AND CIVIL ENGINEER.
  21. BACKFILL ALL TRENCHES UNDER SLABS, WALKS, AND PAVED AREAS WITH BANK RUN GRAVEL. ALL EXCAVATING AND BACKFILLING IS BY INDIVIDUAL CONTRACTS (PLUMBING, ELECTRICAL, ETC.).
  22. GENERAL CONTRACTOR IS TO REPAIR ALL DISTURBED AREAS OUTSIDE PROPERTY.
  23. CONTRACTOR IS TO ADJUST ANY UTILITY ELEMENT MEANT TO BE FLUSH WITH GRADE (CLEAN OUT MANHOLES, CATCH BASINS, WEIRS, ETC.) THAT IS AFFECTED BY SITE WORK OR GRADE CHANGES, WHETHER SPECIFICALLY NOTED ON PLANS OR NOT.
  24. ALL MATERIALS ON WHICH FOOTINGS REST MUST BE CAPABLE OF SUPPORTING A DESIGN LOAD OF 2000 POUNDS PER SQUARE FOOT.
  25. PLOT PLAN DATA HAS BEEN FURNISHED TO THE ARCHITECT BY THE OWNER. THE SURVEY WAS PREPARED BY DEWBERRY & DAVIS, L.L.C. DATED 11/1/2007.
  26. BUILDING SIGNAGE SHOULD BE ASSUMED ON FRONT AND 2 SIDES, UNLESS OTHERWISE SHOWN.
  27. THERE ARE EXISTING WATER EASEMENTS ON SITE.
  28. THERE ARE NO KNOWN WOODS, WATER COURSES, ROCK OUTCROPS, SINK HOLES, QUARRIES, CULVERT, BRIDGES, OR DRAINS ON THIS PARCEL.
  29. THERE ARE NO EXISTING UTILITIES OTHER THAN THOSE SHOWN EXISTING ON THIS PARCEL.
  30. THERE ARE NO WETLANDS ON THIS PARCEL.
  31. BUILDINGS ARE TO BE SPRINKLERED. THE WATER CONNECTION WILL PROVIDE FOR AN AMOUNT APPROVED BY THE RATING AGENCY (S).
  32. SANITARY (LATERALS TO BUILDING) WILL BE 4" MINIMUM AND WILL HAVE A MINIMUM SLOPE OF 2%.
  33. NO OFF-SITE GRADING PERMITTED EXCEPT FOR THOSE AREAS SHOWN ON THE PLAN.
  34. ALL UTILITIES SHALL BE LOCATED UNDERGROUND.
  35. ANY LIGHTING WILL BE IN COMPLIANCE WITH CITY OF CHARLES TOWN ZONING ORDINANCE AND SHALL BE SHIELDED TO ASSURE THAT GLARE DOES NOT ADVERSELY AFFECT ADJACENT PROPERTIES.
  36. BENCHMARK IS SHOWN WITH AN ELEVATION OF 517.50.

- A. CONSTRUCTION NOTES
1. THE DEVELOPER SHALL REQUEST INSPECTIONS 48 HOURS IN ADVANCE WHENEVER POSSIBLE. (CALL 304-725-2311). INSPECTIONS SHALL BE REQUESTED ACCORDING TO THE CITY OF CHARLES TOWN REGULATIONS.
  2. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO PERFORMING ANY SIGNIFICANT EARTH DISTURBING ACTIVITIES.
  3. EARTHWORK SHALL BE COMPACTED TO THE PERCENTAGES OF MAXIMUM DRY DENSITY (ACCORDING TO AASHTO 1993) AS SHOWN BELOW:  
ROADWAYS -- 98%  
BUILDING PAD -- 100%  
PARKING LOTS FOR PASSENGER VEHICLES -- 95%  
PARKING LOTS FOR HEAVY TRUCKS -- 98%  
UTILITY TRENCHES -- 98%  
COMPACTION OF SUBGRADES SHALL BE CERTIFIED BY A PROFESSIONAL ENGINEER OR TECHNICIAN CERTIFIED BY THE WDOH OR A PROFESSIONAL INSTITUTE ACCEPTABLE TO THE CITY ENGINEER, AS MEETING THE ABOVE STANDARD.
  4. CHANGES OR REVISIONS IN CONSTRUCTION PLANS AND SPECIFICATIONS SHALL NOT BE MADE UNLESS FIRST APPROVED BY THE CITY ENGINEER AND OTHER APPROPRIATE AGENCIES.
  5. TRAFFIC CONTROL SIGNS SHALL COMPLY WITH THE STANDARDS OF THE WEST VIRGINIA DEPARTMENT OF HIGHWAYS.
  6. ALL STREET SIGNS SHALL COMPLY WITH JEFFERSON COUNTY ADDRESSING OFFICE STANDARDS.
- D. ROAD NOTES
1. SUBGRADES ON CUT SHALL BE COMPACTED FOR A MINIMUM OF ONE (1) FOOT IN DEPTH TO 98% AASHTO 1993. SUBGRADES IN FILL SHALL MEET COMPACTION STANDARDS AT ALL LEVELS.
  2. GRAVEL USED IN BASE COURSES AND SURFACING SHALL BE CONSTRUCTED ON A COMPACTED SUBGRADE FREE OF ORGANIC MATTER. GRAVEL SHALL BE A WELL-GRADED CRUSHED STONE AGGREGATE SUCH AS 4 INCH CRUSHER RUN WHICH SHALL BE PLACED AND ROLLED IN A MOIST CONDITION SO THAT FINES REMAIN MIXED WITH THE MORE COARSE MATERIAL. MINIMUM COMPACTION TO BE 98% OF MAXIMUM DRY DENSITY IN ACCORDANCE WITH AASHTO 1993. EXTEND STONE BASE TO DAYLIGHT OR DITCH LINE TO ALLOW FOR STONE BASE DRAINAGE.
  3. ASPHALT COURSES, WHERE APPLICABLE, SHALL BE APPLIED TO THE PREPARED GRAVEL SURFACE. FOLLOWING THE APPLICATION OF A LIQUID ASPHALT PRIME COAT, ASPHALT SHALL CONSIST OF A FLAT MIXED BITUMINOUS MATERIAL ROLLED SMOOTH. THE ASPHALT SURFACE SHALL BE SMOOTH, SEAMLESS, AND OF A UNIFORM TEXTURE. ASPHALT MATERIAL SHALL COMPLY WITH THE MINIMUM SPECIFICATIONS REQUIRED BY THE WEST VIRGINIA DEPARTMENT OF HIGHWAYS FOR PUBLIC ROADS.
- E. WATER & SEWER NOTES
1. EASEMENTS ARE PROPOSED FOR THE APPROPRIATE PSD FOR THE PURPOSE OF CONSTRUCTING WATER AND/OR SEWER LINES AND FACILITIES.
  2. INSTALLATION OF WATER LINES AND SEWER LINES SHALL BE IN ACCORDANCE WITH THE WV DEPARTMENT OF HEALTH & THE APPROPRIATE PUBLIC UTILITY.
  3. WATER AND SEWER LINES SHALL BE PLACED IN TRENCHES ON A BEDDING MATERIAL SUITABLE TO PREVENT RUPTURE AS DETERMINED BY THE ENGINEER.
  4. TRENCHES REQUIRED FOR WATER AND SEWER LINES MUST BE BACK FILLED WITH MATERIAL SUITABLE TO THE ENGINEER AND COMPACTED TO A UNIFORM RATING OF 98% OF MAXIMUM DRY DENSITY.
  5. WATER & SEWER LINES TO HAVE MIN. 1.0' OF TRENCH SEPARATION AND 1.5' MIN. VERTICAL SEPARATION AT CROSSING.
  6. ALL LATERALS TO BE INSTALLED BEFORE PAVING.
  7. FIRE HYDRANT SPECIFICATIONS AND THREADS ARE TO BE COMPATIBLE WITH CITY FIRE DEPARTMENT REQUIREMENTS.



**Dewberry**

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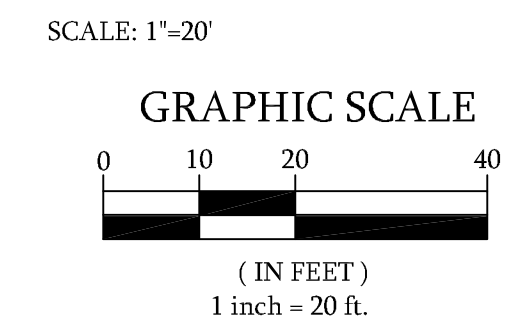
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4	01-15-08	CRG	PER COMMENTS WV DEP (T. CARR)
1	9-17-07	CBB	PER COMMENTS BY CITY OF CT
NO.	DATE	BY	DESCRIPTION
REVISIONS			

DRAWN BY AFJ

APPROVED BY LDM

CHECKED BY AFJ

DATE March 2009

Plan





E&S Legend

- Stabilized Construction Entrance
- Silt Fence
- Inlet Protection
- Limits of Clearing and Grading

SEQUENCE OF CONSTRUCTION

1. INSTALL STABILIZED CONSTRUCTION ENTRANCE AND ALL PERIMETER EROSION AND SEDIMENT CONTROL DEVICES PRIOR TO ANY OTHER LAND DISTURBING ACTIVITY. (1 week)
2. CONSTRUCT STORM WATER MANAGEMENT POND 1 TO SERVE AS TEMPORARY SEDIMENT BASIN. (1 week)
3. CONSTRUCT STORM WATER MANAGEMENT POND 2 TO SERVE AS TEMPORARY SEDIMENT BASIN REPLACING THE WEIR WALL FOR A RIPRAP OUTLET SEDIMENT TRAP AS PER DETAIL PROVIDED. (1 week)
4. CLEAR REMAINING OF SITE INSIDE THE LIMITS OF CLEARING AND GRADING. (1 week)
5. CONSTRUCT COMPACTED SUBGRADE. (1 week)
6. CONSTRUCT WATER LINES AND SANITARY SEWER LINES. (1 week)
7. CONSTRUCT STORM SEWER WITH INLET PROTECTION. (1 week)
8. CONSTRUCT TRAVEL WAY AND PARKING AREAS. (2 weeks)
9. STABILIZE AREAS SURROUNDING TRAVEL WAY AND PARKING AREAS. (1 week)
10. CONSTRUCT BUILDING AND STABILIZE THE SURROUNDING AREAS. (20 weeks)
11. STABILIZE ALL REMAINING AREAS. (1 week)
12. MUCK OUT SEDIMENT BASIN ON BOTH PONDS; REMOVE E&S STANDPIPE FROM POND 1; REMOVE RIPRAP OUTLET SEDIMENT TRAP FROM POND 2; CONSTRUCT WEIR WALL PER DESIGN; INSTALL EXTENDED DETENTION DEVICES PER DESIGN AND CONVERT TO PERMANENT STORM WATER MANAGEMENT. (1 week)

SEDIMENT CONTROL NOTES

1. EROSION AND SEDIMENT CONTROL DEVICES TO BE IN PLACE PRIOR TO ANY CONSTRUCTION. MINIMIZE EXPOSURE OF DISTURBED SOIL.
2. ALL STOCK PILES ON SITE DURING CONSTRUCTION SHALL BE SURROUNDED BY SILT FENCE TO PROVIDE EROSION AND SEDIMENT CONTROL.
3. DURING CONSTRUCTION, ALL SEDIMENT TRAPPING STRUCTURES MUST BE INSPECTED EVERY SEVEN DAYS AND AFTER 0.3" OR GREATER OF PRECIPITATION, AND REPAIRED, IF NECESSARY. SEDIMENT TO BE REMOVED TO A SUITABLE DISPOSAL AREA AND STABILIZED WITH PERMANENT VEGETATION COVER.
4. TO KEEP EROSION AND SEDIMENTATION TO A MINIMUM, DISTURB AS LITTLE EARTH AS POSSIBLE DURING ALL PHASES OF CONSTRUCTION.
5. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL SEDIMENT AND EROSION CONTROL MEASURES UNTIL DISTURBED AREAS ARE STABILIZED.
6. AFTER FINE GRADING, ALL DISTURBED AREAS ARE TO BE PERMANENTLY MULCHED AND SEEDED.
7. NO SLOPE SHALL BE GREATER THAN 2:1.
8. ALL EXPOSED AREAS TO BE COVERED WITHIN WEEK OF FINAL GRADING. SEED SLOPES OF 3:1 OR STEEPER WITH KY BLUEGRASS. SEED WITH A MIX OF 35 POUNDS OF KENTUCKY 31 FESCUE AND 15 POUNDS PERENNIAL RYEGRASS PER ACRE. LIME WITH 1 TON OF GROUND LIMESTONE PER ACRE. FERTILIZE WITH 1000 OF 10-10-10 PER ACRE.
9. EXCEPT AS NOTED BELOW, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 7 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.
  - A.) WHERE THE INITIATION OF STABILIZATION MEASURES BY THE 7TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY OR PERMANENTLY CEASES IS PRECLUDED BY SNOW COVER, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS CONDITIONS ALLOW.
  - B.) WHERE CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN 21 DAYS FROM WHEN ACTIVITIES CEASED, (E.G. THE TOTAL PERIOD THAT CONSTRUCTION ACTIVITIES HAVE TEMPORARILY CEASED.

SWM POND LOW MAINTENANCE SEED MIX

- |                     |           |
|---------------------|-----------|
| CANADIAN BLUE GRASS | 20 LB/AC. |
| ATILLA HARD FESCUE  | 15 LB/AC. |
| KY. BLUE GRASS      | 10 LB/AC. |
| BIRDSFOOT TREFOIL   | 5 LB/AC.  |
| NE WILDLOWER MIX    | 6 LB/AC.  |

FERTILIZER SHALL BE APPLIED AT THE RATE OF 1000 LBS/AC. USING 10-10-10 OR EQUIVALENT. ACID SOILS SHALL BE LIMED. MULCH SHALL BE APPLIED IMMEDIATELY AFTER SEEDING. MULCH MATERIALS AND APPLICATIONS SHALL CONFORM TO THE STANDARDS SPECIFICATIONS.

MULCHING: MULCH ALL AREAS FOR TEMPORARY EROSION CONTROL AND MOISTURE RETENTION. MULCH MAY BE STRAW OR HAY, WOOD FIBER, OR MULCH NETTING. APPLY STRAW OR WOOD-FREE HAY AT TWO TONS PER ACRE (400 POUNDS PER 1,000 SQUARE FEET). APPLY WOOD FIBER AT 1,000 TO 2,000 POUNDS PER ACRE (25 TO 50 POUNDS PER 1,000 SQUARE FEET). APPLY MULCH NETTING ACCORDINGLY TO MANUFACTURER'S RECOMMENDATIONS.

TEMPORARY AND PERMANENT SEEDING SPECIFICATIONS: ALL EXPOSED AREAS TO BE COVERED WITHIN WEEK OF FINAL GRADING. SEED SLOPES OF 3:1 OR STEEPER WITH KENTUCKY BLUEGRASS. SEED WITH A MIX OF 35 POUNDS OF KENTUCKY 31 FESCUE AND 15 POUNDS PERENNIAL RYE GRASS PER ACRE. FERTILIZE WITH 1000 LBS. OF 10-10-10 PER ACRE. INSTALL STRAW BALES AT COMPLETION OF ROUGH GRADING, TO REMAIN IN PLACE UNTIL STABILIZATION OF GROUND IS EVIDENCED.

10. STABILIZATION WILL BE CONSIDERED ADEQUATE WHEN THE FOLLOWING CONDITIONS HAVE BEEN MET:
  - A. WATER COURSES, STREAM BANKS, AND DRAINAGE EASEMENTS ARE 100% STABLE AND FREE OF EROSION AND SEDIMENTATION.
  - B. SLOPES STEEPER THAN 10% SHALL HAVE AT LEAST 98% STABLE GROUND COVER.
  - C. ALL AREAS SHALL HAVE AT LEAST 85% STABLE GROUND COVER.
  - D. GRASS VEGETATION SHALL HAVE REACHED A MINIMUM OF 3" TALL OR BEEN MOWED BACK TO A MINIMUM OF 2" TALL.
  - E. VEGETATION COVERS OTHER THAN GRASSES SHALL HAVE SURVIVED ONE WINTER.
11. FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN SEVEN (7) CALENDAR DAYS.
12. TOPSOIL STOCK PILES SHALL HAVE SILT FENCE PLACED AROUND THE DOWNHILL SIDE OF THE STOCKPILE.



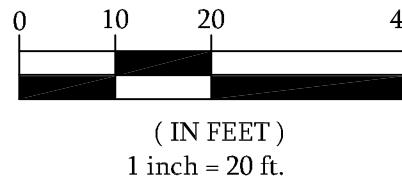
Dewberry & Davis, LLC  
401 S. FAIRFAX BOULEVARD, SUITE 3  
RANSON, WV 25438-1611  
PHONE: 304.725.4572  
FAX: 304.725.6896  
WWW.DEWBERRY.COM

Owned By:  
MSA, Inc.

SITE PLAN SHOWING  
THE GATEWAY  
BUILDING, LLC  
CITY OF CHARLES TOWN  
JEFFERSON COUNTY, WEST VIRGINIA

SCALE: 1"=20'

GRAPHIC SCALE



7	04-23-09	LDM	PER COMMENTS
6	03-27-09	AFJ	PARKING ADDITIONS
1	9-17-07	CBB	PER COMMENTS BY CITY OF CT
NO.	DATE	BY	DESCRIPTION
REVISIONS			

DRAWN BY AFJ

APPROVED BY LDM

CHECKED BY AFJ

DATE March 2009

E&S

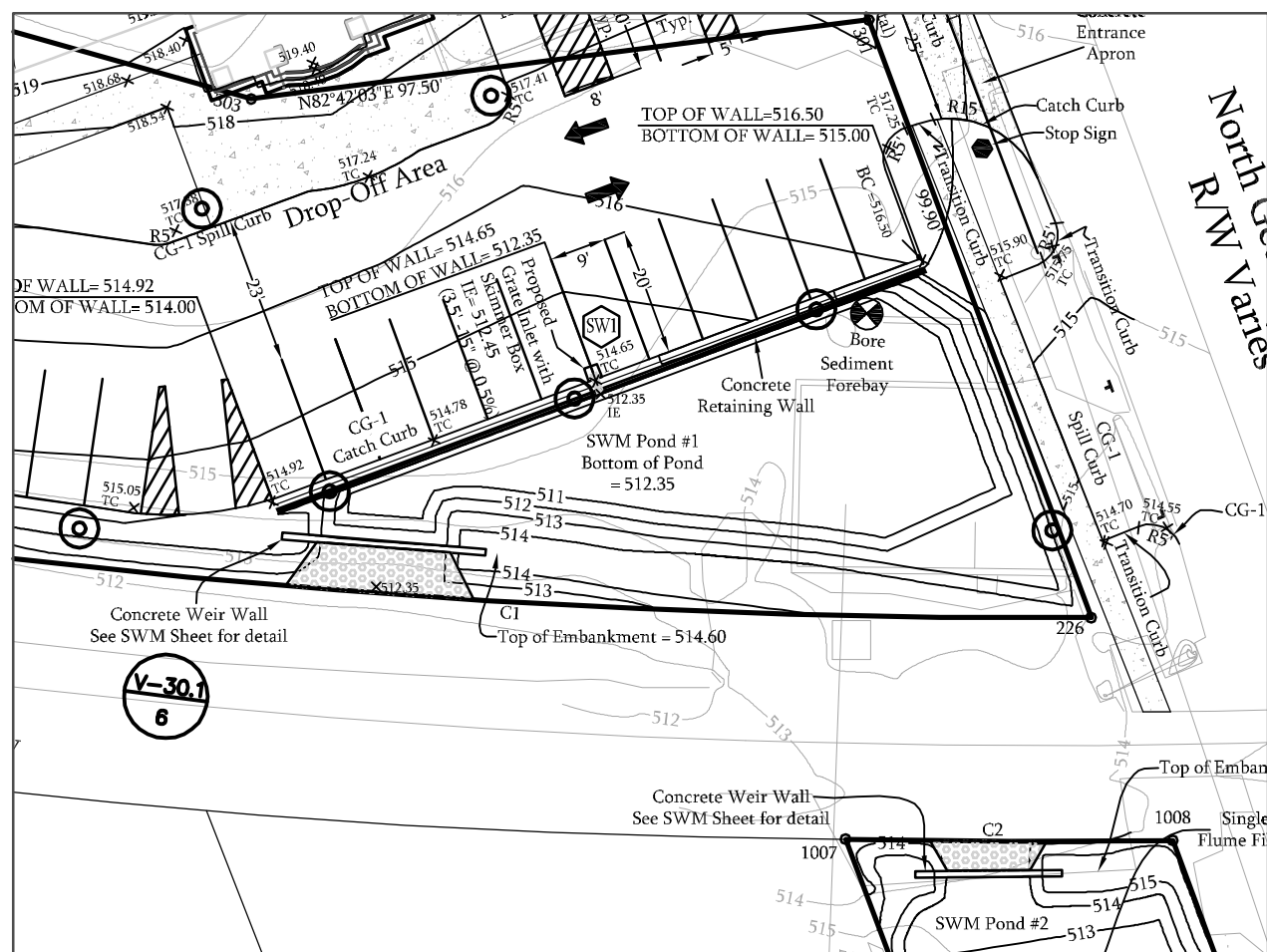
PROJECT NO. 50019902

SITE PLAN REFERENCE

STPL 2009-0003

SHEET 4 OF 10





SWM POND 1  
SCALE 1" = 30'

SEDIMENT FOREBAY COMPUTATIONS  
IMPERVIOUS AREA= 1.05 ACRES

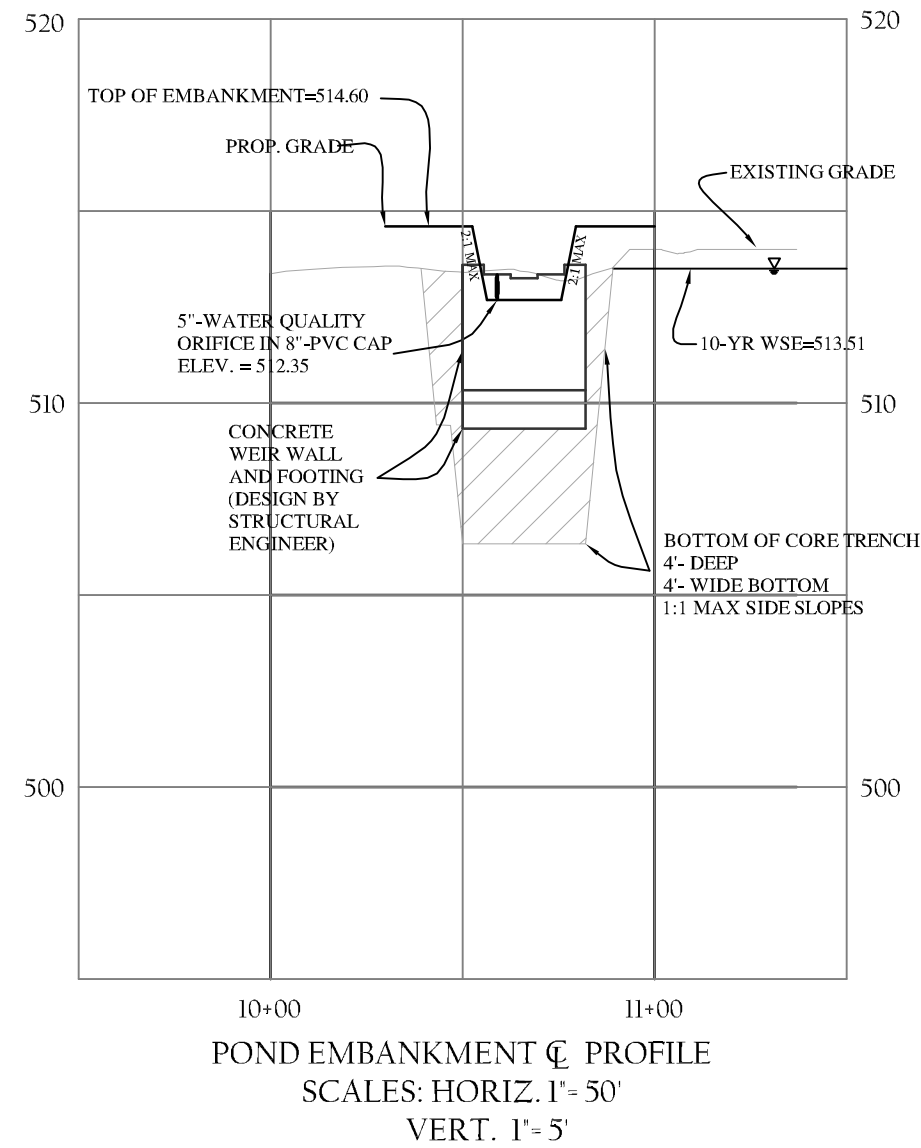
REQUIRED STORAGE IN FOREBAY=  
0.1 INCHES PER IMPERV. ACRE=  
382 CF OF STORAGE REQUIRED

2850 CF OF STORAGE PROVIDED

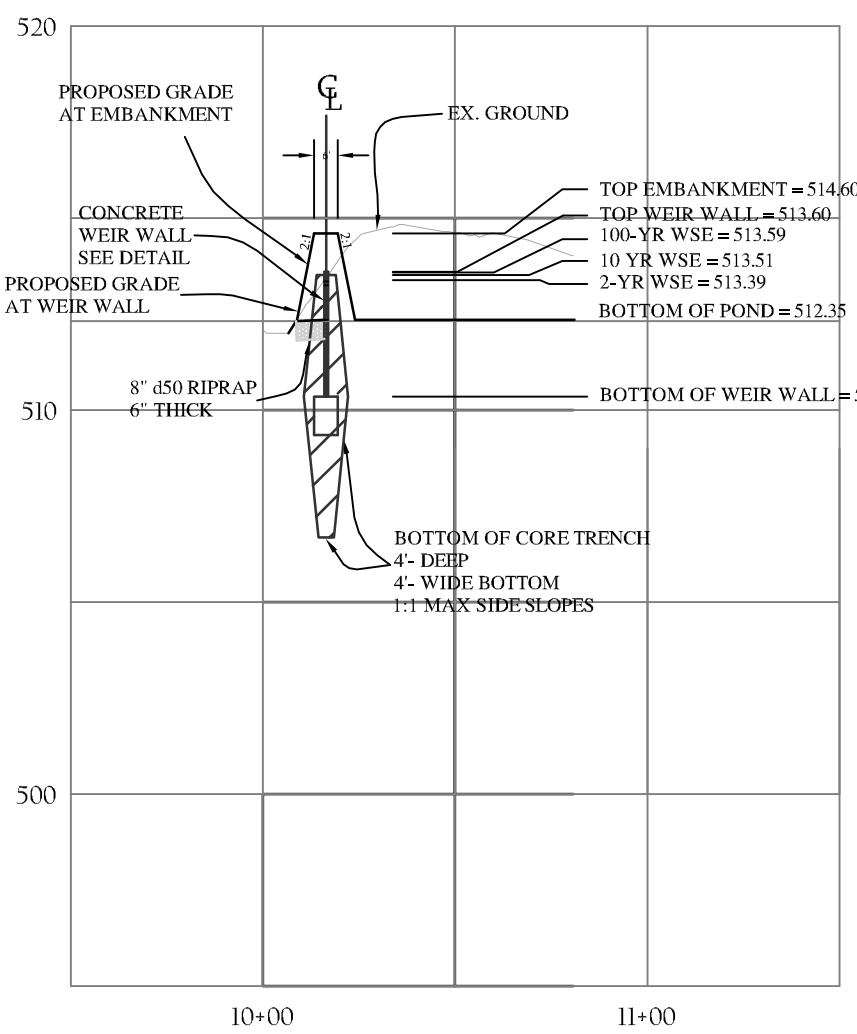
Sediment Forebays for Pond Storage Volumes						
Elevation	Area	Avg Area	Depth	Inc. Vol.	Total Vol.	Total Vol.
sft	sft	sft	ft	cft.	cft	ac. ft.
511.00	1910			0	0.000	
511.35	2013	1961	0.35	686	686	0.016
512.35	2314	2163	1.00	2163	2850	0.065

THE SEDIMENT FOREBAY WILL BE LINED  
WITH BEND TARP PPL-24.

NORTH PER DB218 P.424



POND EMBANKMENT & PROFILE  
SCALES: HORIZ. 1" = 50'  
VERT. 1" = 5'



POND PROFILE THRU PRINCIPAL SPILLWAY  
SCALES: HORIZ. 1" = 50'  
VERT. 1" = 5'

SEDIMENT BASIN COMPUTATIONS

ON-SITE AREA= 1.59 ACS.  
1.59 ACS. x 3600 CF/AC. = 5,724 CF  
OCCURS AT ELEVATION 513.36

1.59 ACS. x 1800 CF/AC. "WET" STORAGE = 2,862 CF  
OCCURS AT ELEVATION 512.33

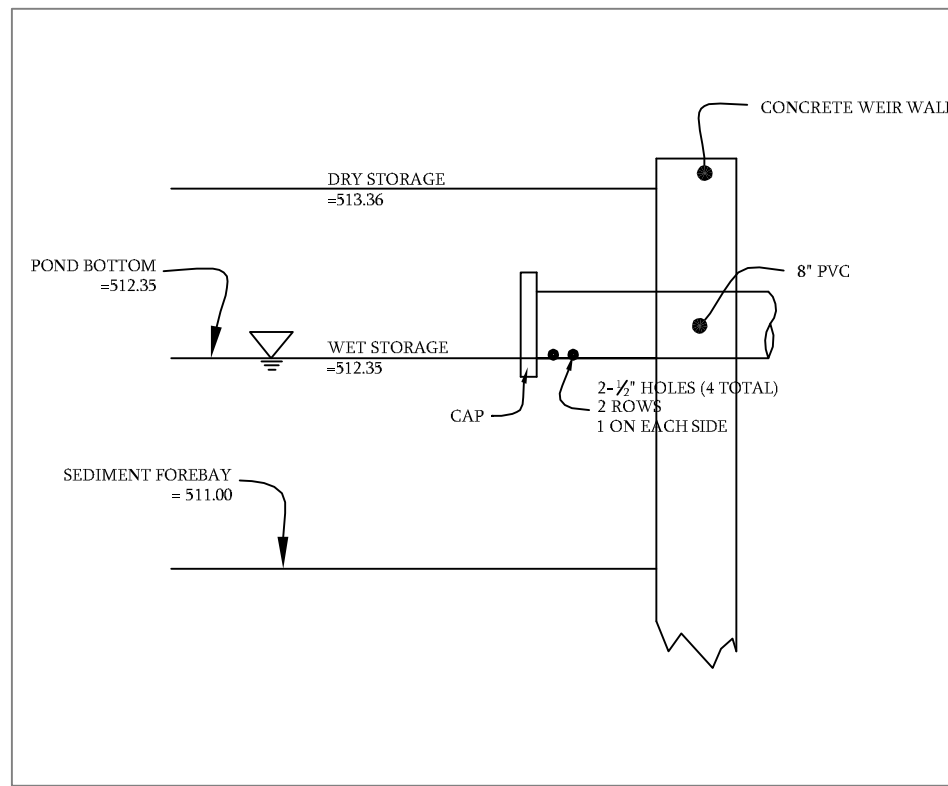
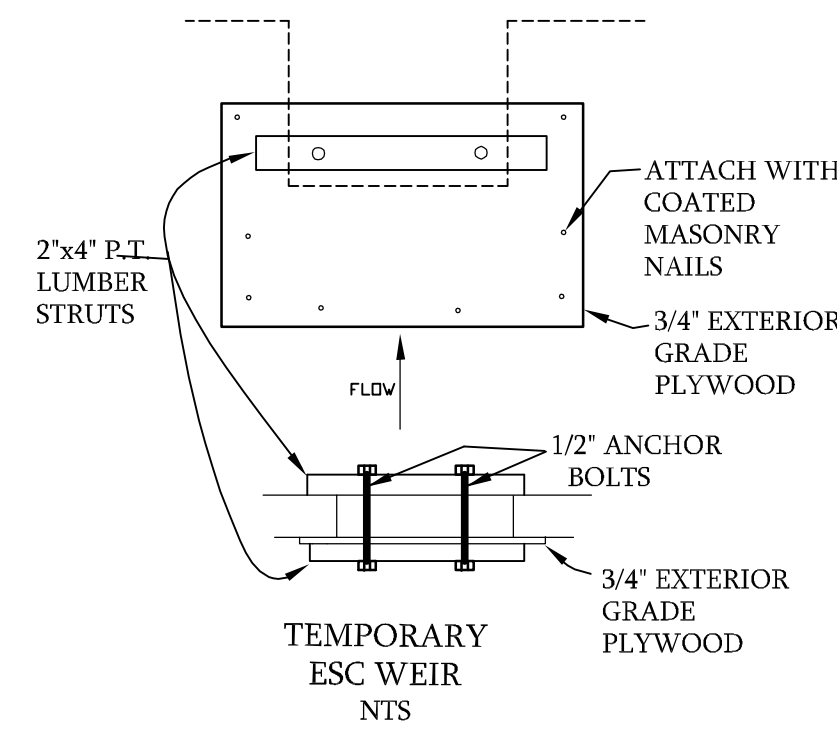
DRAW DOWN TIME  
H AVE = 1.01'  
4-1/2"-DIA HOLES  
A=0.0014 SQ.FT.  
Q AVE=0.6(0.0014)√64.4 (1.03) = 0.0068 CFS  
0.0068\*4=0.0274 CFS= 98.64 CF/HOUR

5,724 CF/98.64 CFH = 60 HOURS

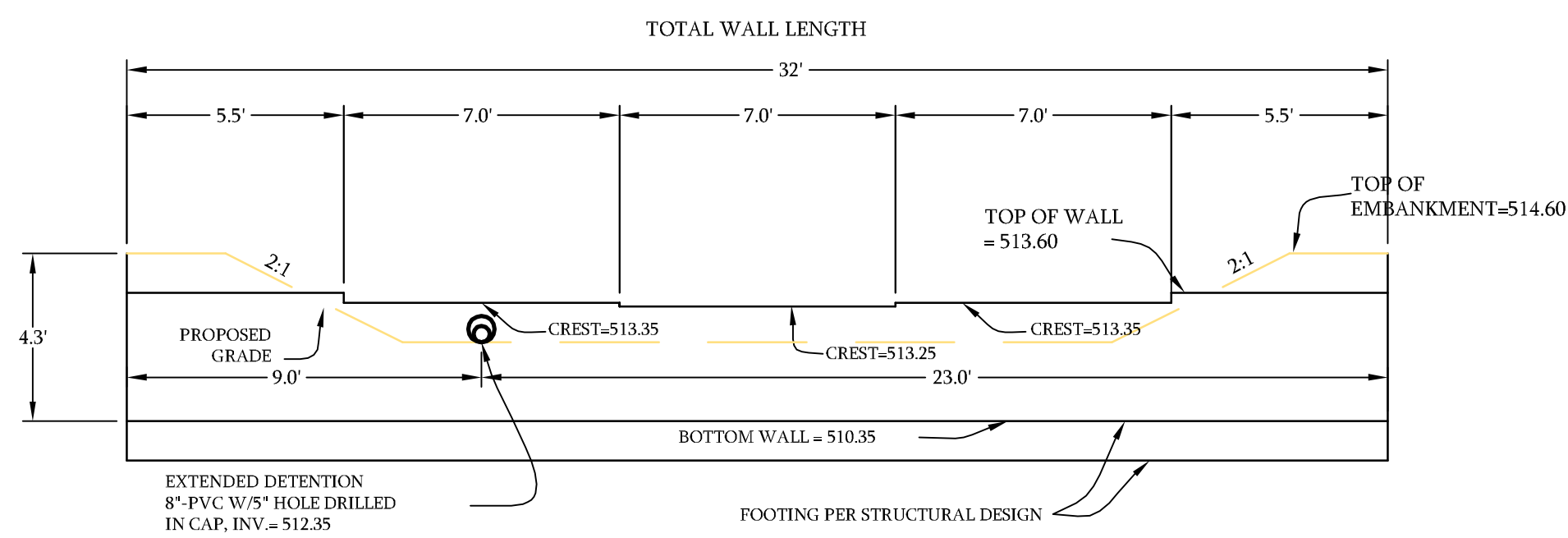
NOTES:

DURING CONSTRUCTION, WHILE IN USE AS TEMPORARY SEDIMENT BASIN, LOW FLOW PIPE WILL EXTEND OUT HORIZONTALLY 9 INCHES TO ACT AS A STAND PIPE IN WHICH 1/2" HOLES WILL BE DRILLED IN ORDER TO DRAIN THE WATER. THE WEIR OPENINGS ON THE WEIR WALL WILL BE COVERED WITH 1/2" PLYWOOD (AS SHOWN).

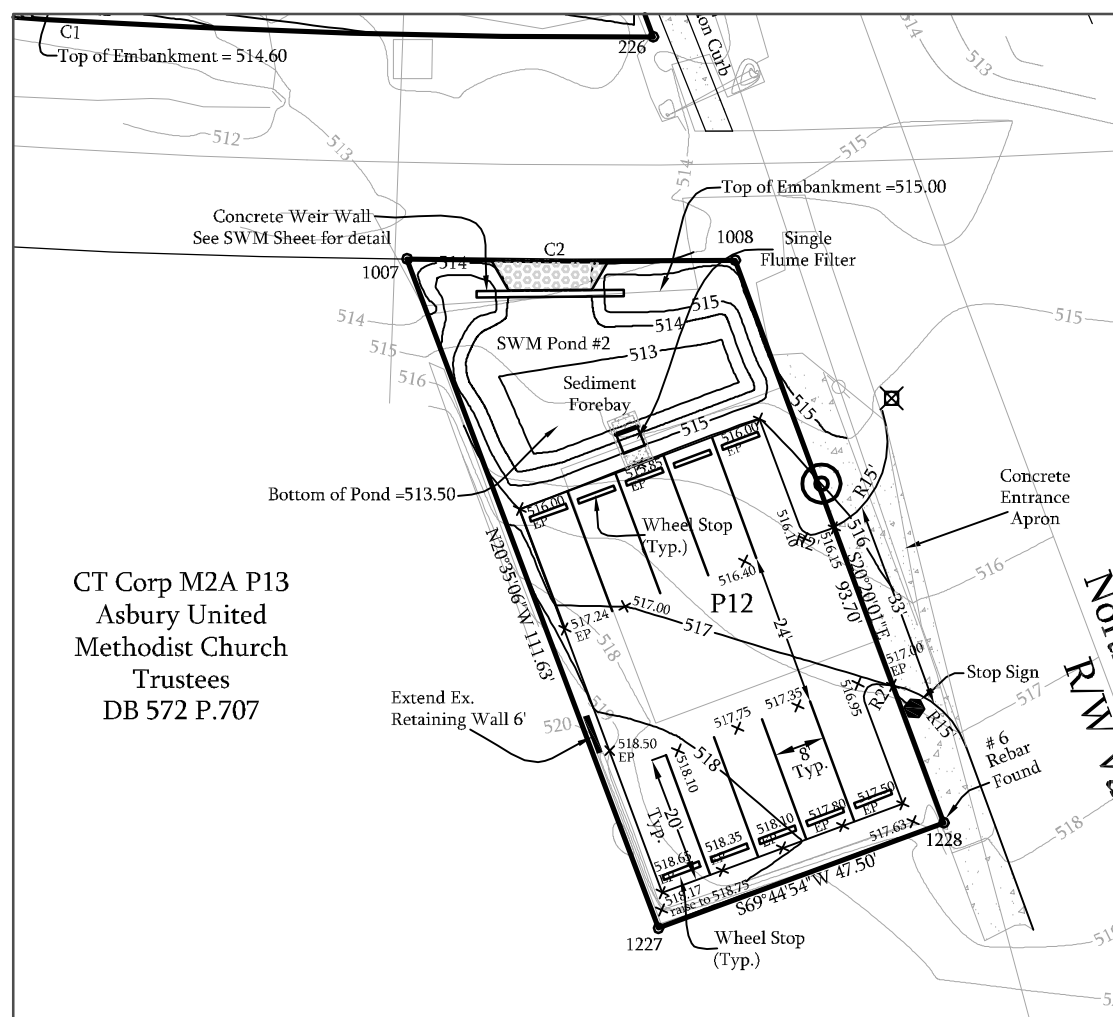
USE OF WEIR WALL FOR TEMPORARY SEDIMENT BASIN REQUIRES DRILLING PILOT HOLES INTO WEIR WALL FOR MASONRY NAILS. UPON CONVERSION OF TEMPORARY SEDIMENT BASIN TO PERMANENT STORMWATER MANAGEMENT FACILITY, GROUT OR FILL WITH APPROVED MATERIAL, ANY HOLES RESULTING FROM THE USE OF MASONRY NAILS. ALSO, UPON CONVERSION TO PERMANENT SWM, THE STAND PIPE WILL BE CUT AT LEAST 3 INCHES FORM THE WEIR WALL. THE CAP WILL BE PUT ON THE END OF THE PVC PIPE AND THE 5" ORIFICE HOLE WILL BE DRILLED INTO THE CAP.



TEMPORARY SEDIMENT BASIN  
DEWATERING STAND PIPE  
NTS



POND WEIR WALL DETAIL  
SCALE - 1" = 4'



SWM POND 2  
SCALE 1" = 30'

SEDIMENT FOREBAY COMPUTATIONS  
IMPERVIOUS AREA= .11 ACRES

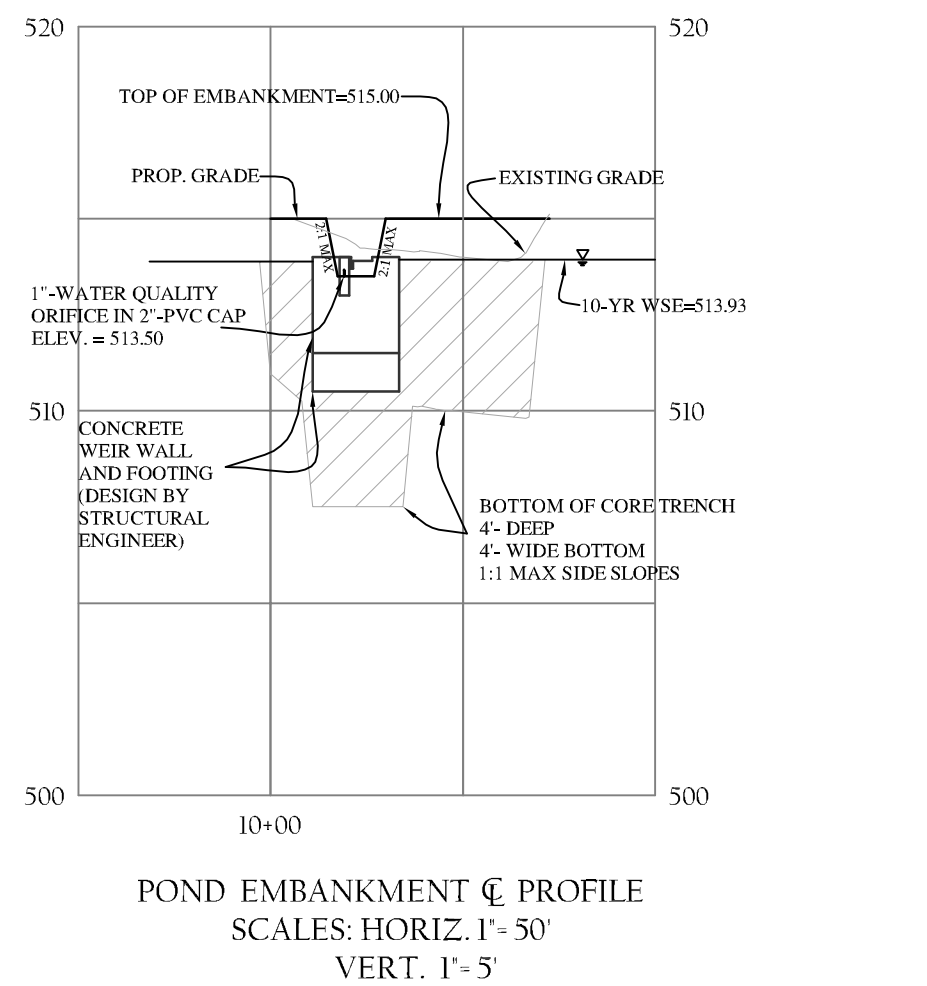
REQUIRED STORAGE IN FOREBAY=  
0.1 INCHES PER IMPERV. ACRE=  
39.93 CF OF STORAGE REQUIRED

201 CF OF STORAGE PROVIDED

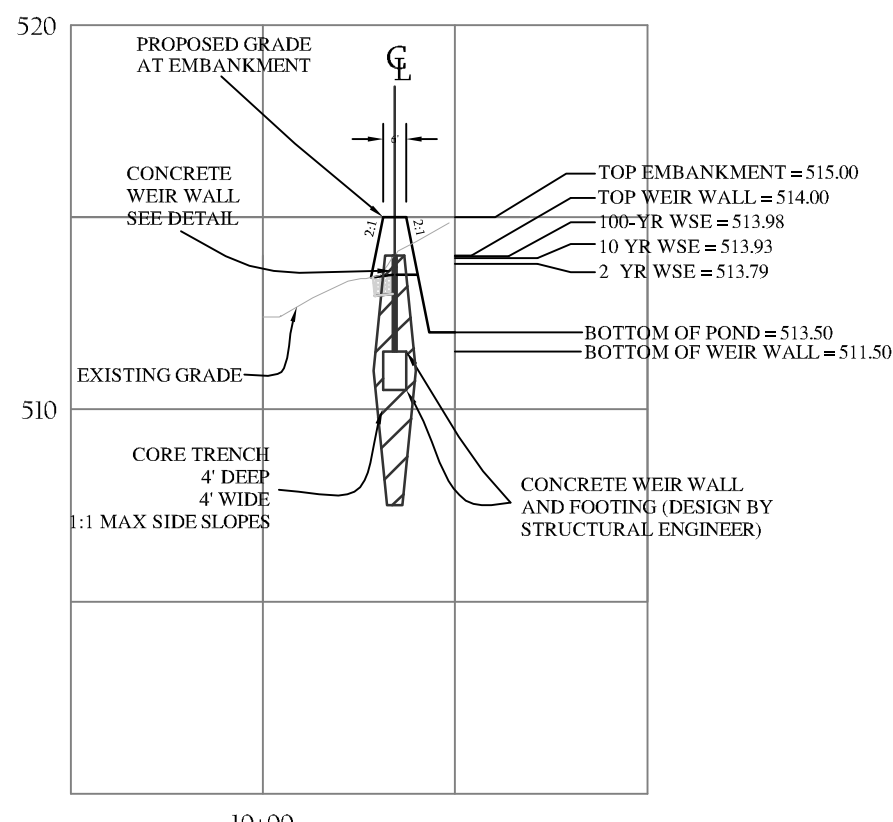
Sediment Forebays for Pond Storage Volumes						
Elevation	Area	Avg Area	Depth	Inc. Vol.	Total Vol.	Total Vol.
sft	sft	sft	ft	cft.	cft	ac. ft.
513.00	355			0	0.000	
513.50	448	402	0.50	201	201	0.005

THE SEDIMENT FOREBAY WILL BE LINED  
WITH BEND TARP PPL-24.

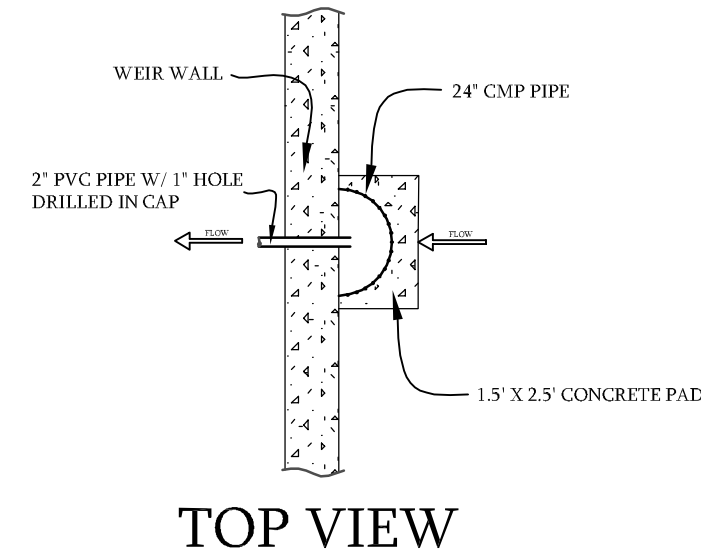
NORTH PER DB218 P.424



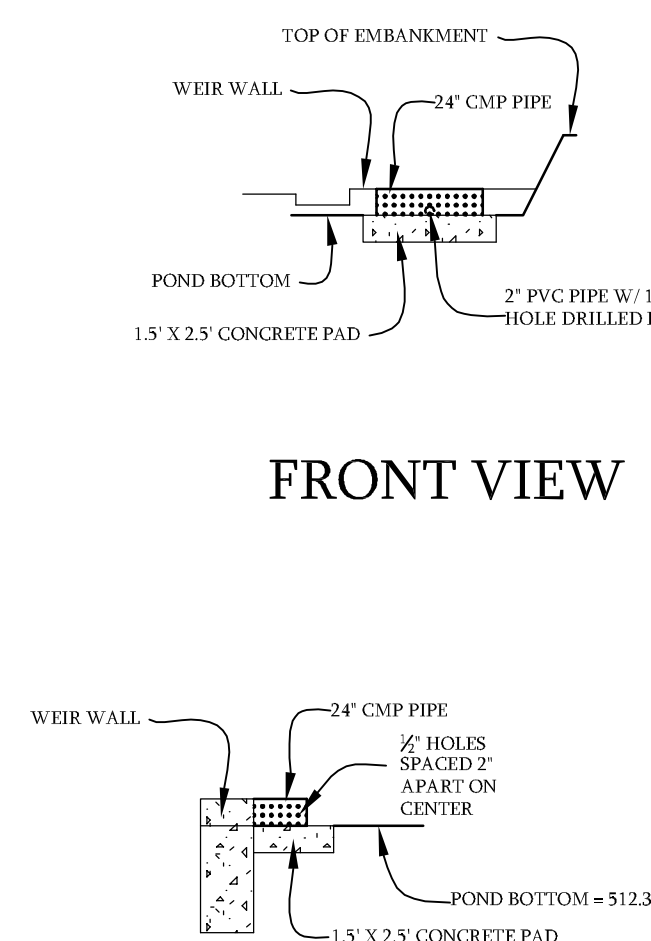
POND EMBANKMENT & PROFILE  
SCALES: HORIZ. 1" = 50'  
VERT. 1" = 5'



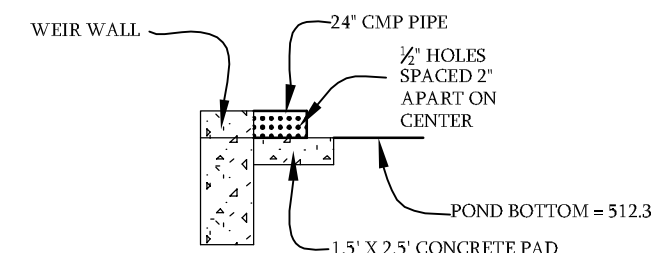
POND PROFILE THRU PRINCIPAL SPILLWAY  
SCALES: HORIZ. 1" = 50'  
VERT. 1" = 5'



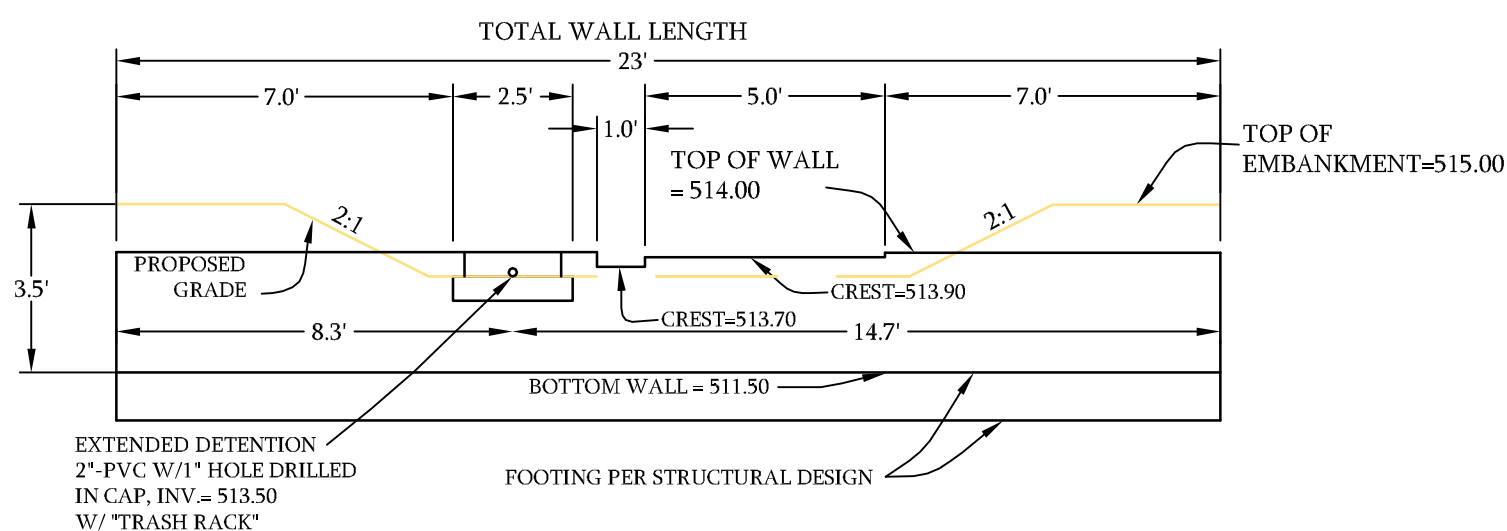
Trash Rack Detail  
NTS



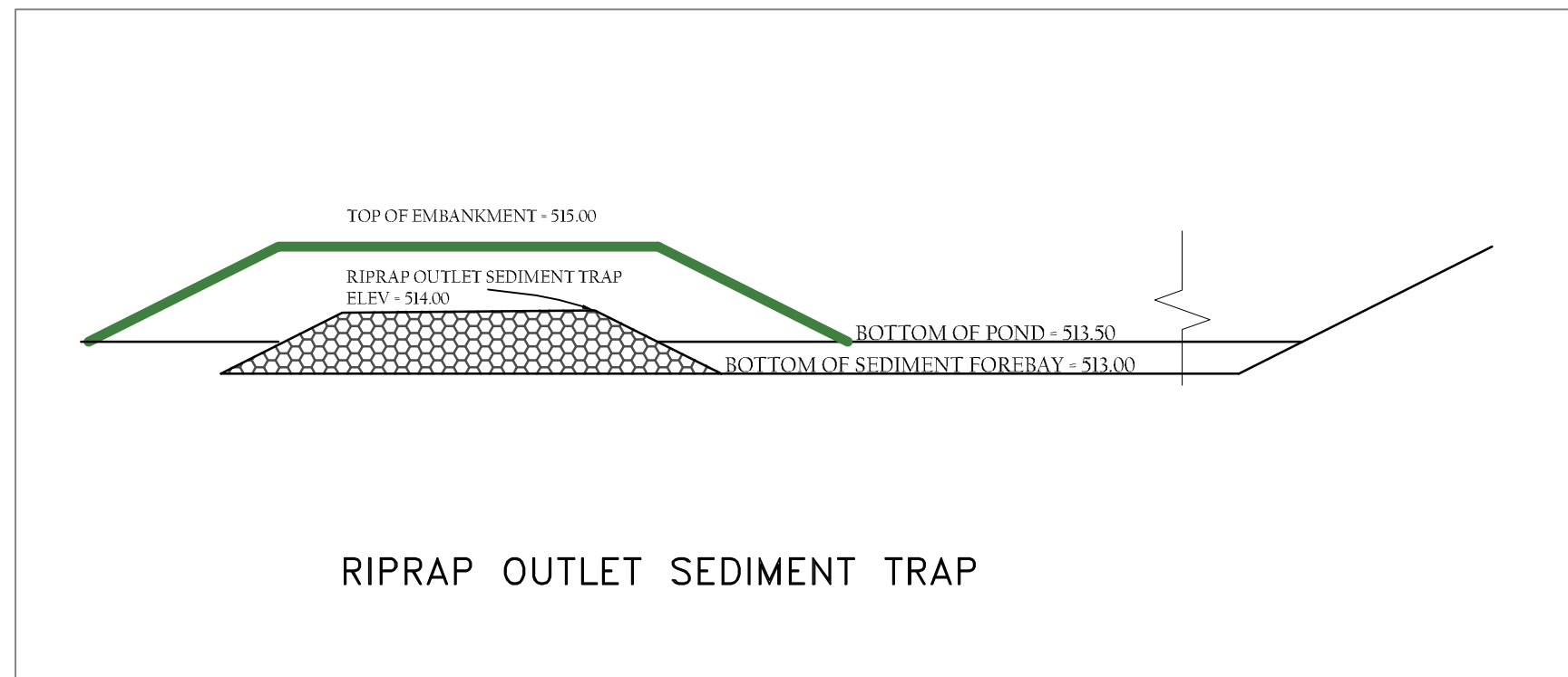
FRONT VIEW



SIDE VIEW



POND WEIR WALL DETAIL  
SCALE - 1" = 4'



RIPRAP OUTLET SEDIMENT TRAP

NOTES:

DURING CONSTRUCTION, WHILE IN USE AS TEMPORARY SEDIMENT BASIN, INSTALL RIPRAP OUTLET SEDIMENT TRAP.

UPON CONVERSION OF TEMPORARY SEDIMENT BASIN TO PERMANENT STORMWATER MANAGEMENT FACILITY, REMOVE RIPRAP OUTLET SEDIMENT TRAP. CONSTRUCT WEIR WALL PER DESIGN. INSTALL EXTENDED DETENTION DEVICES INCLUDING THE 24" CMP PERFORATED PIPE CUT IN HALF TO WORK AS A TRASH RACK, PER DETAIL PROVIDED.

NO.	DATE	BY	DESCRIPTION
7	04-23-09	LDM	PER COMMENTS
6	03-27-09	AFJ	PARKING ADDITIONS
4	01-15-08	CRG	PER COMMENTS W/DEP (T. CARR)
1	9-17-07	CBB	PER COMMENTS BY CITY OF CT
REVISIONS			

DRAWN BY	AFJ
APPROVED BY	LDM
CHECKED BY	AFJ
DATE	March 2009

SWM/ESC PROFILES  
DETAILS  
NOTES

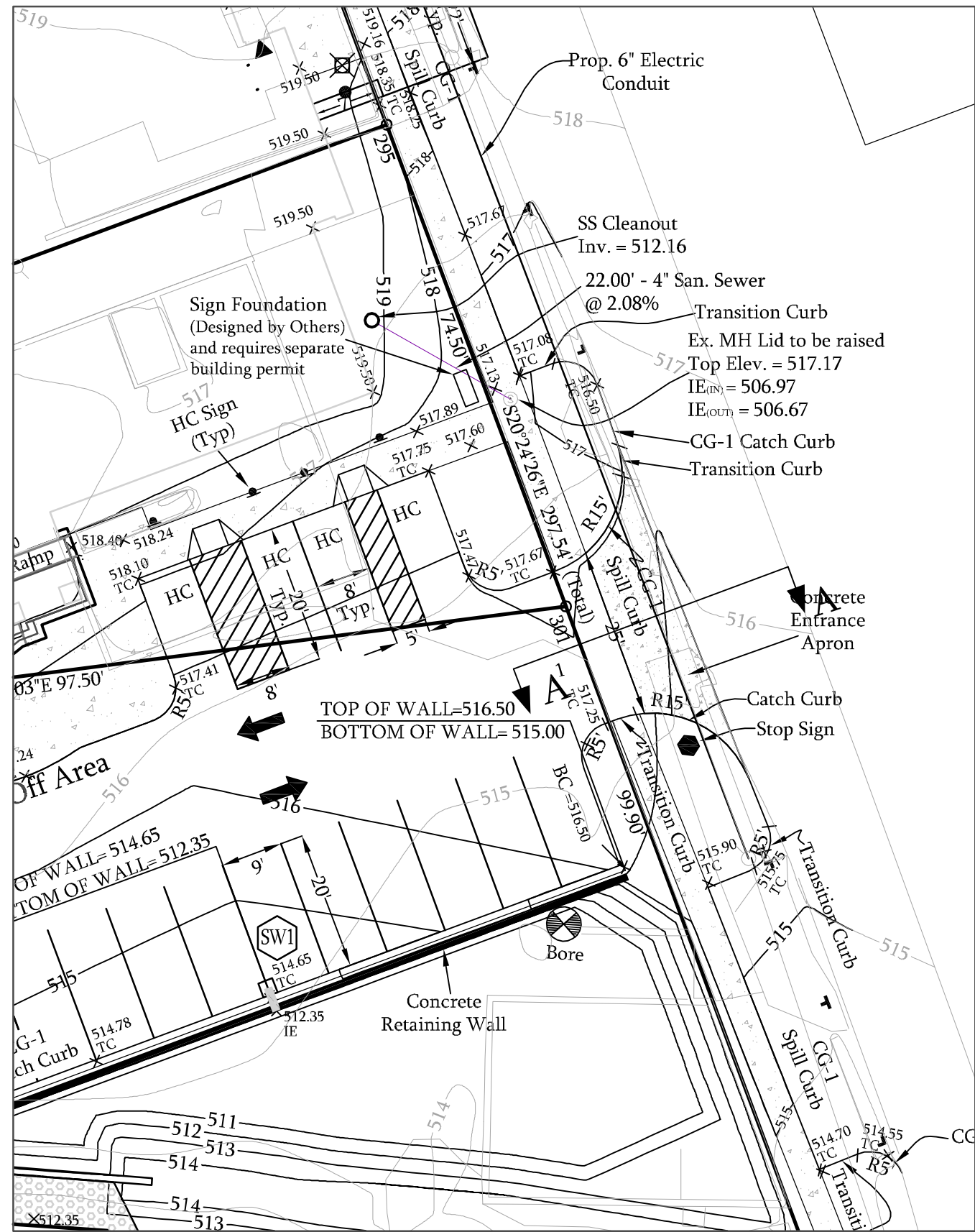
PROJECT NO. 50019902

SITE PLAN REFERENCE

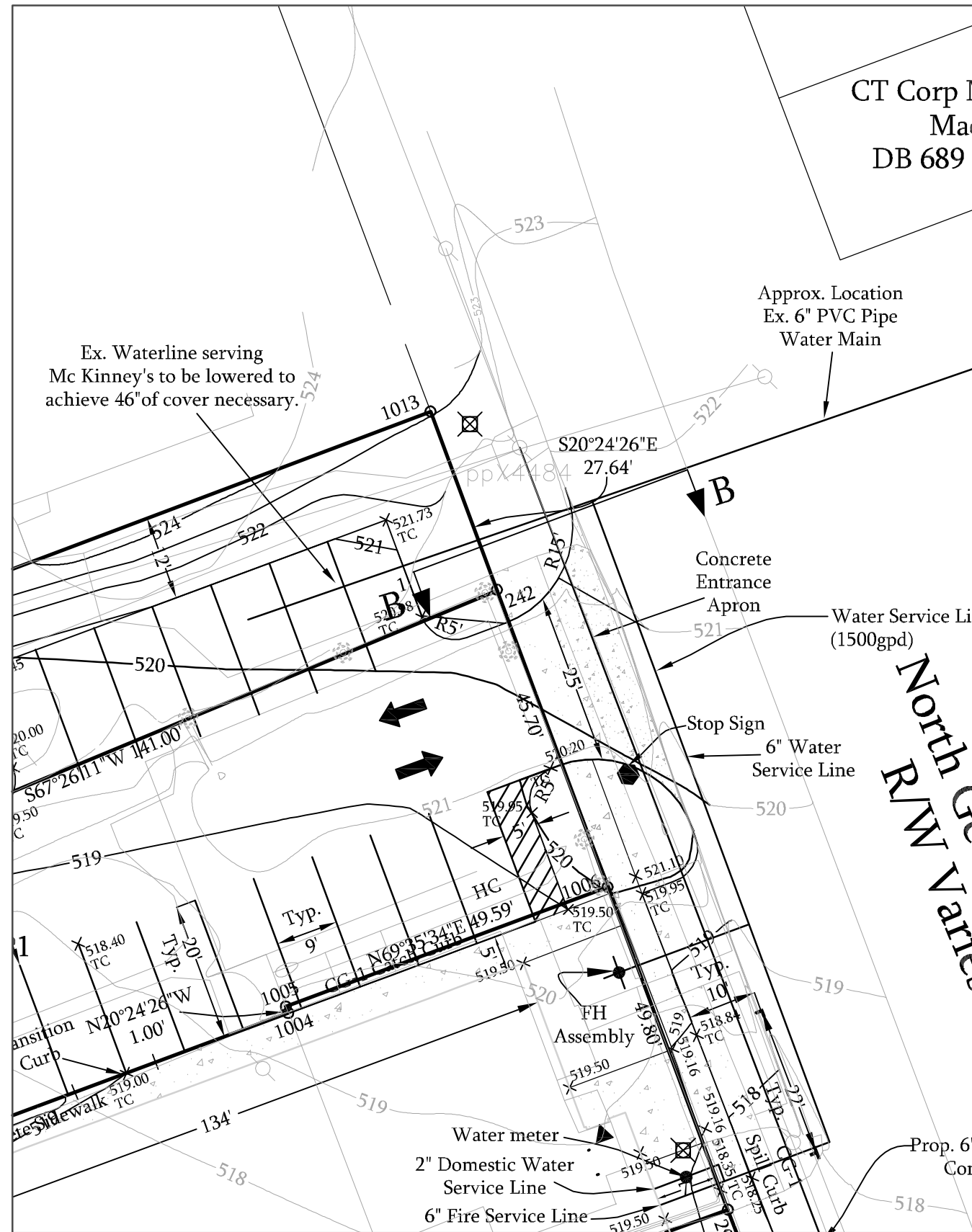
STPL 2009-0003



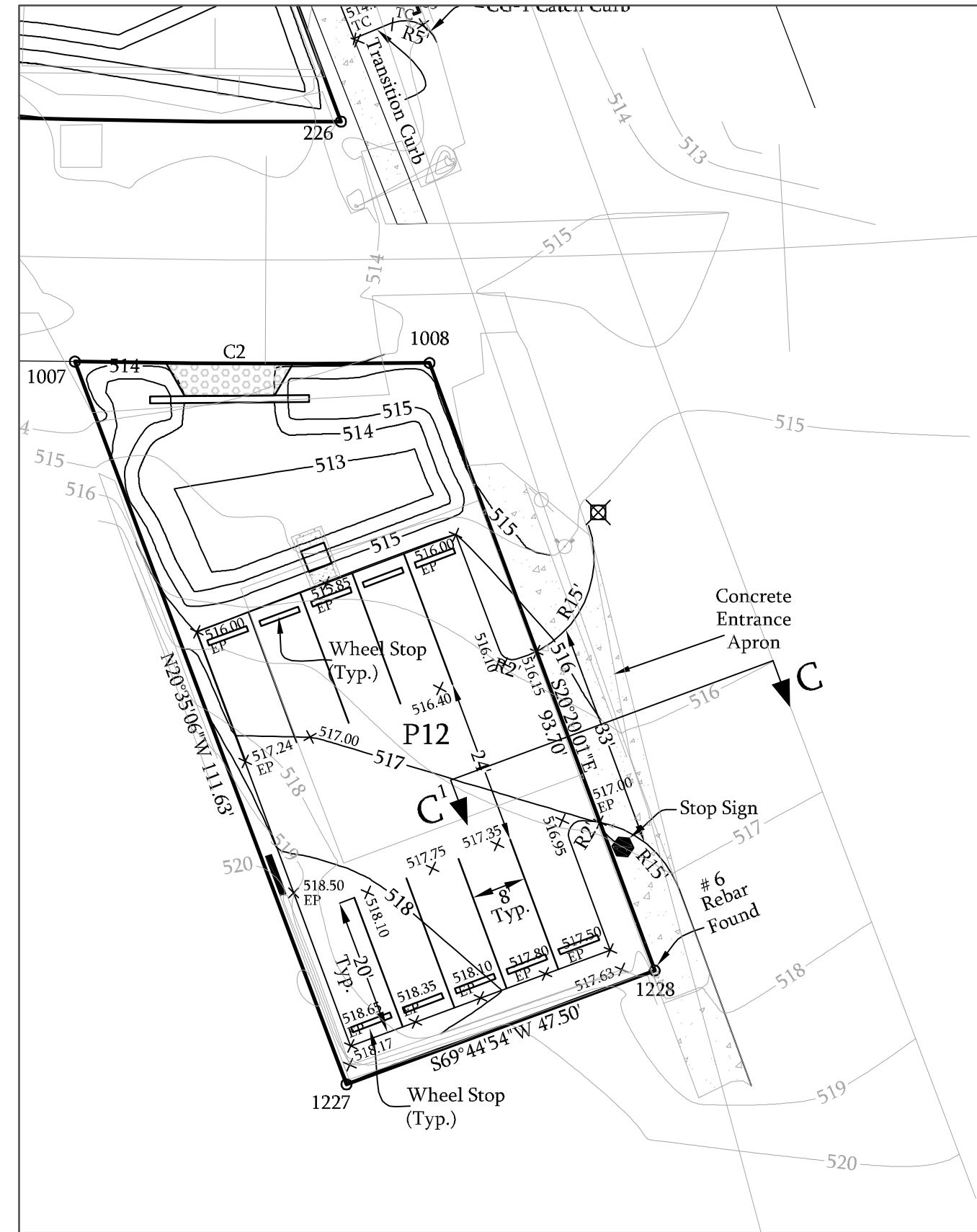
## Main Entrance



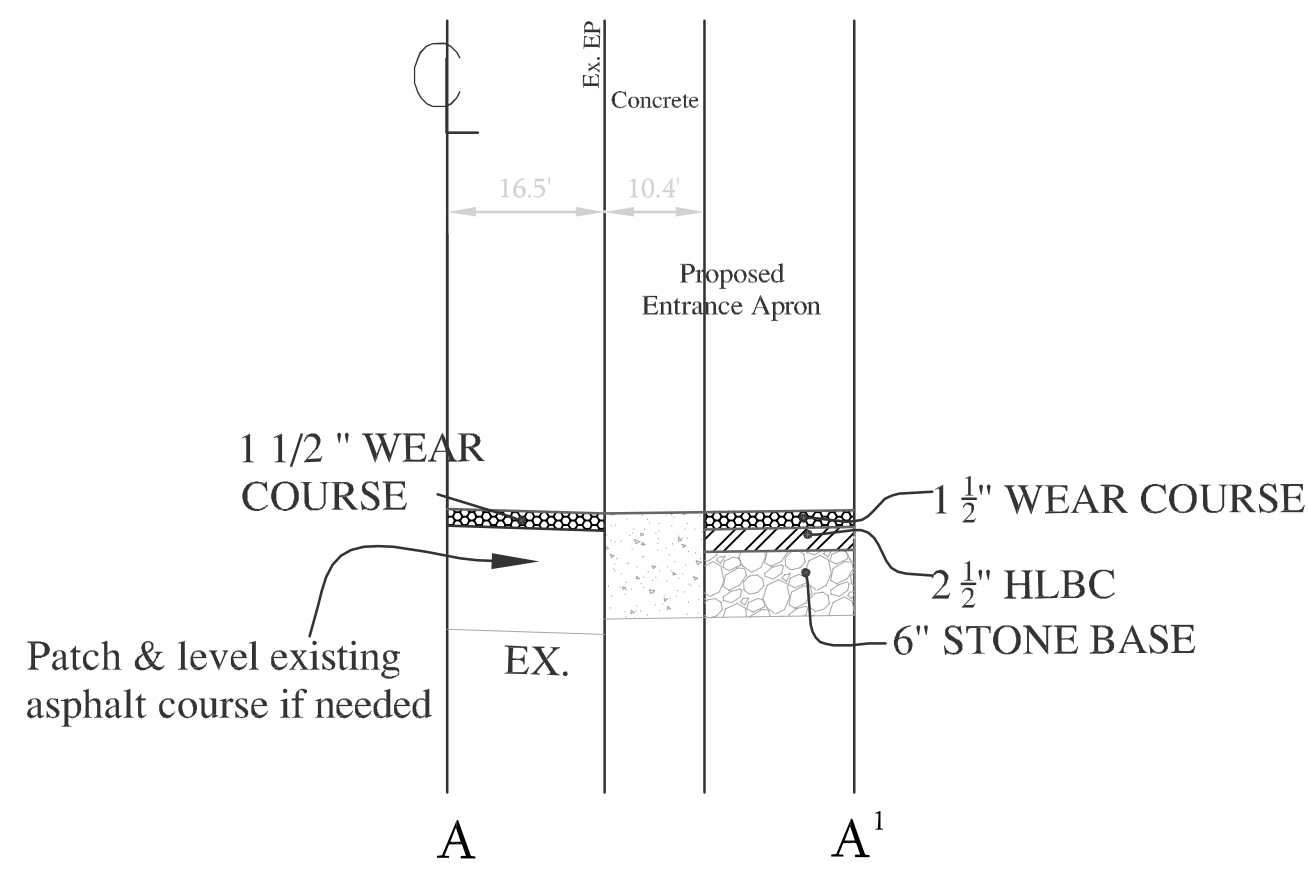
## Secondary Entrance



## Individual Lot Entrance

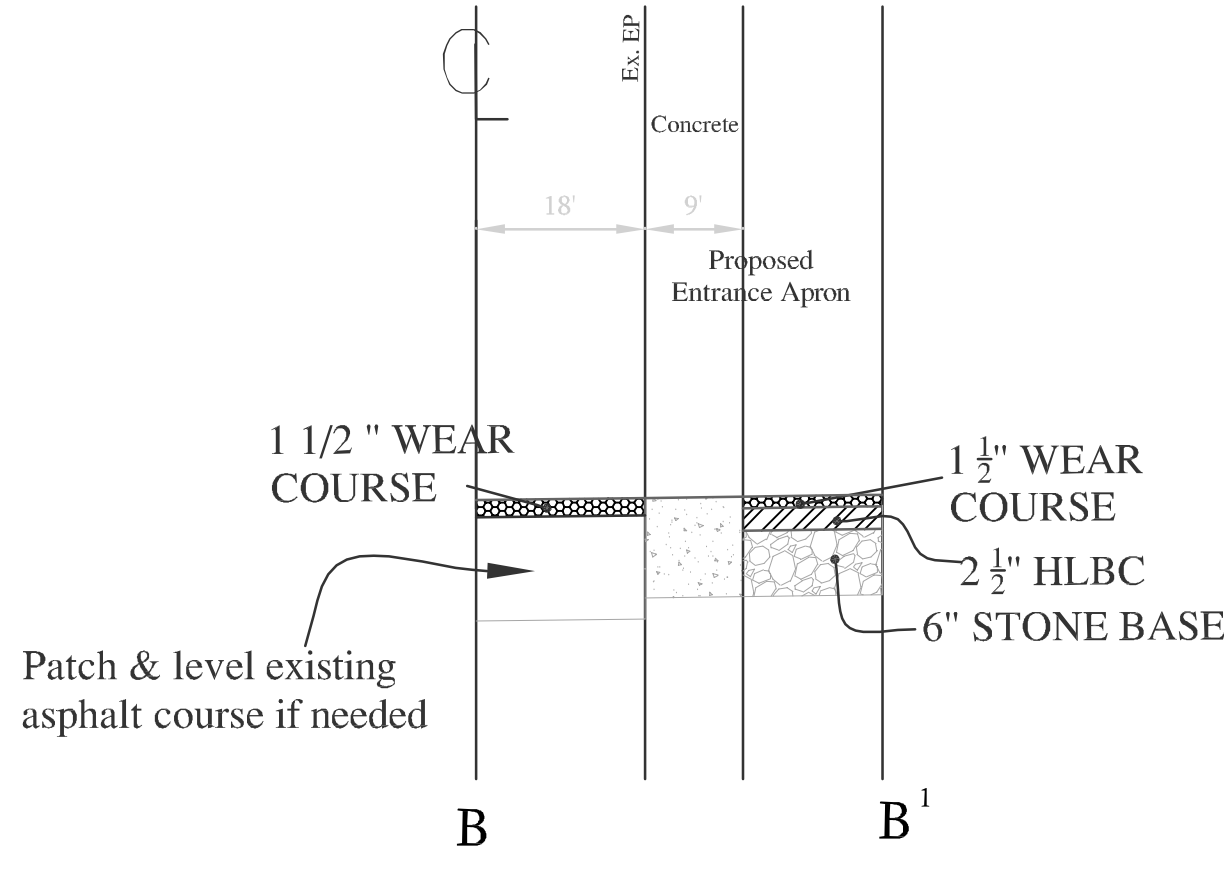


## GATEWAY CENTER OFFICE BUILDING MAIN ENTRANCE



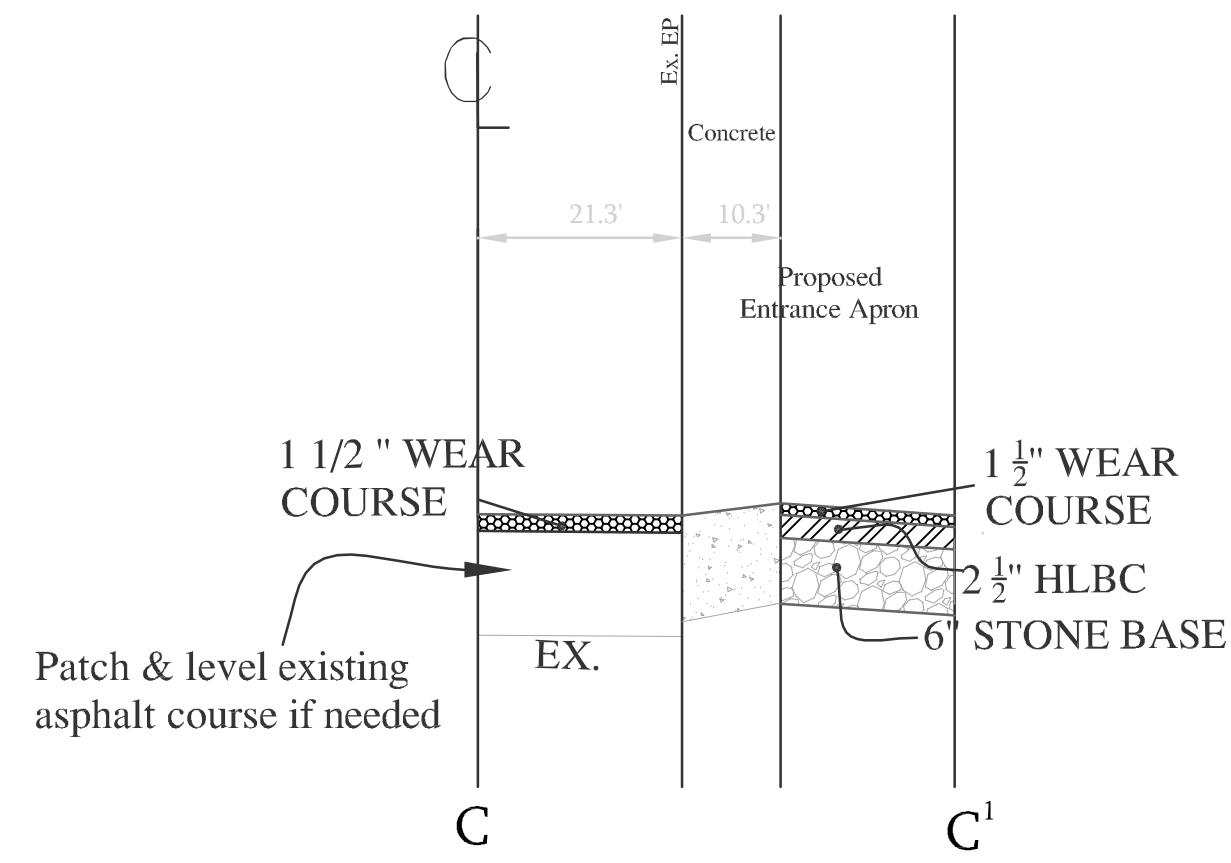
CROSS SECTION THRU ENTRANCE \*  
NOT TO SCALE

## GATEWAY CENTER OFFICE BUILDING SECONDARY ENTRANCE



CROSS SECTION THRU ENTRANCE \*  
NOT TO SCALE

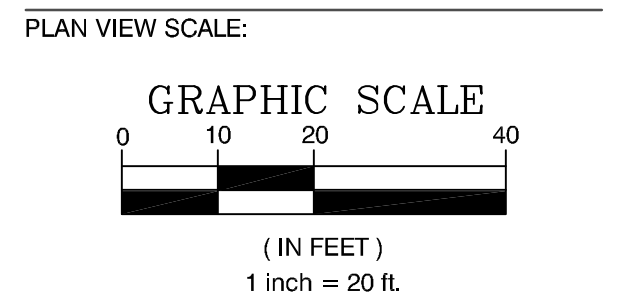
## GATEWAY CENTER OFFICE BUILDING INDIVIDUAL LOT ENTRANCE



CROSS SECTION THRU ENTRANCE  
NOT TO SCALE

The roadway needs to be patched and leveled with asphalt if needed,  
and then overlay entire road for 50' on both sides.

\*The roadway needs to be patched and leveled with asphalt if needed,  
and then overlay entire road from 50' south east of the main entrance  
to 50' north west of the Secondary Entrance.



NO.	DATE	BY	DESCRIPTION
7	04-23-09	LDM	Per comments
6	03-27-09	AFJ	Parking additions
3	11-07-07	CRG	Per WVDOH comments
REVISIONS			
DRAWN BY AFJ			
APPROVED BY LDM			
CHECKED BY AFJ			
DATE March 2009			

ROAD PLAN & PROFILE  
ENTRANCE DETAIL

PROJECT NO. 50019902

SITE PLAN REFERENCE  
STPL 2009-0003

SHEET 6 OF 10





- Total site area 1.47 acres or 64,033 s.f.
- Total landscape area required = 3,202 s.f. (64,033\*5%)
- Total landscape area proposed = 4,791 s.f. (64,033\*7.5%)
- Proposed impervious Area 1.36 acres or 59,242 s.f.
- Total trees required = 30 (59,242/2,000 s.f.)
- Total trees provided = 30
- Total shrubs required = 90
- Total shrubs provided= 100

PLANTING LEGEND:  
PICK 1 PLANT FROM EACH ROW & USE IT THROUGHOUT THE SITE.

QUANT.	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS
PERIMETER SHADE TREES	2	ACER RUBRUM ACER SACCHARUM QUERCUS SHUMARDI QUERCUS PALUSTIS	RED MAPLE SUGAR MAPLE SHUMARD OAK PIN OAK	3 INCH CALIPER 12' HT. MIN.	PER PLAN
FLOWERING MEDIUM TREES	5	KOELREUTARIA PANICULATA AMERICAN YELLOWWOOD OXYSPENDUM ABOREUM	GOLDEN RAIN TREE AMERICAN YELLOWWOOD SOURWOOD	3 INCH CALIPER 12' HT. MIN.	PER PLAN
PARKING LOT SHADE TREES	7	ACER X FREDMANI 'AUTUMN BLAZE' FRAXINUS PENNSYLVANICA 'MARSHAL'S SEEDLESS' ZELKOVA SERRATA 'GREEN VASE' LULMUS PARVIFOLIA	FREDMAN MAPLE 'MARSHAL'S SEEDLESS' GREEN ASH GREEN VASE ZELKOVA LACE BARK ELM	3 INCH CALIPER 12' HT. MIN.	PER PLAN
Holly TREES	4	ILEX X 'NELLIE R. STEVENS' ILEX X ATTENUATA 'FOSTER'S' ILEX VEICILIA (DECIDUOUS)	NELLIE R. STEVENS HOLLY FOSTER'S HOLLY POSSUMHAW	8-10' HT. 8" & B	8' O.C.
POTTED COLUMNAR JUNIPER TREES	9	JUNIPERUS SCOPULARUM 'SKYROCKET' JUNIPERUS VIRGINIANA 'SPARTAN' THUJA OCCIDENTALIS 'SMARGARD'	'SKYROCKET' JUNIPER 'SPARTAN' UNIPER 'SMARGARD' ARBORVITAE	8" HT. CONTAINER GROWN	HOME DEPOT OR EQUIV. 1/2" DIAMETER NON-SPRINKABLE PLANTER PER SPECIFIC
FLOWERING DECID. SHRUBS	4	Berberis thunbergii 'AUREA' Buddleia davidii 'Pink Delight' Spiraea x bumalda 'Anthony Waterer'	JAPANESE BARBERRY 'PINK DELIGHT' BUTTERFLY BUSH 'ANTHONY WATERER' SPIREA	36" HT. & WD, CONTNR.	6' O.C.
MEDIUM EVERGREEN HEDGE	42	PRUNUS LAUROCEARUS 'OTTO LUYKENS' MYRTICA PENNSYLVANICA	'OTTO LUYKENS' CHERRY LAUREL COMMON SPREADING YEW NORTHERN BAYBERRY	24" HT. & WD, CONTNR.	4.5' O.C.
FLOWERING EVERGREEN	3	RHOXODENDRON 'ANNA ROSE WHITNEY' RHOXODENDRON 'DUNNINGHAM'S WHITE' VIBURNUM 'CHIPPENDALE'	'ANNA ROSE WHITNEY' RHOXODENDRON 'DUNNINGHAM'S WHITE' RHOXODENDRON 'CHIPPENDALE' VIBURNUM	36" HT. & WD, CONTNR.	5.5' O.C.
BLUE/PURPLE FLOWERING PERENNIALS	12	'LAVENDULA ANGUSTIFOLIA 'BUENA VISTA' SALVIA nemerosa 'WY NIGHT' LINUM PERENNE 'APPAR'	'BUENA VISTA' LAVENDER 'WY NIGHT' SALVIA 'APPAR' BLUE FLAX	4" FULL POTS	1.5' O.C.
DWARF RED EVERGREEN SHRUBS	47	NANDINA DOMESTICA 'FIREPOWER' BERBERIS thunbergii 'ROSY GLOW'	FIREPOWER NANDINA FIREPOWER NANDINA	18" HT. &	2' O.C.
TALL FLOWERING PERENNIALS	4	HELIANTHUS MAXIMILIANA 'SANTA FE' ALCEA ROSEA 'CHATTERS DOUBLE GROUP PINK'	MAXIMILIAN'S SUNFLOWER CHATTERS DOUBLE HOLLYHOCKS	4" FULL POTS	3' O.C.
LOW EVERGREEN HEDGE	10	TAXUS BACCATA REPANDENS BUXUS X GREEN GEM	SPREADING ENGLISH YEW GREEN GEM BOXWOOD	18" HT. & WD, CONTNR.	3' O.C.

\*2" LAYER OF PEA GRAVEL INSTEAD OF SHREDDED MULCH  
SEE HORIZONMULCH SPECIFICATION ON THE LANDSCAPE DETAILS & SPECIFICATIONS SHEET FOR LAWN AREA.



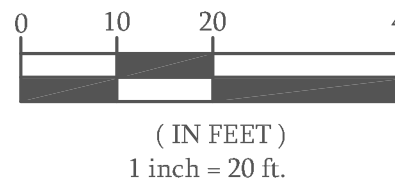
Dewberry & Davis, LLC  
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RANSON, WV 25438-1611  
PHONE: 304.725.4572  
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Owned By:  
MSA, Inc.

SITE PLAN SHOWING  
**THE GATEWAY  
BUILDING, LLC**  
CITY OF CHARLES TOWN  
JEFFERSON COUNTY, WEST VIRGINIA

SCALE: 1"=20'

GRAPHIC SCALE



7	04-23-09	LDM	PER COMMENTS
6	03-27-09	AFJ	PARKING ADDITIONS
NO.	DATE	BY	DESCRIPTION

REVISIONS

DRAWN BY AFJ  
APPROVED BY LDM  
CHECKED BY AFJ  
DATE March 2009

Landscaping  
& Lighting  
Sheet

PROJECT NO. 50019902

SITE PLAN REFERENCE

STPL 2009-0003

SHEET 9 OF 10



LANDSCAPE SPECIFICATIONS

- ALL PLANT MATERIAL SHALL CONFORM TO CURRENT AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARDS AND TO "HORTUS THIRD" (1977 EDITION) FOR BOTANICAL AND COMMON NAMES.
- BALLED AND BURLAPPED PLANTS SHALL BE DUG WITH FIRM NATURAL BALLS OF EARTH. BALL SIZES SHALL BE IN ACCORDANCE WITH A.A.N. SPECIFICATIONS. ALL CONTAINER GROWN STOCK SHALL BE WELL ROOTED AND ESTABLISHED IN THE CONTAINER IN WHICH IT IS SOLD. AN ESTABLISHED CONTAINER GROWN PLANT SHALL HAVE A ROOT SYSTEM DEVELOPED SUFFICIENTLY TO RETAIN ITS SHAPE WHEN REMOVED.
- ALL PLANT MATERIAL SHALL BE NURSERY GROWN UNLESS OTHERWISE SPECIFIED. PRUNING SHALL BE DONE BEFORE PLANTING OR DURING THE PLANTING OPERATION.
- A COMPLETE LIST OF PLANTS, INCLUDING A SCHEDULE OF SIZES, QUANTITIES, AND OTHER REQUIREMENTS IS SHOWN ON THE DRAWINGS. IN THE EVENT THAT QUANTITY DISCREPANCIES OR MATERIAL OMISSIONS OCCUR IN THE PLANT MATERIALS LIST, THE PLANTING PLANS SHALL GOVERN.
- LOCATE PLANTS AS INDICATED OR AS APPROVED IN THE FIELD AFTER STAKING BY THE CONTRACTOR. IF OBSTRUCTIONS ARE ENCOUNTERED THAT ARE NOT SHOWN ON THE DRAWINGS, DO NOT PROCEED WITH PLANTING OPERATIONS UNTIL ALTERNATE PLANT LOCATIONS HAVE BEEN SELECTED.
- ALL PLANT MATERIAL SHALL BE COVERED AND PROTECTED FROM EXCESSIVE DRYING DURING TRANSIT AND DURING ON SITE STORAGE.
- ANTI-DESICCANTS SHALL BE APPLIED ON ALL MATERIAL DUG WHILE IN FOLIAGE.
- PROTECT EXISTING UTILITIES, PAVING AND OTHER FACILITIES FROM DAMAGE CAUSED BY LANDSCAPING OPERATIONS.
- MULCH MATERIAL SHALL BE SHREDDED HARDWOOD BLACK MULCH. MATERIAL SHALL BE MULCHING GRADE, UNIFORM IN SIZE AND FREE OF FOREIGN MATTER.
- TOPSOIL MIXTURE SHALL BE TWO PARTS EXISTING TOPSOIL MIXED EVENLY WITH ONE PART SPHAGNUM PEAT MOSS OR PEAT HUMUS. EXISTING TOPSOIL SHALL BE FREE OF STONES, LUMPS, PLANTS, ROOTS AND OTHER DEBRIS OVER 4cm. IT SHALL NOT CONTAIN TOXIC SUBSTANCES HARMFUL TO PLANT GROWTH. TOPSOIL SHALL HAVE A PH RANGE OF 5.0 TO 7.0.
- PLANTING PROCEDURES FOR TREES AND SHRUBS:
  - PLANTING SHALL OCCUR IN ACCORDANCE WITH ALL DETAILS.
  - TREES AND SHRUBS SHALL BE PLACED IN THE PLANTING PIT BY LIFTING FROM THE BALL (NEVER FROM THE BRANCHES OR TRUNK). ALL PLANT MATERIAL SHALL BE PLACED IN A STRAIGHT POSITION WITHIN THE PLANTING PIT WITH THE MOST DESIRABLE SIDE PLACED TOWARDS THE PROMINENT VIEW (SIDEWALK, STREET, ETC.).
  - THE TREE OR SHRUB PIT SHALL BE BACKFILLED WITH A SOIL MIXTURE, AS PER #7 OF THESE SPECIFICATIONS. THE PIT SHALL BE FILLED HALFWAY INITIALLY AND TAMPED FIRMLY. ALL ROPES, WIRES, ETC. ON THE ROOTBALL SHALL BE CUT AND THE BURLAP OR BALL WRAP PULLED BACK TO THE EDGE OF THE ROOTBALL. COMPLETE BACKFILLING THE PLANT PIT AND TAMP FIRMLY. BACKFILL SOILS SHALL NOT COVER THE TOP OF THE ROOTBALL. MULCH THE ROOTBALL AND SAUCER WITH A MINIMUM OF 8cm SHREDDED HARDWOOD OR PINE BARK MULCH. WATER THOROUGHLY OR UNTIL PLANT PIT IS FILLED WITHIN ONE HOUR OF PLANTING.
- PERFORM CLEANING DURING INSTALLATION OF THE WORK AND UPON COMPLETION OF THE WORK. REMOVE FROM SITE ALL EXCESS MATERIALS, SOIL, DEBRIS, AND EQUIPMENT. REPAIR DAMAGE RESULTING FROM PLANTING OPERATIONS.
- FINAL ACCEPTANCE AND WARRANTY PER AGREEMENT BETWEEN OWNER AND CONTRACTOR.

SEEDING SPECIFICATIONS

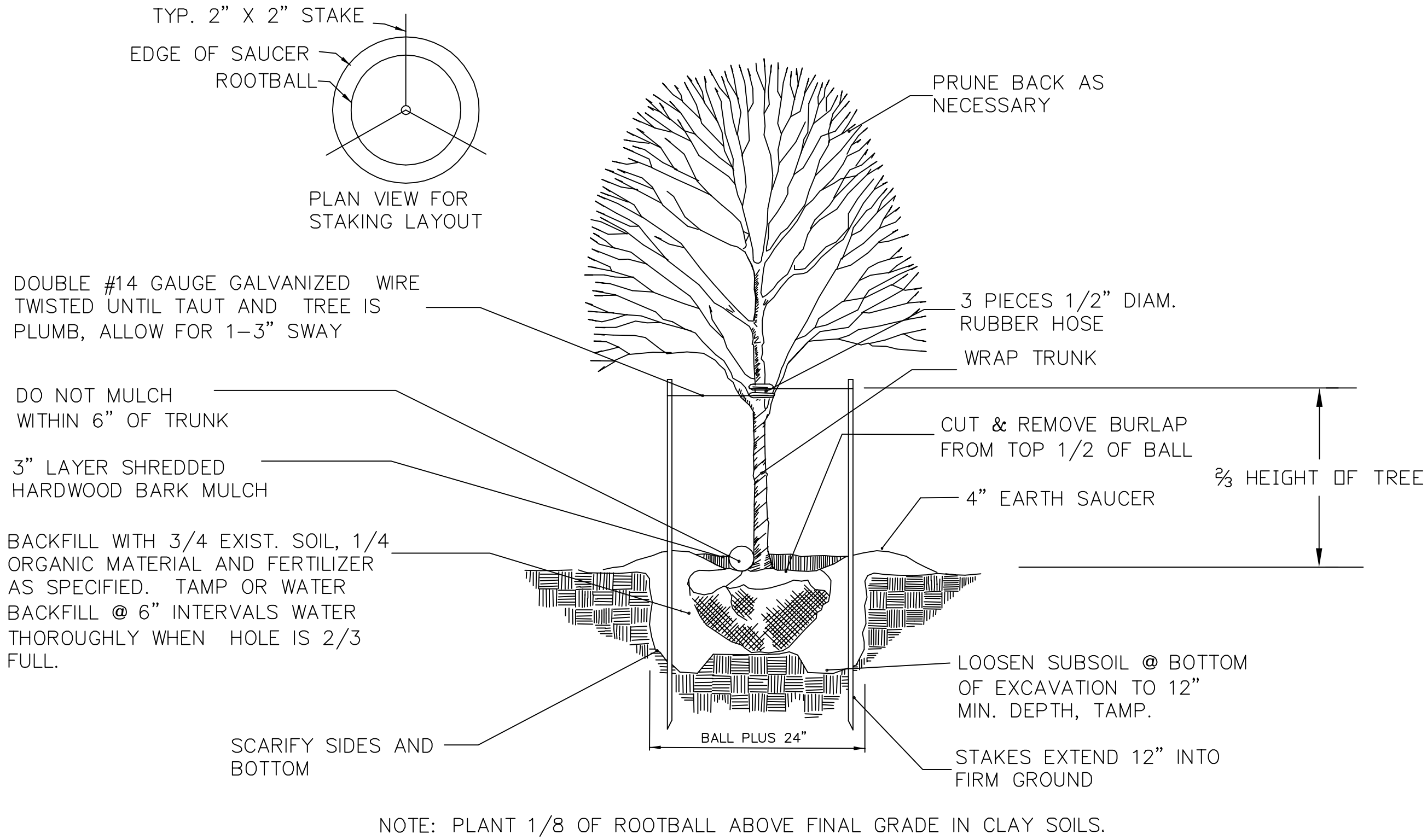
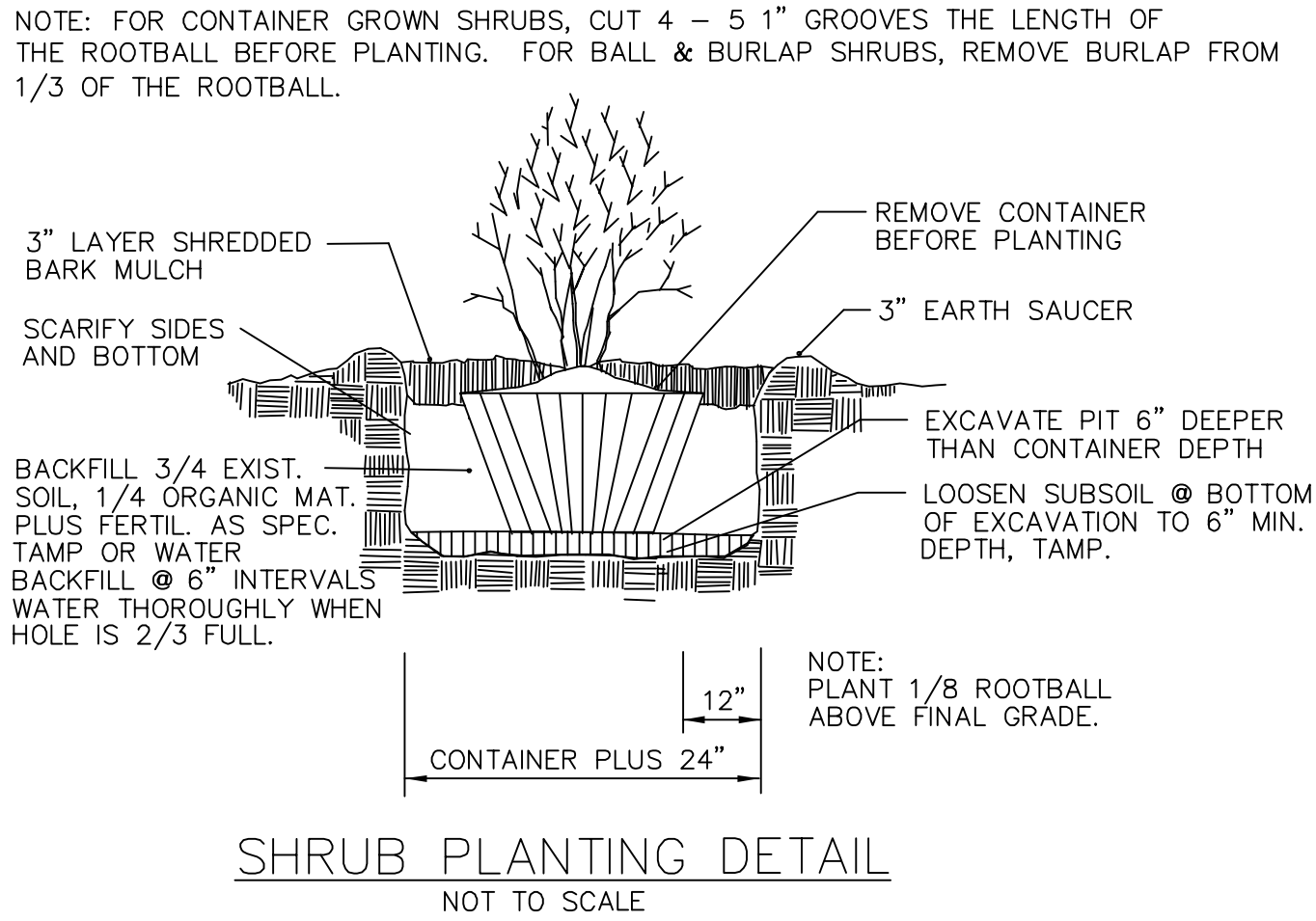
- SEEDING  
ALL SEEDING SHALL BE PERFORMED PER SEEDING CHART. NO SEEDING SHALL BE DONE ON FROZEN GROUND OR WHEN TEMPERATURE IS 32º FAHRENHEIT OR LOWER.
- MULCHING  
FOLLOWING SEEDING, APPLY A ONE INCH LAYER OF STRAW TO HASTEN GERMINATION. STRAW MULCH SHALL BE ANCHORED BY EITHER A MULCH TILLER, ASPHALT EMULSION, CHEMICAL MULCH BINDER, TWINE OR NETTING.
- FINAL ACCEPTANCE  
FINAL ACCEPTANCE AND WARRANTY PER AGREEMENT BETWEEN OWNER AND CONTRACTOR.

SOIL PREPARATION FOR SEEDING OR SODDING

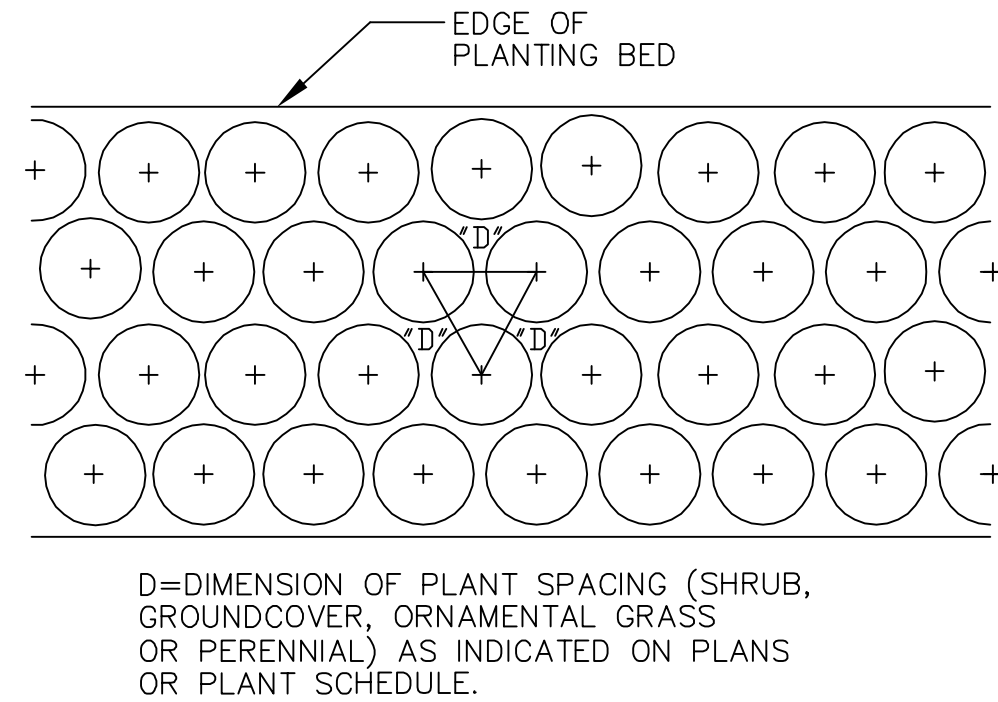
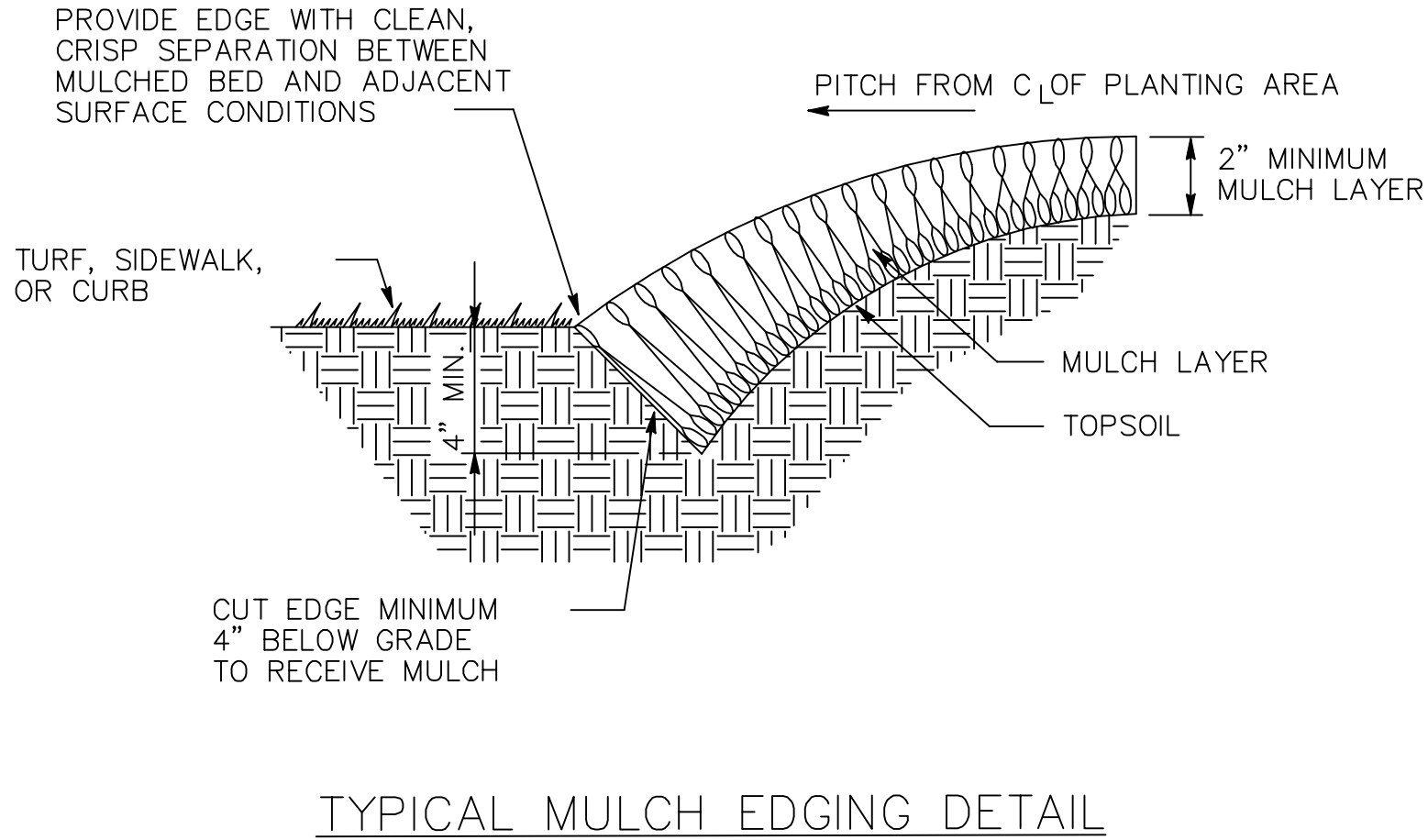
- EXISTING SOIL OR TOP SOIL STORED ON SITE AND SPREAD AT A 20 - 24" DEPTH OVER AREAS TO BE SEEDED SHALL BE USED FOR ESTABLISHMENT OF TURF. ALL SUBGRADE AREAS TO BE SEEDED SHALL BE LOOSENEED BY DISCING OR BY SCARIFYING TO A DEPTH OF NO LESS THAN 4". ALL ESTABLISHED/EXISTING SITE GRADES MUST BE MAINTAINED. ANY ALTERATION OF EXISTING GRADES COULD CAUSE DRAINAGE PROBLEMS. THE AREA TO BE SEEDED SHALL BE FREE FROM ROOTS, BRUSH, STONES AND TRASH LARGER THAN 1.5" DIAMETER OR LENGTH.
- SOIL TESTS SHALL BE CONDUCTED TO DETERMINE EXACT REQUIREMENTS FOR BOTH LIME AND FERTILIZER. SOIL TESTS SHALL BE CONDUCTED BY A STATE LABORATORY OR RECOGNIZED COMMERCIAL LABORATORY.
  - FERTILIZER: ALL FERTILIZER SHALL BE UNIFORM IN COMPOSITION FREE FLOWING AND SUITABLE FOR APPLICATION WITH APPROVED EQUIPMENT. FERTILIZER APPLICATION RATES SHALL BE DETERMINED BY SOIL TESTS. FERTILIZER SHALL BE DISTRIBUTED EVENLY OVER THE ENTIRE AREA TO BE SEEDED.
  - LIME: LIME MATERIAL SHALL BE GROUND LIMESTONE (HYDRATED OR BURNT LIME MAY BE SUBSTITUTED) WHICH CONTAIN AT LEAST 50% TOTAL OXIDES (CALCIUM OXIDE PLUS MAGNESIUM OXIDE) APPLICATION RATES FOR LIMING MATERIALS SHALL BE DETERMINED BY SOIL TESTS. LIME SHALL BE DISTRIBUTED UNIFORMLY OVER THE ENTIRE AREA TO BE SEEDED.
- ALL LIME AND FERTILIZER SHALL BE UNIFORMLY MIXED INTO THE TOP 4" OF SOIL BY DISCING, HARROWING OR OTHER APPROVED METHODS. ANY UNDULATIONS OR IRREGULARITIES IN THE SURFACE RESULTING FROM FERTILIZING, TILLING OR OTHER CAUSES SHALL BE LEVELED PRIOR TO SEEDING.

HYDROMULCH SEEDING SPECIFICATIONS

- SEEDING  
NO SEEDING SHALL BE DONE ON FROZEN GROUND OR WHEN TEMPERATURE IS 32 DEGREES FAHRENHEIT OR LOWER.
- HYDROMULCHING  
A THICK COAT OF MULCH/SEED/FERTILIZER/WATER MIX SHALL BE APPLIED TO ALL BARE GROUND AREAS ONSITE NOT DESIGNATED AS SHRUB/PERENNIAL BED AREAS. A MINIMUM OF ONE INCH THICK OF COVER SHALL BE APPLIED. WHERE LAWN AREAS MEET PLANTING BEDS, THE PLANTING BEDS SHALL BE COVERED ALONG THE EDGE SO THAT A SHARP DEFINED EDGE OF HYDROMULCH IS ACHIEVED AND NO SEED MIX IS DEPOSITED IN THE BEDS.
- FINAL ACCEPTANCE  
FINAL ACCEPTANCE AND WARRANTY PER AGREEMENT BETWEEN OWNER AND CONTRACTOR.



UNDER 3" CALIPER DECIDUOUS TREE PLANTING DETAIL

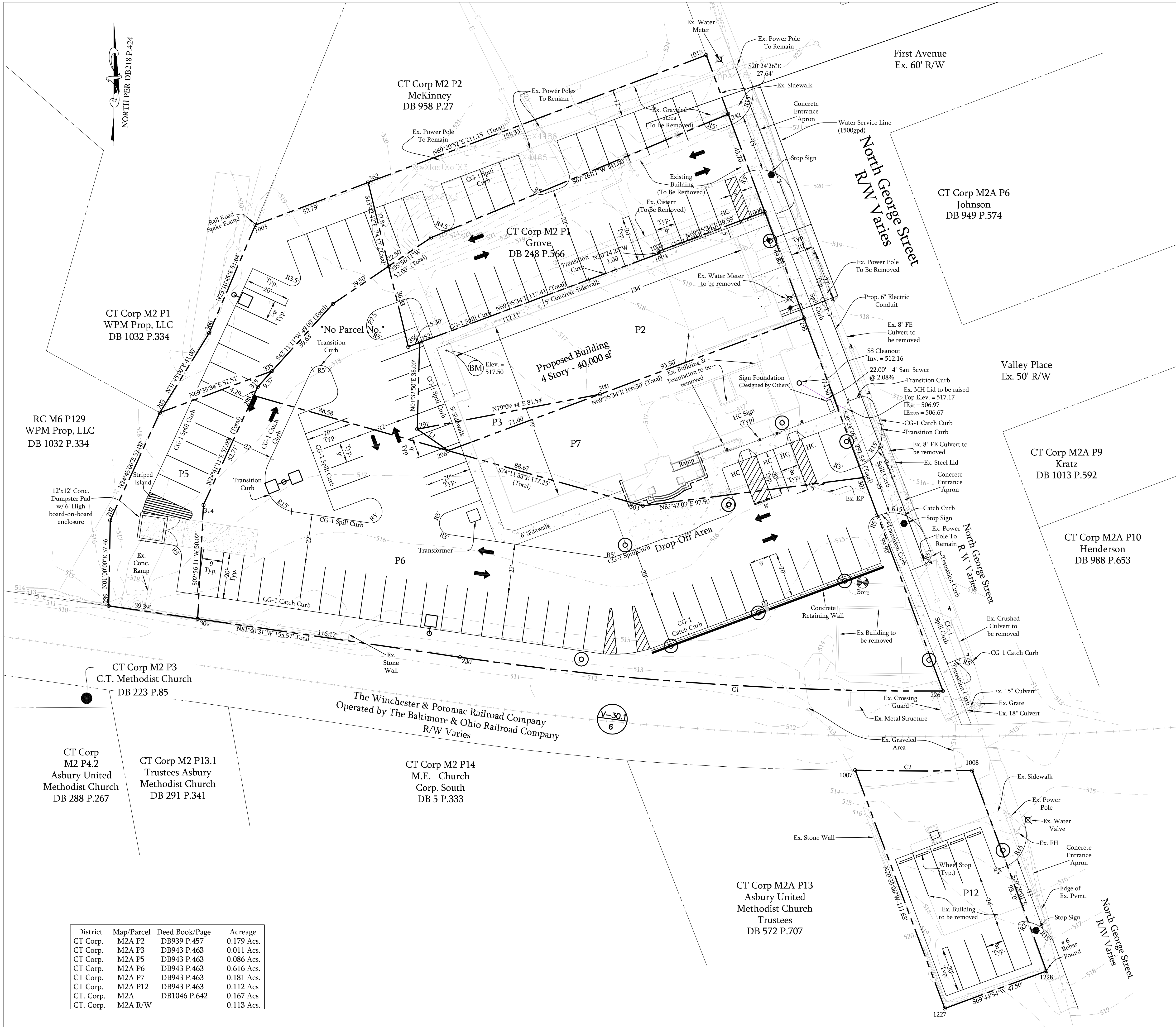


7	04-23-09	LDM	Per comments
6	03-27-09	AFJ	Parking additions
NO.	DATE	BY	DESCRIPTION

REVISIONS

DRAWN BY	AFJ
APPROVED BY	LDM
CHECKED BY	AFJ
DATE	March 2009





**PARKING TABULATIONS:**

APPROVED REQUIRED PARKING: 1 SPACE / 357 SQ.FT FLOOR SPACE  
1 SPACE PER 357 SF x 40,000 SQ.FT. FLOOR SPACE = 112 SPACES

PROVIDED PARKING: 94 ON SITE SPACES + 6 SPACES ALONG N. GEORGIA STREET + 10 OFF-SITE SPACES + 2 HC W/SHARED S' ISLE + 2 HC VAN ACCESSIBLE WITH 6 SHARED ISLE = 114 SPACES TOTAL

**SITE DATA:**

PROPOSED USE: OFFICE BUILDING/ GENERAL COMMERCIAL  
ZONING DISTRICT(CORPORATION): CITY OF CHARLES TOWN  
ZONING CLASSIFICATION TO THE: NORTH: INDUSTRIAL  
SOUTH: RESIDENTIAL DUPLEX  
EAST: INDUSTRIAL  
WEST: INDUSTRIAL  
BUILDING SETBACK:

FRONT YARD (ANY ROAD FRONTAGE): 0-15'  
SIDE YARD: 0-15'  
REAR YARD: 0-5'

PARKING SETBACK:  
FRONT: 40' (7)  
SIDE: 10' (5) PER APPROVED VARIANCE  
REAR: 30'

PARCEL SIZE: 1.628 ACRES TOTAL (70,928.75 SQ. FT.) (1.2409 ACS. + 0.1126 ACS. + 0.1123 ACS. + 0.1625)  
TOTAL GREEN AREA: 0.413 ACRES (17,998 SQ. FT.)  
TOTAL IMPERVIOUS AREA (BUILDING, PAVING, SIDEWALKS): 1.1127 ACRES (48,469.21 SQ. FT.)  
BUILDING HEIGHT: 66'  
NUMBER OF STORIES: FOUR  
GENERAL NOTES:

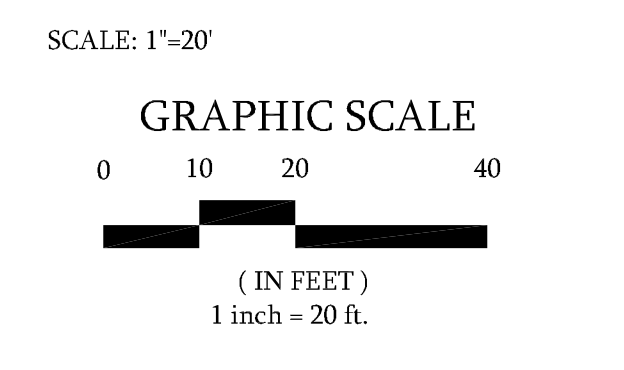
1. ENSURE A CLEAR AND LEVEL ACCESSIBLE PATH FROM ALL PUBLIC SIDEWALKS / PUBLIC TRANSPORTATION STOPS WITHIN THE SITE.
2. PROVIDE A CLEAR AND LEVEL ACCESSIBLE PATH FROM EGRESS EXITS TO THE PARKING SURFACE OR LOWEST GROUND LEVEL AT THE TERMINATION

**Dewberry**

Dewberry & Davis, LLC  
401 S. FAIRFAX BOULEVARD, SUITE 3  
RANSON, WV 25438-1611  
PHONE: 304.725.4572  
FAX: 304.725.6896  
WWW.DEWBERRY.COM

Owned By:  
MSA, Inc.

SITE PLAN SHOWING  
**THE GATEWAY  
BUILDING, LLC**  
CITY OF CHARLES TOWN  
JEFFERSON COUNTY, WEST VIRGINIA



NO.	DATE	BY	DESCRIPTION
5	03-27-08	CRG	Deed Reference per City CI comments
4	01-15-08	CRG	PER COMMENTS W/DEP (T. CARR)
2	09-17-07	CBB	PER COMMENTS BY CITY OF CT
1	08-27-07	CRG	REVISED 22' ISLE WIDTH AND 5' BBL

REVISIONS

DRAWN BY CBB

APPROVED BY LDM

CHECKED BY CGR

DATE APRIL 2007

Overall

PROJECT NO. 50002333

SITE PLAN REFERENCE  
STPL 2007 0009

SHEET 2 OF 10